



1
A001 EXISTING KEY PLAN
SCALE: N/A

LEGEND	
	PROPERTY LINE
	YARD SETBACK
	8ft HIGH CHAIN FENCE, REFER TO LANDSCAPE
	FIRE HYDRANT
	CATCH BASIN - SEE CIVIL
	MANHOLE - SEE CIVIL
	MAIN ENTRANCE/EXIT
	GARBAGE ENCLOSURE C/W 2m HIGH OPAQUE SCREEN
	EXISTING UTILITY POLE
	EXISTING ANCHOR
	EXTERIOR LIGHT POLE REFER TO ELEC.
	T.W.S.I.
	BIKE RACK FOR 4 BIKES 0.6 x 1.8 m SPACE PER BIKE
	FLAG POLE, REFER TO LANDSCAPE
	LANDSCAPED AREA REFER TO LANDSCAPE PLAN
	CONCRETE PAD AND SIDEWALK
	ASPHALT
	6m WIDE FIRE ROUTE, REFER TO CIVIL
	PAVERS REFER TO LANDSCAPE PLAN
	LOADING SPACE PER ZBL, SECTION 113, TABLE 113B
	NEW DEPRESSED CURB
	NEW CURB
	IN-GROUND BOLLARD, REFER TO DETAIL 11/A002
	BLOCK HEATER, REFER TO DETAIL 2/A002
	RECEPTACLE, REFER TO DETAIL 1/A003
	CONDUIT STUB UP FOR FUTURE ELEC. EQUIPMENT
	EV CHARGER, REFER TO DETAIL 11/A002
SIGNAGE LEGEND:	
	NO TRESPASSING
	FIRE ROUTE
	BARRIER-FREE PARKING
	STOP SIGN
PAINTED SIGN LEGEND:	
	WHITE PAINTED BARRIER-FREE PARKING SYMBOL AND PARKING LINES
	WHITE PAINTED CAR PARKING LINES
	WHITE PAINTED SYMBOL FOR ELECTRIC CAR CHARGING STATION

PROJECT INFORMATION

TOPOGRAPHICAL PLAN INFORMATION:
SURVEY PROPERTY BOUNDARIES TAKEN FROM TOPOGRAPHICAL PLAN OF PART OF LOT 1 CONCESSION 9, GEOGRAPHIC TOWNSHIP OF GLOUCESTER; CITY OF OTTAWA, WEST OF BOUNDARY ROAD, PIN 04324-0177 AND PIN 04324-0161, PER PLAN 4R-13964

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.
DATED AUGUST 15, 2018

SITE ZONING AS PER OTTAWA ZONING BY-LAW 2008-250 SITE DESIGNATION
RG - RURAL GENERAL INDUSTRIAL ZONE
AREA "D" OF SCHEDULE 1, CITY OF OTTAWA

OWNER
DAY & ROSS INC.
358 MAIN STREET
HARTLAND, NB
E7P 1G6

SURVEYOR
ANNIS, O'SULLIVAN, VOLLEBEKK LTD
14 CONCOURSE GATE, SUITE 500
NEPEAN, ON
K2E 7S6

CIVIL ENGINEER
NOVATECH
240 MICHAEL COWPLAND DRIVE, SUITE 200
OTTAWA, ON
K2M 1P6

ARCHITECT
N45 ARCHITECTURE INC.
ROBERT MATTHEWS
71 BANK STREET, 7TH FLOOR
OTTAWA, ON
K1P 5N2

BUILDING CLASSIFICATION:
THE BUILDING IS CLASSIFIED AND DESIGNED TO CONFORM TO THE ONTARIO BUILDING CODE 2020

OCCUPANCY:
GROUP F DIVISION 2 - UP TO 2 STOREYS, SPRINKLERED (3.2.2.72.)
GROUP D - UP TO 3 STOREYS, SPRINKLERED (3.2.2.54.)

BUILDING STATISTICS:
NUMBER OF STOREYS = 1
THE BUILDING IS SPRINKLERED

NUMBER OF ACCESS ROUTES REQUIRED = 1
NUMBER OF ACCESS ROUTES PROVIDED = 2

CONSTRUCTION TYPE = NON-COMBUSTIBLE CONSTRUCTION

ZONING INFORMATION

NOTE: ALL ZONING DEFINITIONS AND REQUIREMENTS AS PER CITY OF OTTAWA ZONING BY-LAW 2008-250

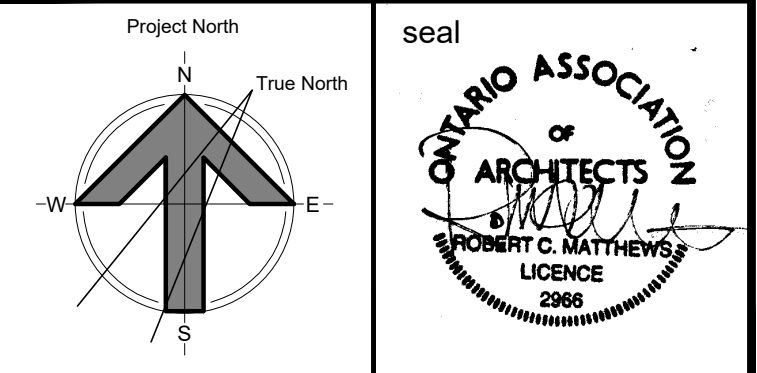
ZONING MECHANISM	REQUIRED	PROVIDED
ADDRESS	5494-5510 BOUNDARY ROAD GLOUCESTER, ON	TRUCK TRANSPORT TERMINAL AND CROSS DOCK
DEFINITION	RG RURAL GENERAL INDUSTRIAL ZONE	
MIN LOT WIDTH	30 m	200 m
MIN. LOT AREA	4,000 m ²	31,969.7 m ²
MIN. FRONT YARD SETBACK	15 m	54.47 m
MIN. CORNER SIDE SETBACK	12 m	N/A
MIN. INT. SIDE YARD SETBACK	8 m	62.9 m
MIN. REAR YARD SETBACK	15 m	167.7 m
MAX. LOT COVERAGE	50%	14%
MAX. BUILDING HEIGHT	15 m	±10 m
MIN. WIDTH OF LANDSCAPING	1.5 m	MIN. 3 m
STANDARD PARKING SPACE	2.6m x 5.2m (max 3.1m wide)	2.6m x 5.2m
ACCESSIBLE PARKING SPACE	3.6m x 5.2m	3.4m x 5.2m (TYPE A), 2.4 x 5.2m (TYPE B)
PARKING REQUIREMENTS AREA D: RURAL	46 OFFICE: 2.4 / 100 m ² G.F.A CROSS DOCK: 0.8 / 100 m ² G.F.A	90
BARRIER-FREE PARKING	3	2 (TYPE A) + 2 (TYPE B)
LOADING SPACES	1 (MIN. 3.5 m WIDE x 7 m LONG)	72
BICYCLE PARKING RATE	3 (1 / 2000 m ² of G.F.A.)	4
GROSS FLOOR AREA		- m ² (- s.f.)
BUILDING AREA (FOOTPRINT)		4,400 m ² (47,360 s.f.)
OFFICE AREA		642 m ² (6,910 s.f.)
CROSS DOCK AREA		3,758 m ² (40,450 s.f.)

DAY & ROSS

03	ISSUE FOR SITE PLAN CONTROL APPLICATION	24 SEPT 2024
02	ISSUE FOR 60% SUBMISSION	15 AUG 2024
01	ISSUE FOR 30% SUBMISSION	27 JUNE 2024
no.	revision	date

N45 ARCHITECTURE INC.
71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

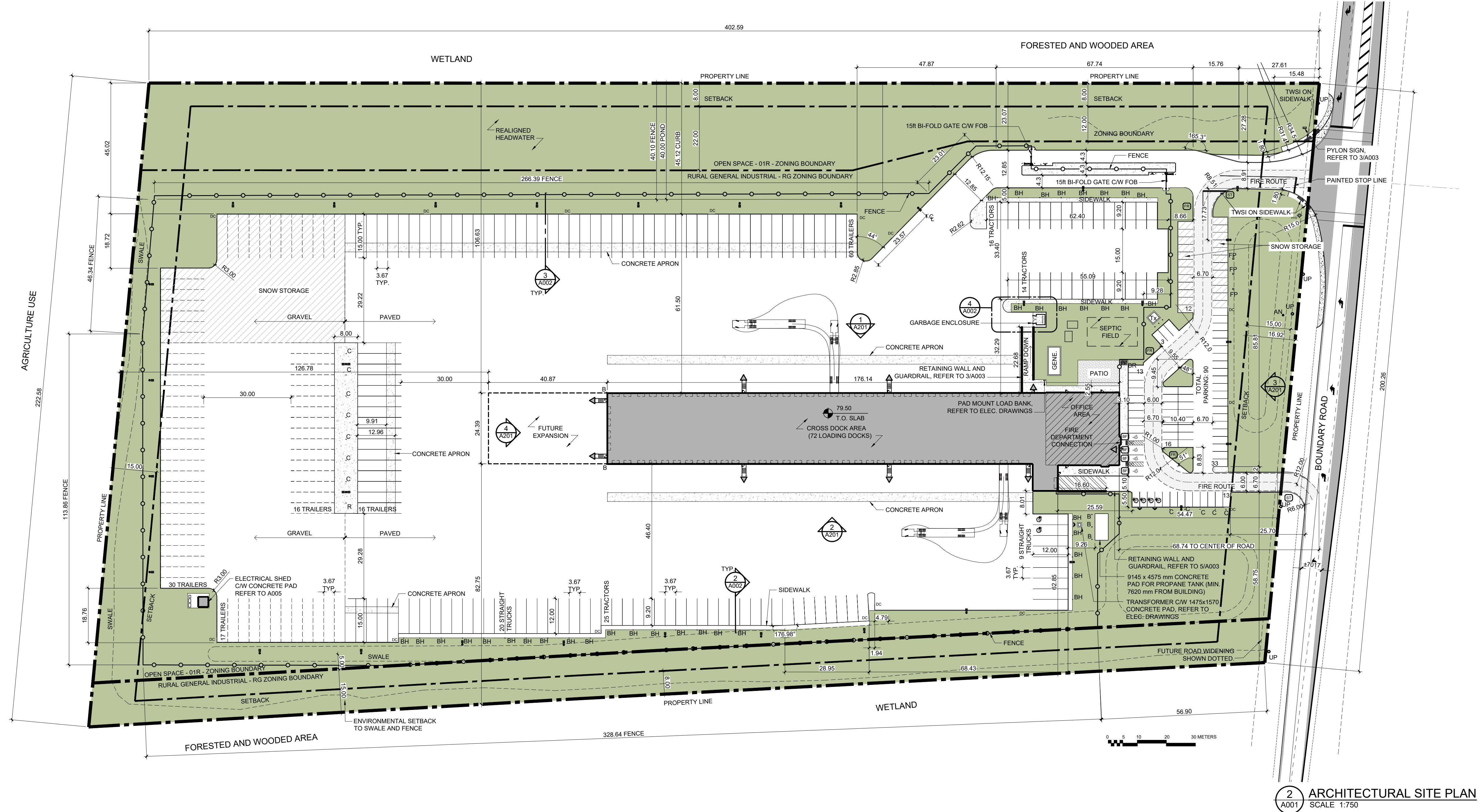
DAY & ROSS
5494-5510 BOUNDARY ROAD
GLOUCESTER, ON



drawing title
SITE PLAN

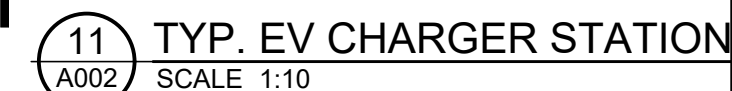
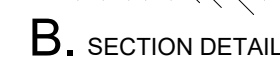
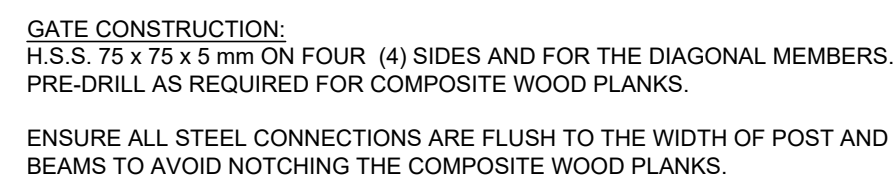
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date FEB 2024	checked by RM
project number 22-765	drawing number A001
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.	
DO NOT SCALE DRAWINGS	
revision 03	

CITY'S FILE NUMBER: D07-XX-XX-XXXX



2
A001 ARCHITECTURAL SITE PLAN
SCALE: 1:750

CITY PLAN NO. XXXX



03	ISSUE FOR SITE PLAN CONTROL APPLICATION	24 SEPT 2023
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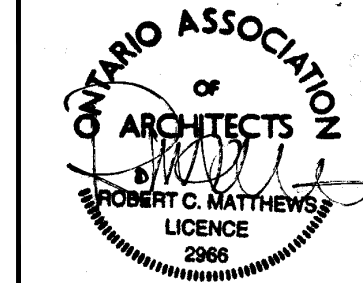
N45 ARCHITECTURE INC.

71 Bank Street, 7th Floor - Ottawa, Ontario, K1P 5N2
tel. 613.224.0095 fax 613.224.9811

DAY & ROSS

5494-5510 BOUNDARY ROAD
GLOUCESTER, ON

se

drawing title
SITE DETAILS

scale AS SHOWN	drawn by DL	revision 03
date JUNE 2024	checked by RM	
project number 22-765	drawing number A002	
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.		
DO NOT SCALE DRAWINGS		

CITY'S FILE NUMBER: D07-XX-XX-XXXX

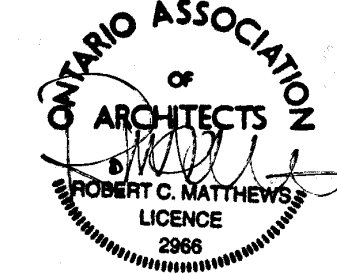
CITY PLAN NO. XXXX

02	ISSUE FOR SITE PLAN CONTROL APPLICATION	24 SEPT 2024
01	ISSUE FOR 60% SUBMISSION	15 AUG 2024
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DAY & ROSS
5494-5510 BOUNDARY ROAD
GLOUCESTER, ON

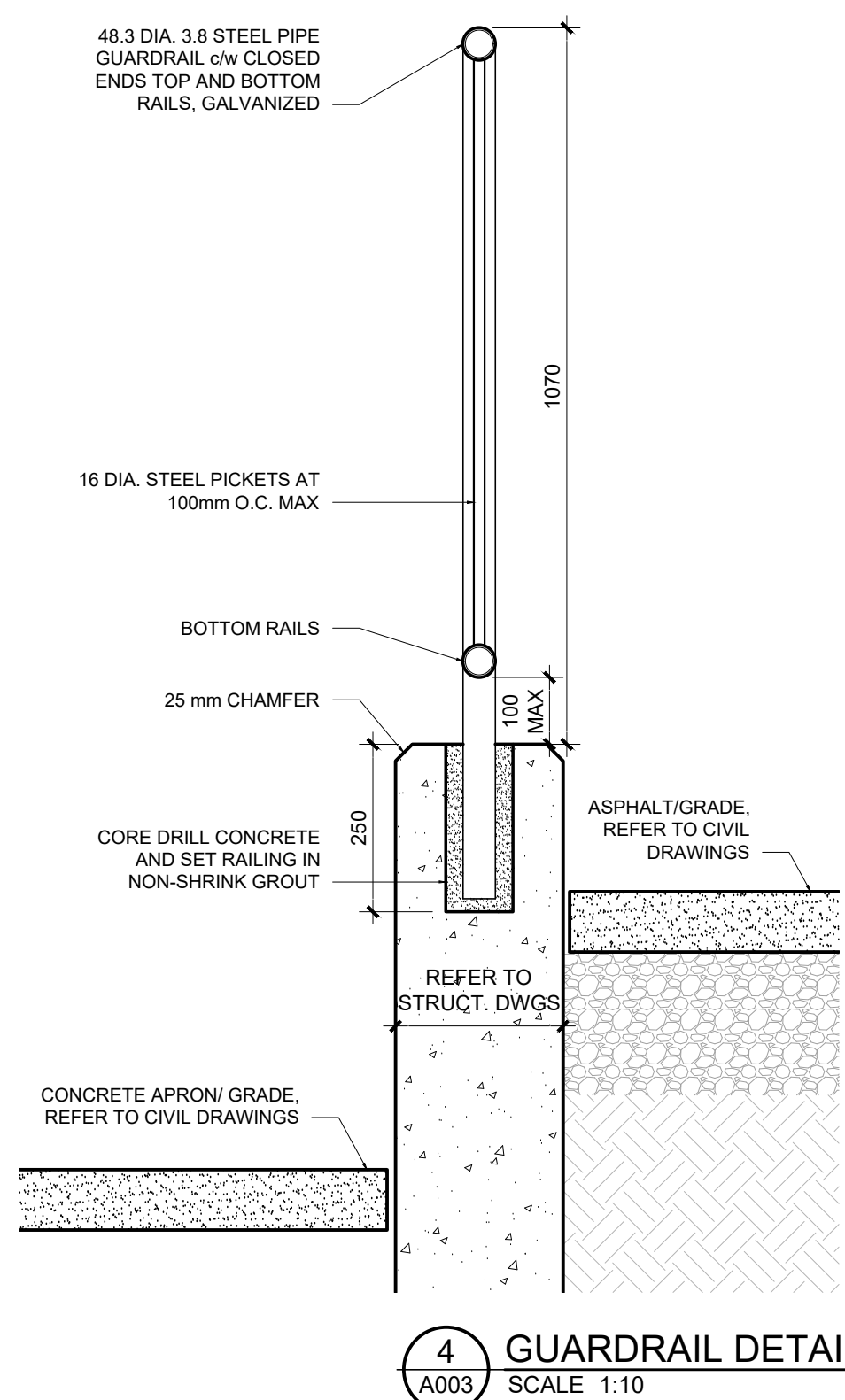
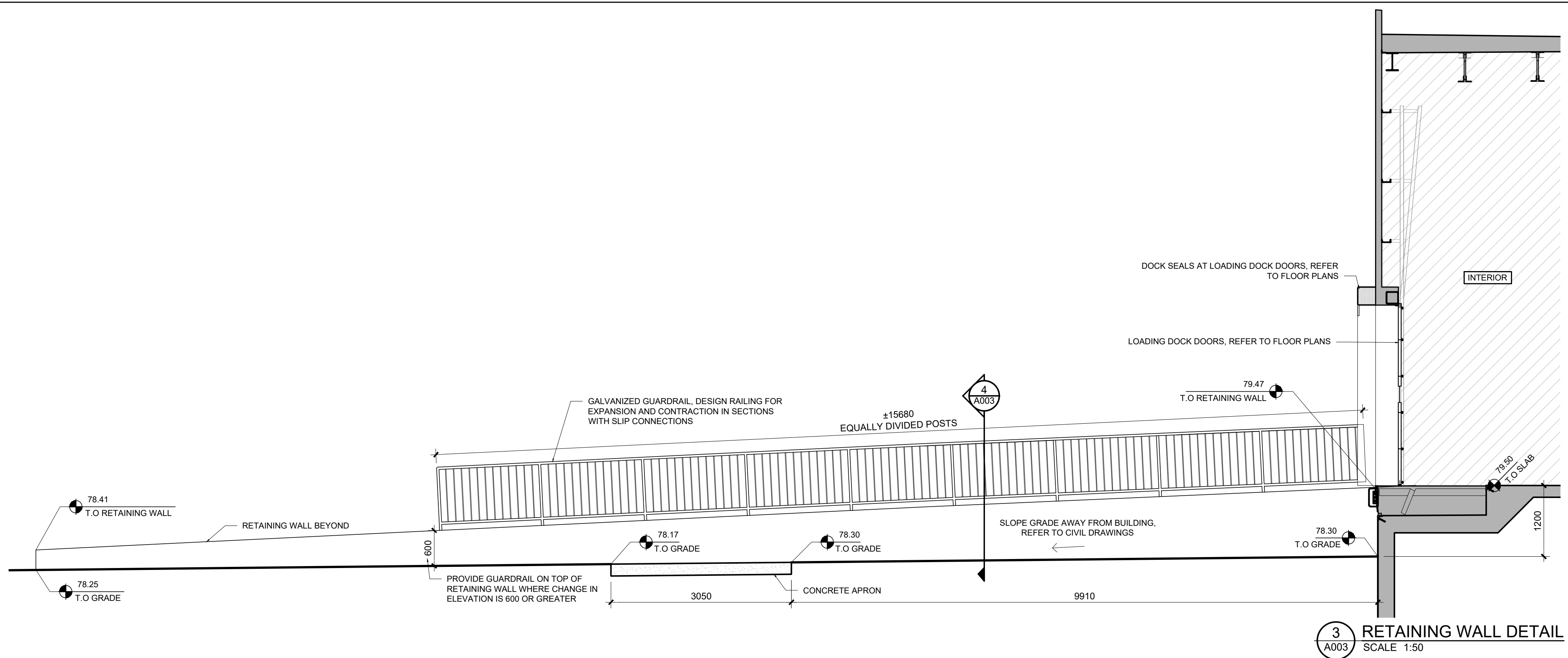
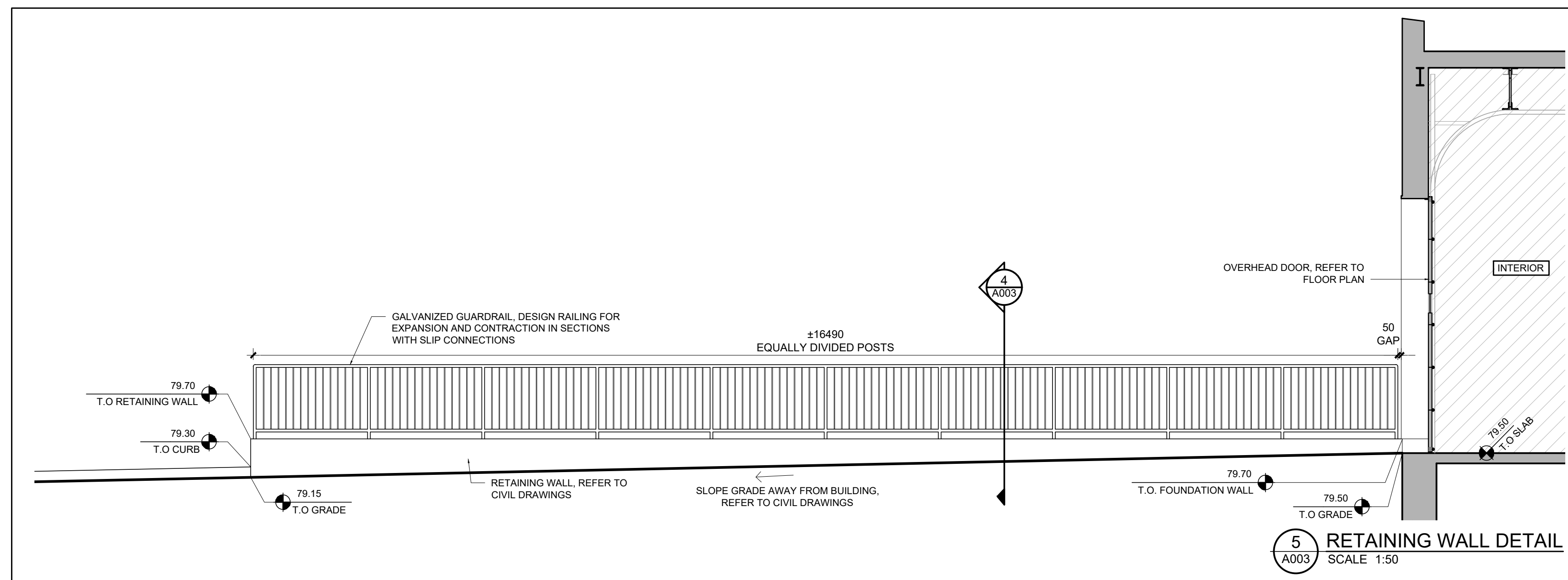
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drawing title
SITE DETAILS

scale AS SHOWN	drawn by DL
date JUNE 2024	checked by RM
project number 22-765	drawing number A003
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.	
DO NOT SCALE DRAWINGS	
revision 02	

CITY'S FILE NUMBER: D07-XX-XX-XXXX

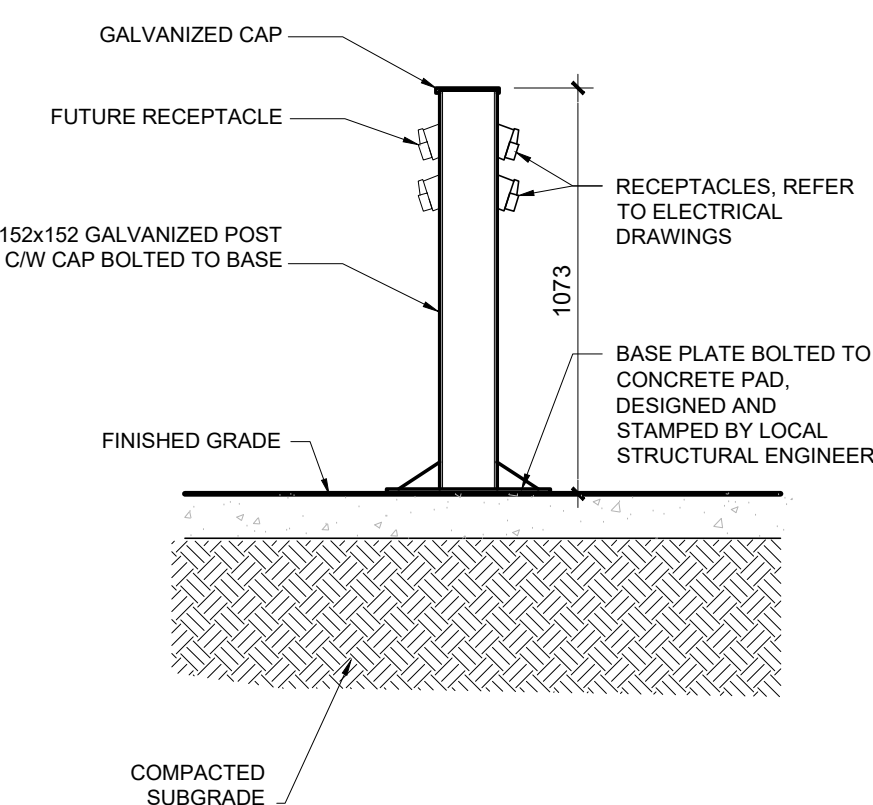
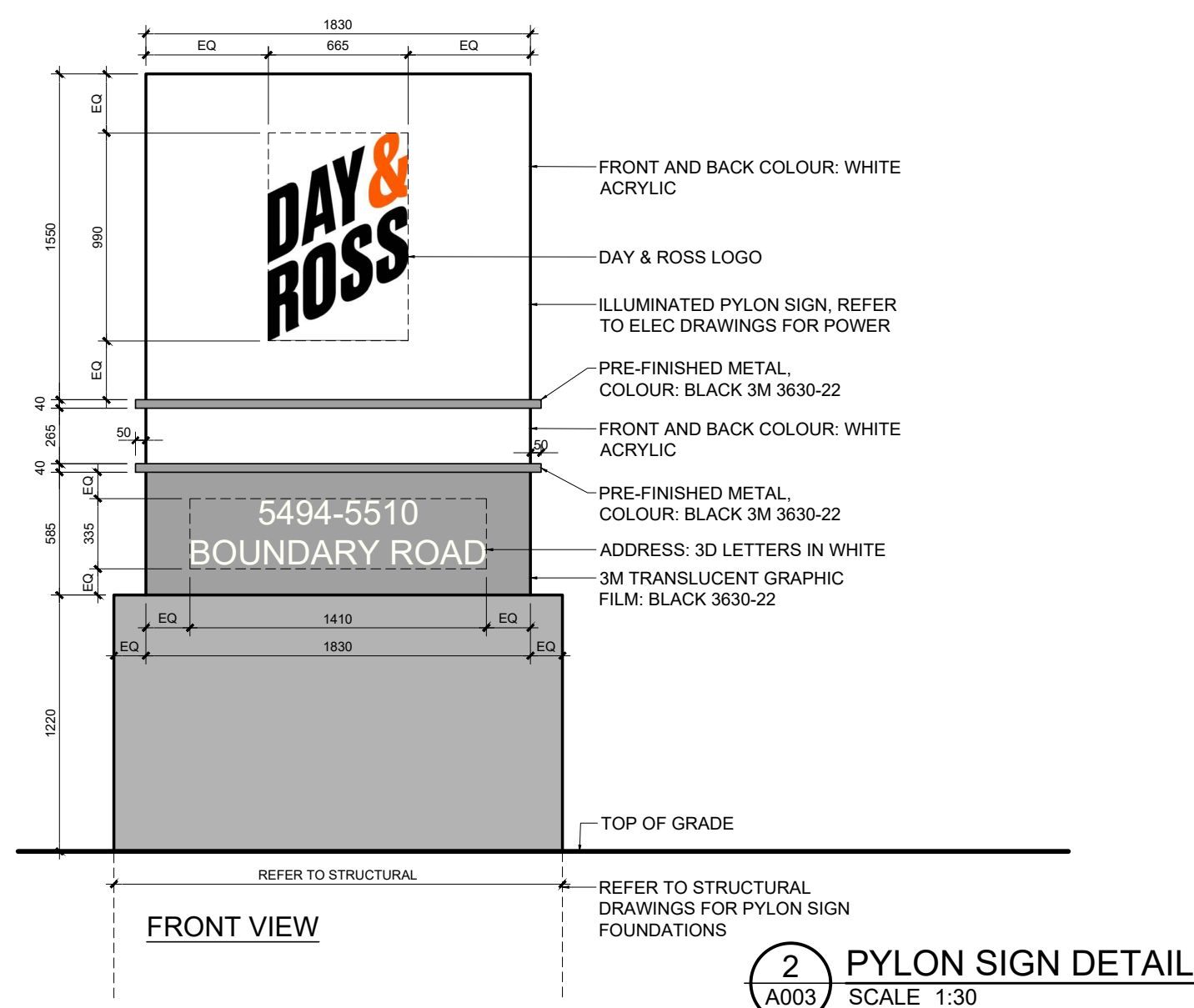
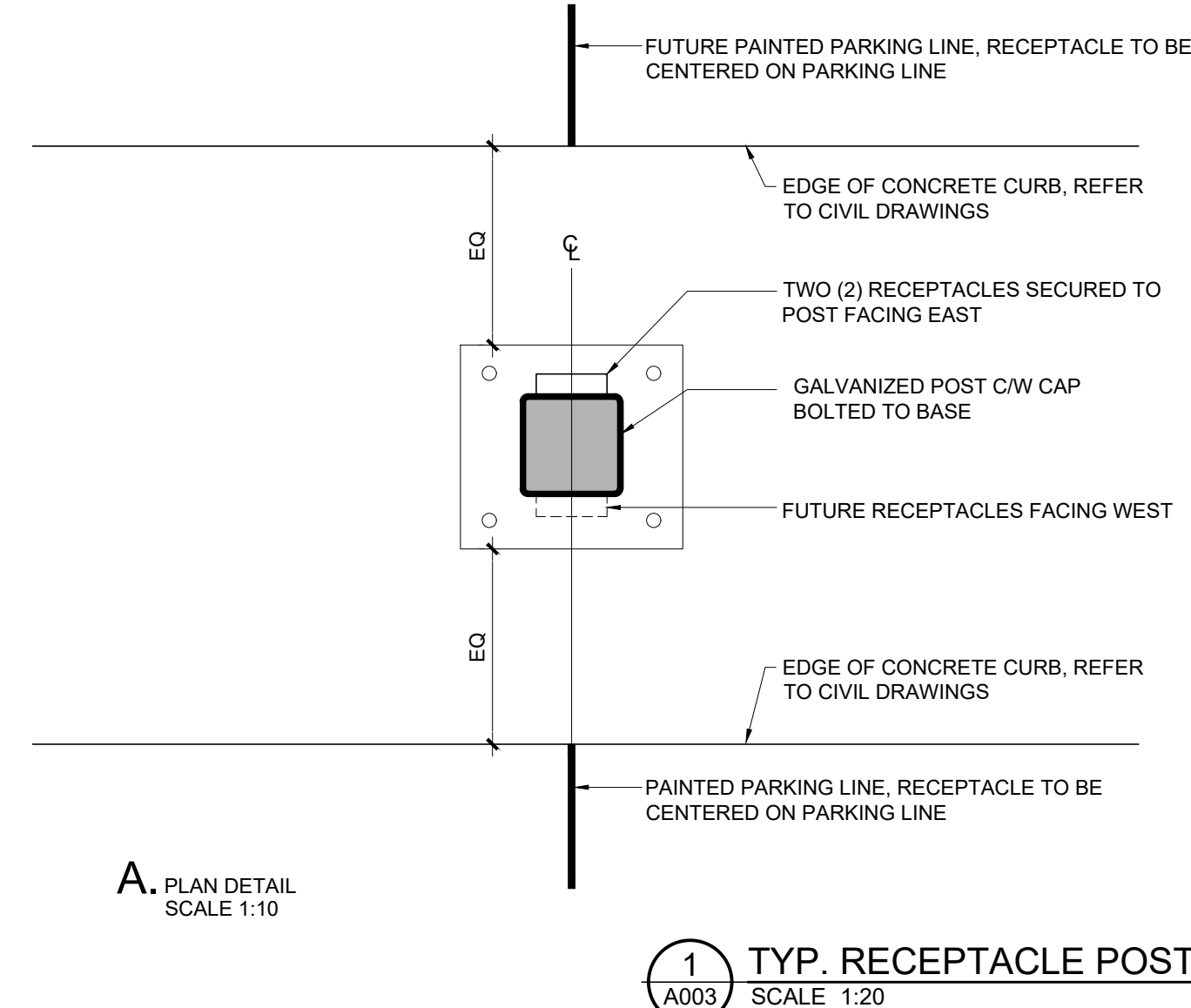


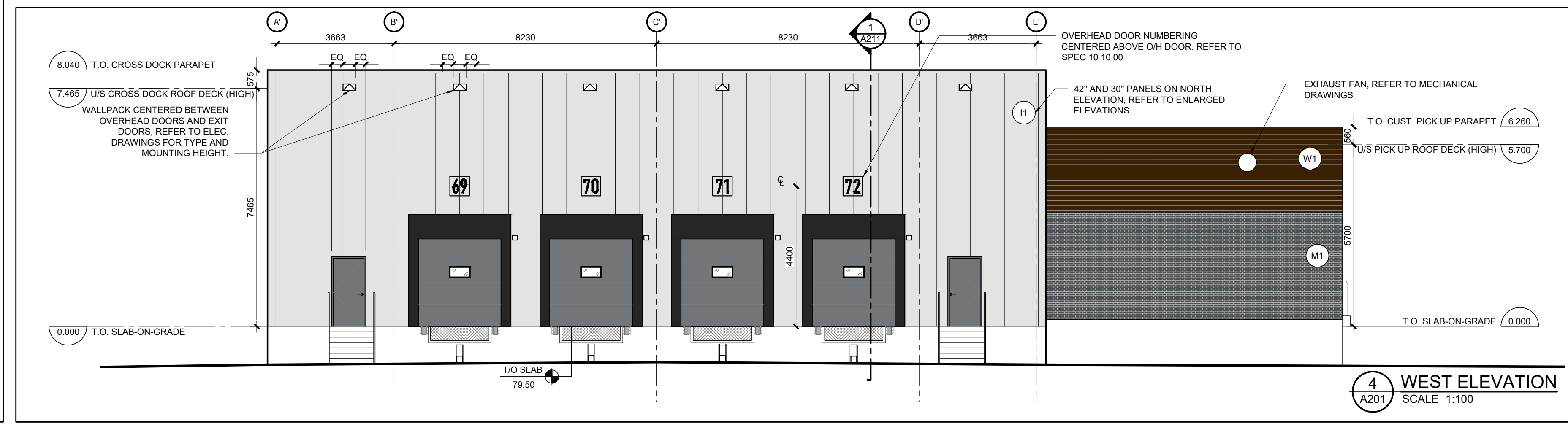
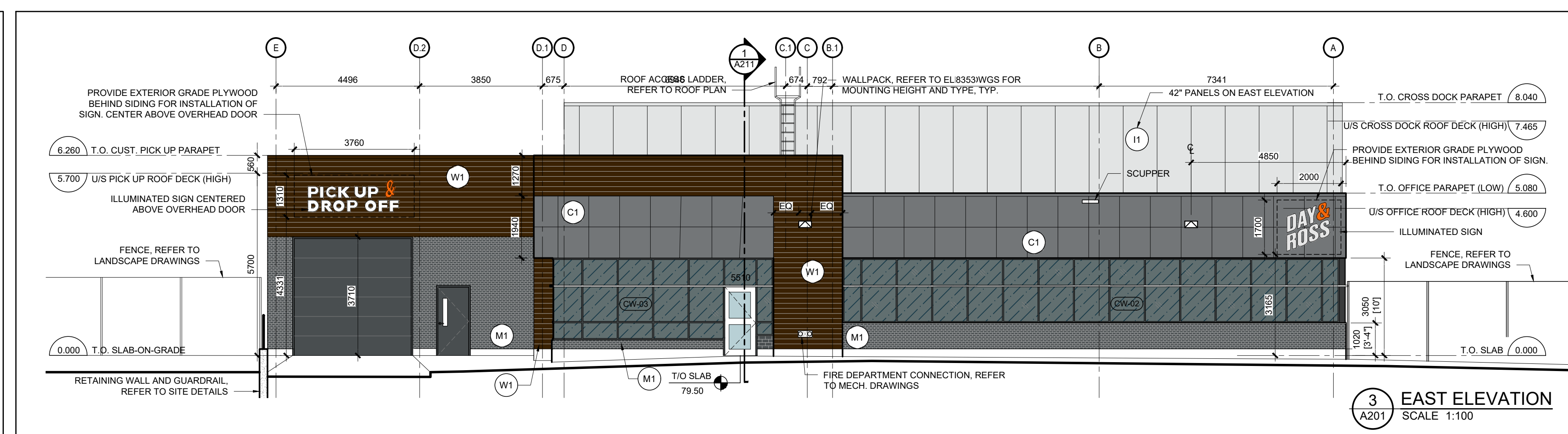
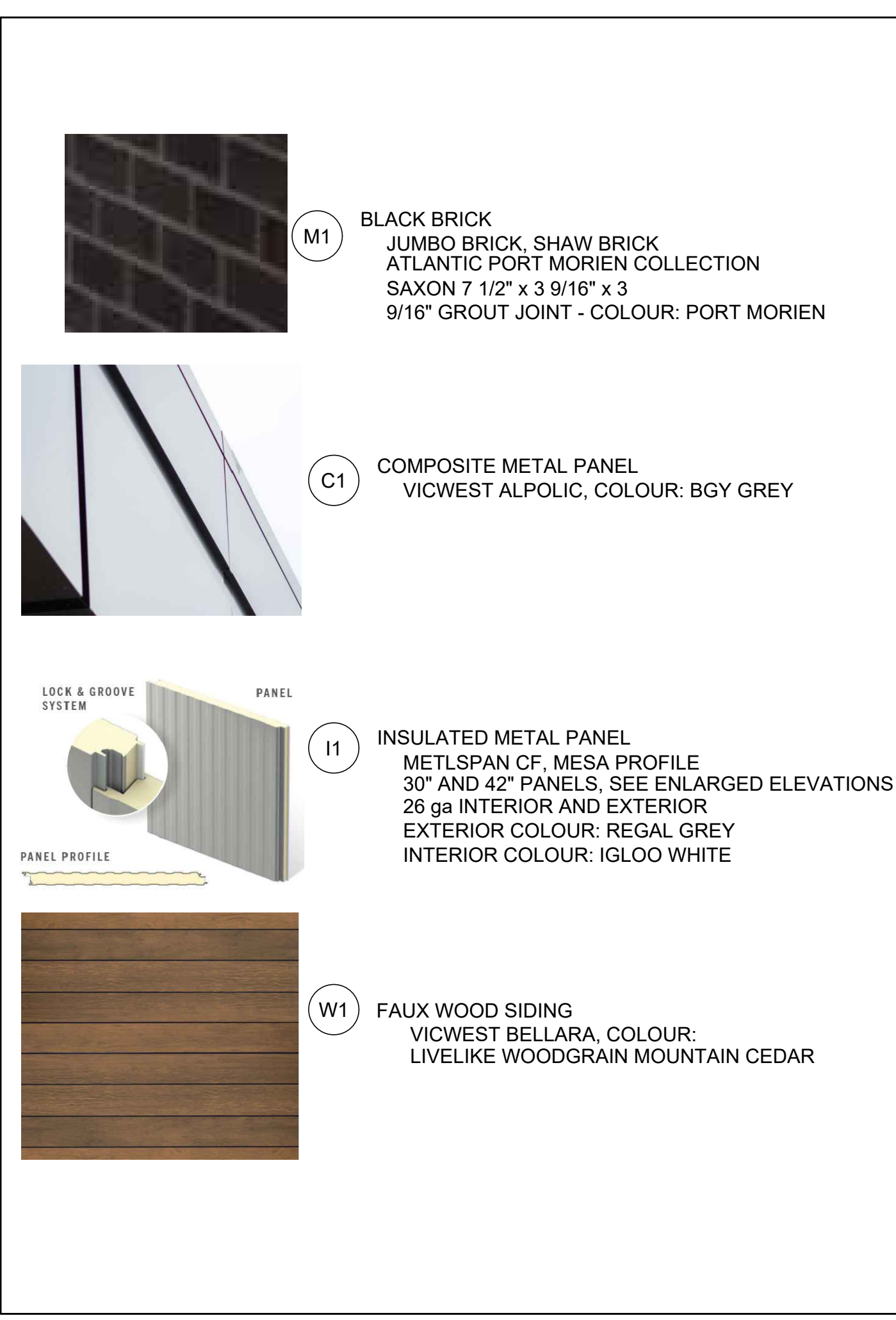
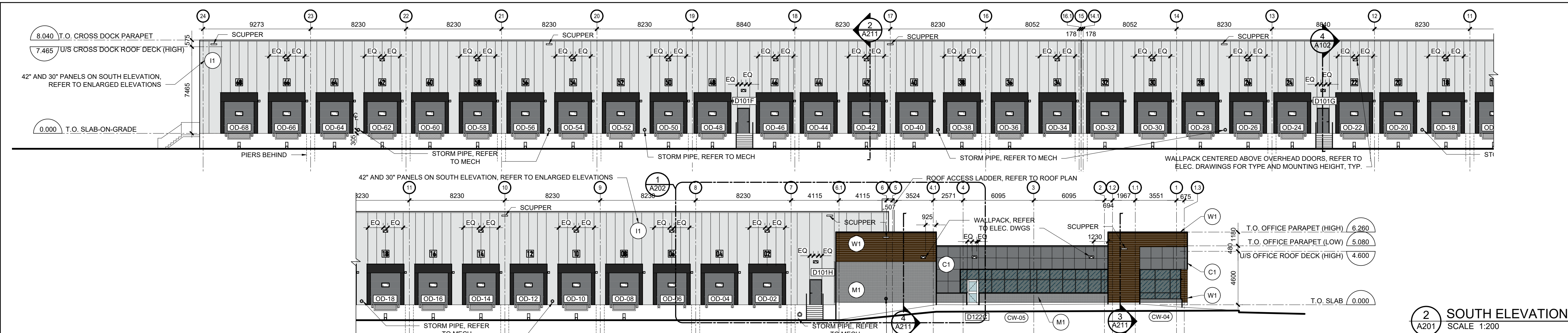
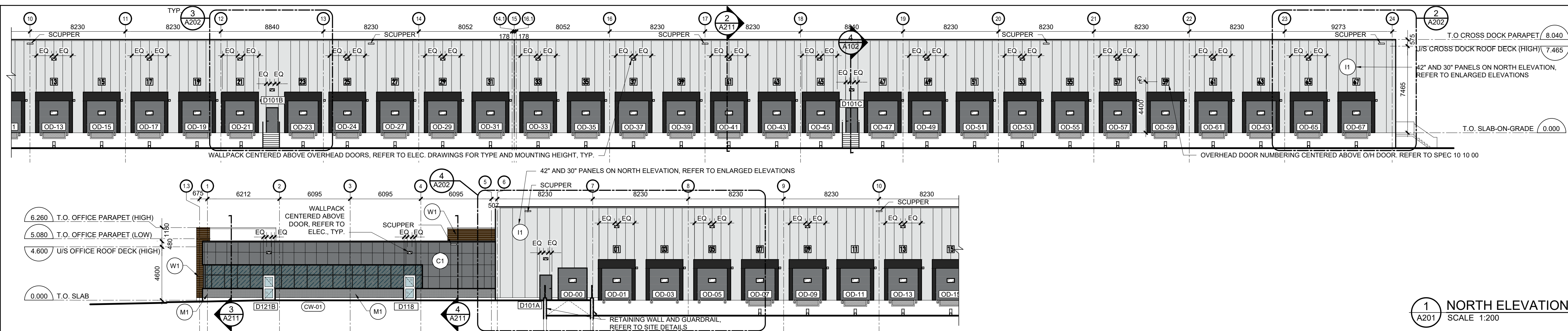
NOTE: SIGNAGE BY OTHERS, PYLON SIGN FOUNDATION AND POWER BY G.C.
SIGN MANUFACTURER TO PROVIDE COLOUR SAMPLES FOR OWNER'S FINAL APPROVAL.

3M TRANSLUCENT GRAPHIC FILM ON TOP AND SIDES: TANGERINE 3630-84
PRE-FINISHED METAL, COLOUR: BLACK 3M 3630-22
3M TRANSLUCENT GRAPHIC FILM ON SIDES: TANGERINE 3630-84
PRE-FINISHED METAL, COLOUR: BLACK 3M 3630-22
3M TRANSLUCENT GRAPHIC FILM: BLACK 3630-22

REFER TO STRUCTURAL DRAWINGS FOR PYLON SIGN FOUNDATIONS

SIDE VIEW

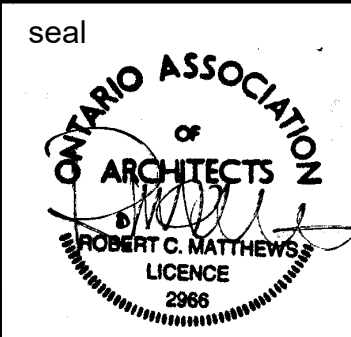
B. SECTION DETAIL
SCALE 1:20A. PLAN DETAIL
SCALE 1:101 TYP. RECEPTACLE POST
SCALE 1:20



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DAY & ROSS
5494-5510 BOUNDARY ROAD
GLOUCESTER, ON



drawing title
BUILDING ELEVATIONS

scale AS SHOWN	drawn by DL
date MAR 2024	checked by RM
project number 22-765	drawing number A201
CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE WORK COMMENCES.	
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revision 03	