



**SITE PLAN CONTROL APPLICATION
DELEGATED AUTHORITY REPORT
PLANNING, DEVELOPMENT AND BUILDING SERVICES DEPARTMENT**

Site Location: 1279 Colonial Road

File No.: D07-12-24-0055

Date of Application: July 12, 2024

This SITE PLAN CONTROL application submitted by William Kollaard, Kollaard Associates Inc., on behalf of the Cumberland Township Agricultural Society, is APPROVED as shown on the following plan(s):

1. **Data Collection Plan of the Cumberland Agricultural Society Navan (Ontario) being: Part of Lot 11 Concession 8**, prepared by Annis, O'Sullivan, Vollebek Ltd., dated September 26th, 2011.
2. **Foundation Plan Ground Floor Plan Rod Plan - Site Plan**, A1, prepared by Bryden Gibson Architects Incorporated, dated May 2024.
3. **Predevelopment Plan**, 240297-PRE, prepared by Kollaard Associates Engineers, dated June 28, 2024, revision September 24, 2024.
4. **Post-Development Conditions**, 240297-POST, prepared by Kollaard Associates Ltd., dated June 28, 2024, revision September 24, 2024
5. **Site Grading Plan**, 240297-GR, prepared by Kollaard Associates Ltd., dated June 28, 2024, revision September 24, 2024.
6. **Existing Ditch Drainage Patterns**, 240297 – DITCH, prepared by Kollaard Associates Ltd., dated May 28, 2024, revision September 24, 2024.
7. **Erosion and Sediment Control Plan**, 240297 – ECS, prepared by Kollaard Associates Ltd., dated June 28, 2024, revision September 24, 2024.

And as detailed in the following report(s):

1. **Stormwater Management Report**, prepared by Kollaard Associates Ltd., dated June 28, 2024, revised September 24, 2024.

And subject to the following Requirements, General and Special Conditions:

Requirements

1. The Owner shall submit a certificate of insurance in a form satisfactory to the City. The certificate of insurance must be issued in favor of the City of Ottawa in an amount not less than five million dollars per occurrence, must contain an endorsement naming the City as an additional insured and an unconditional thirty days notice of any material change or cancellation of the policy.

General Conditions

1. Execution of Letter of Undertaking

The Owner shall execute the City's standard Letter of Undertaking and satisfy the conditions contained within this Delegated Authority Report. In the event the Owner fails to execute the required Letter of Undertaking, submit any required fees and/or securities within three (3) years, and attain permits, this approval shall lapse.

2. Construction Fencing

The Owner acknowledges and agrees to install construction fencing, at its expense, in such a location as may be determined by the General Manager, Planning, Development and Building Services.

Special Conditions

3. Stormwater Works Certification

Upon completion of all stormwater management Works, the Owner acknowledges and agrees to retain the services of a Professional Engineer, licensed in the Province of Ontario, to ensure that all measures have been implemented in conformity with the approved Plans and Reports. The Owner further acknowledges and agrees to provide the General Manager, Planning, Development and Building Services with certificates of compliance issued by a Professional Engineer, licensed in the Province of Ontario, confirming that all recommendations and provisions have been implemented in accordance with the approved Plans and Reports.

4. Site Lighting Certificate

In addition to the requirements of City Standards or Specifications, the Owner acknowledges and agrees, prior to the issuance of a building permit, to provide the City with a certificate from an acceptable professional engineer, licensed in the Province of Ontario, which certificate shall state that the exterior site lighting has been designed to meet the following criteria:

- (a) it must be designed using only fixtures that meet the criteria for full cut-off (sharp cut-off) classification, as recognized by the Illuminating Engineering Society of North America (IESNA or IES); and

- (b) it must result in minimal light spillage onto adjacent properties. As a guideline, 0.5 fc is normally the maximum allowable spillage.
- (c) The Owner acknowledges and agrees that, upon completion of the lighting Works and prior to the City releasing any associated securities, the Owner shall provide certification satisfactory to the General Manager, Planning, Development and Building Services, from a Professional Engineer, licensed in the Province of Ontario, that the site lighting has been constructed in accordance with the Owner's approved design plan.

5. **Private Access**

The Owner acknowledges and agrees that all private accesses to Roads shall comply with the City's Private Approach By-Law being By-Law No. 2003-447 as amended, or as approved through the Site Plan control process.

6. **Corner Sight Triangle**

The Owner acknowledges and agrees to convey to the City, at no cost to the City, an unencumbered corner sight triangle measuring 9 metres x 3 metres at the intersection of Colonial Road and Fairgreen Ave, within 1 year of the registration of the Site Plan Agreement or the execution of the Letter of Undertaking. The exact location and area of the corner sight triangle must be determined by legal survey. The Owner shall provide a reference plan for registration, indicating the corner sight triangle, to the City Surveyor for review prior to its deposit in the Land Registry Office. Such reference plan must be tied to the Horizontal Control Network in accordance with the municipal requirements and guidelines for referencing legal surveys. The Owner acknowledges and agrees to provide an electronic copy of the Transfer and a copy of the deposited reference plan to the City Solicitor prior to the execution of this Agreement by the City. All costs shall be borne by the Owner.

7. **Road Widening**

The Owner acknowledges and agrees to convey to the City, at no cost to the City, an unencumbered road widening across the complete Colonial Road frontage of the lands measuring 11.5 metres from the existing centreline of pavement, and an unencumbered road widening across the complete Fairgreen Avenue frontage of the lands measuring 10 metres from the existing centreline of pavement, within 1 year of the registration of the Site Plan Agreement or the execution of the Letter of Undertaking. The exact widening must be determined by legal survey. The Owner shall provide a reference plan for registration, indicating the widening, to the City Surveyor for review and approval prior to its deposit in the Land Registry Office. Such reference plan must be tied to the Horizontal Control Network in accordance with the municipal requirements and guidelines for referencing legal surveys. The Owner acknowledges and agrees to provide an electronic copy of the Transfer and a copy of the deposited reference plan to the City Solicitor prior to the execution of this Agreement by the City. All costs shall be borne by the Owner.

8. **Parkland Conveyance**

- a. The Owner acknowledges and agrees that the required parkland conveyance to the City is 7.44 square metres.
- b. The Owner covenants and agrees that the park conveyance requirement has been calculated at the rate set out below in accordance with the Parkland Dedication By-law, being By-law No. 2022-280, as amended:
 - i. For land conveyance, cash-in-lieu of parkland, or combination thereof:
 - (i) 2% of the gross land area (commercial & industrial uses).

9. Parkland Conveyance – Cash-in-Lieu

Prior to registration of the Site Plan Agreement or execution of the Letter of Undertaking, the Owner acknowledges and agrees to pay Cash-in-Lieu of parkland. Pursuant to the City's Parkland Dedication By-law, being By-law No. 2022-280, as amended, 40% of said funds collected shall be directed to City wide funds, and 60% shall be directed to Ward 19 funds. The Owner shall also pay the parkland appraisal fee.

10. Professional Engineering Inspection

The Owner shall have competent Professional Engineering inspection personnel on-site during the period of construction, to supervise the Works, and the General Manager, Planning, Real Estate and Economic Development, shall have the right at all times to inspect the installation of the Works. The Owner acknowledges and agrees that should it be found in the sole opinion of the General Manager, Planning, Real Estate and Economic Development, that such personnel are not on-site or are incompetent in the performance of their duties, or that the said Works are not being carried out in accordance with the approved plans or specifications and in accordance with good engineering practice, then the General Manager, Planning, Real Estate and Economic Development, may order all Work in the project to be stopped, altered, retested or changed to the satisfaction of the General Manager, Planning, Real Estate and Economic Development.

3 October 2024



Date

Adam Brown
Manager, Development Review Rural,
Planning, Real Estate and Economic
Development Department

Enclosure: Site Plan Control Application approval – Supporting Information

SITE PLAN CONTROL APPROVAL APPLICATION SUPPORTING INFORMATION

File Number: D07-12-24-0055

SITE LOCATION

1279 Colonial Road, and as shown on Document 1.

SYNOPSIS OF APPLICATION

- A Site Plan Control application has been received to construct two new buildings on the existing fairgrounds. One of the buildings will be in the form of a new farm and will have a gross floor area of 372m². The second building will be in the form of an open-air pavilion, used to cover an existing outdoor rink.
- The subject property is located south of Colonial Road, less than 500 metres east of the intersection of Colonial Road and Trim Road. The irregular shaped lot has an area of approximately 4 hectares. The subject site currently contains several accessory structures associated with the fairgrounds, including five (5) barn structures and four (4) pavilions, and a graded pad at the rear of the property used for an outdoor skating rink in the winter. The subject property is accessed from Colonial Road to the north, Fairgreen Avenue to the West and Delson Drive to the northeast.
- Adjacent lands to the subject property consist of municipally owned parcels, including the Navan Centennial Park to the west and the Navan Memorial Centre and Arena to the northeast. In addition, the Navan Curling Club is located west of the subject property.
- The Site Plan Control application has been submitted for the proposed development of a one-storey farm building, to be constructed in line with three (3) existing farm buildings. In addition, an open-air pavilion is proposed as part of the new development. The proposed new fair building and open-air pavilion will be used for the annual fair. Furthermore, the open-air pavilion will be used as a roof-structure to cover the existing outdoor skating rink during the winter months. No parking spaces are proposed for the new development on the site.
- The proposed new buildings will not require servicing however, the proposed barn building will have electrical lighting and power distribution. Stormwater Management within the development area will consist of a catchment area to be located at the west end of the development, draining towards the existing roadside ditch along Delson Drive.

Related Applications

N/A

DECISION AND RATIONALE

This application is approved for the following reasons:

- The subject property is designated Village as per Schedule B9 – Rural Transect of the Official Plan. Parks, recreation, and community facilities which may include fairgrounds are permitted uses within Villages as per the Official Plan. As such, the development does meet the intent of the Official Plan.
- The development meets the intent of *the Consolidated Village Secondary Plan*, where development of lands designated Village Park in the Secondary Plan is guided by policies within the Official Plan.
- The development is in conformity with the Zoning By-law. The subject property is zoned RI4 – Rural Institutional Subzone 4, in addition to the uses permitted within the Rural Institutional Zone, the use of fairground is also a permitted use in Subzone 4. Fairground is defined in the Zoning By-law as lands where fairs, circuses, or exhibitions are held primarily outdoors, and include any accessory and temporary buildings. Therefore, the proposed development is consistent with a Fairground use and RI4 zone provisions.
- The conditions of approval regarding the corner site triangle and road widening have been modified for the unique circumstances of the Navan Fairground and to the historic and on-going relationship between the Cumberland Township Agricultural Society and the City of Ottawa and are not applicable to other Site Plan Control Applications. The remaining conditions of approval ensure development is consistent with City of Ottawa policy.
- The proposed development represents good planning by proposing uses that are permitted under current zoning requirements, and contributing elements for a complete community by providing opportunities for recreation, community events and activities.

PARKLAND DEDICATION

The amount of Parkland dedication, in accordance with By-law 2022-280, is to be calculated as 2% of the gross land area of the site being developed/redeveloped for commercial or industrial purposes. Parks and Facilities is requesting cash-in-lieu of conveyance of parkland. The required parkland conveyance to the City is 7.44 square metres.

CONSULTATION DETAILS

Councillor's Comments

Councillor Catherine Kitts was aware of the application related to this report.

Councillor Catherine Kitts indicated the following comments:

This project has truly been a labour of love for the Navan Community Association and residents of Navan, who have devoted countless hours to reaching this significant milestone through planning and fundraising. Their dedication and perseverance has been remarkable to witness.

The proposed new building and outdoor pavilion represent a fantastic upgrade that will serve as an invaluable community amenity for years to come. These enhancements are not just about new structures; they are about enriching the experience and providing spaces that will foster gatherings, events, and recreational activities year-round for all in Navan and surrounding communities to enjoy. Several community groups will make use of the space, including the Cumberland Township Agricultural Society, the Original Navan Market, the Navan Fair, and of course, for the outdoor rink all winter long!

This development is a testament to what can be achieved when a community comes together with a shared vision and commitment. I was proud to champion it through several rounds of fundraising, and I look forward to seeing the positive impact these new facilities will have on Navan and its residents for years to come.

Public Comments

This application was not subject to public circulation under the Public Notification and Consultation Policy. There was no public comment received online.

Technical Agency/Public Body Comments

Summary of Comments –Technical

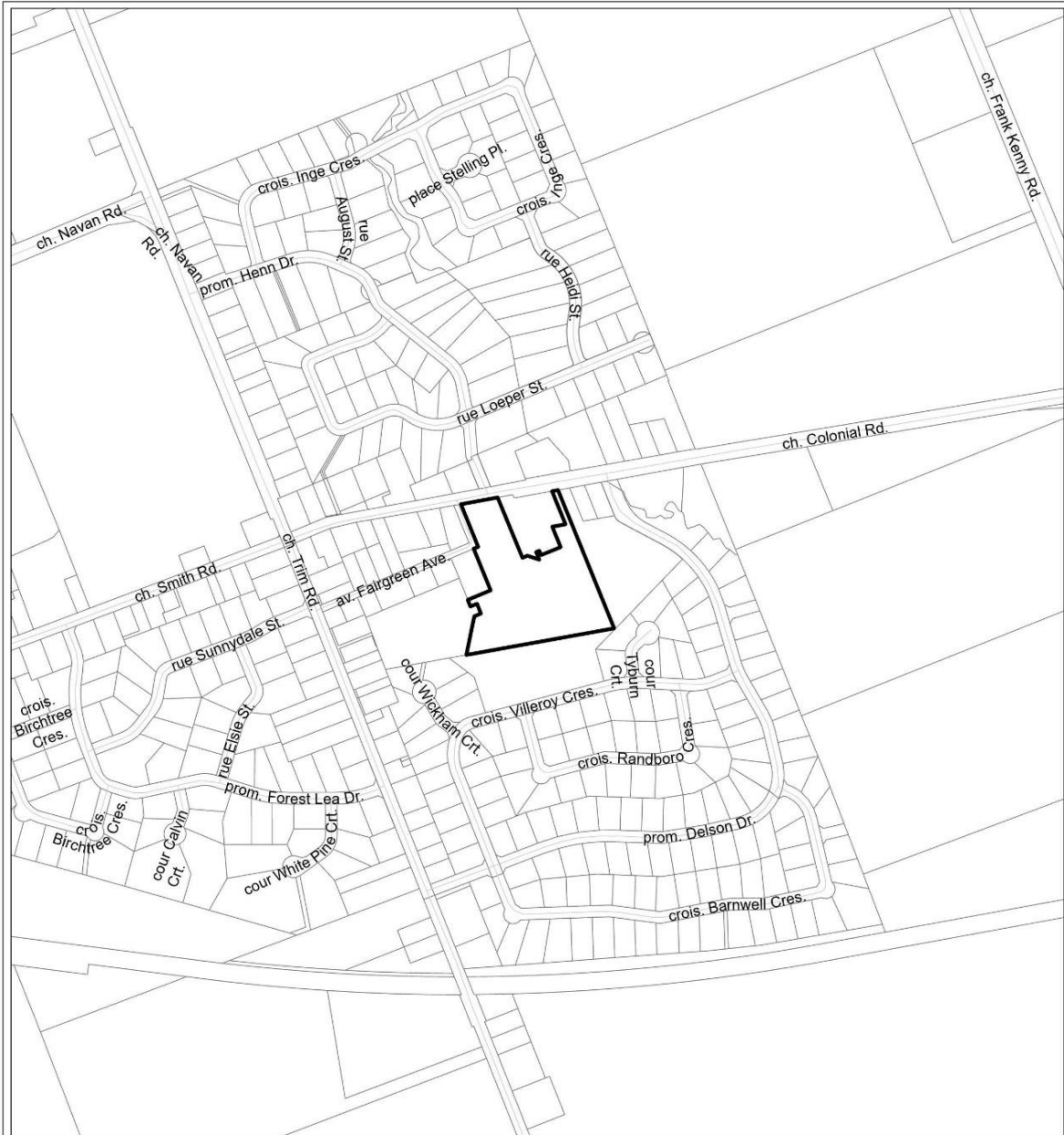
One technical agency responded to the Site Plan Control application, stating the agency does not object to the proposed application.

APPLICATION PROCESS TIMELINE STATUS

This Site Plan application was not processed by the On Time Decision Date. As part of the new Site Plan Control process with respect to *Bill 185*, the applicant chose to proceed to the approval process with all draft conditions noted in the Formal Review Letter as conditions in the Delegated Authority Report. However, staff were not satisfied with both the Site Plan and Stormwater Management Report as the City's Terms of Reference was not met. In response, City staff included draft conditions where the Site Plan and Stormwater Management Report must be revised to the satisfaction of the General Manger of Planning, Development and Building Services prior to the execution of a Letter of Undertaking. Since the applicant chose to proceed to the approval process, the application was not placed on hold while staff received and reviewed the required submission material.

Contact: Jaime Mallory Tel: 613-580-2424, ext. 25861 or e-mail: jaime.mallory@ottawa.ca.

Document 1 – Location Map



LOCATION MAP / PLAN DE LOCALISATION
SITE PLAN / PLAN D'EMPLACEMENT

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24-0774-D

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REVISION / RÉVISION - 2024 / 07 / 16



1279 ch. Colonial Road

