

NOTES

- FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SUBMITTED SEPARATELY.
- FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLANS BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY.
- ZONING GFA INCLUDES AREA MEASURED FROM THE INTERIOR FACE OF EXTERIOR WALLS TO THE EXTERIOR FACE OF PARTY WALLS SEPARATING DIFFERENT USES, AS DEFINED IN CITY OF OTTAWA ZONING BY-LAW DEFINITION (2008-250).

| SOLID WASTE COLLECTION REQUIREMENTS | | |
|-------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ZONING MECHANISM | REGULATION | PROPOSED |
| Residential Waste | Garbage (Compacted) = 0.053y/unit Require 16y ³ Recycling (GMP) = 0.018y/unit Require 6y ³ Recycling (Fibres) = 0.038y/unit Require 12y ³ Organics = 240L container/50 units Require 6 containers | Garbage (Compacted) = 6 x 3y ³ containers Total = 18y ³ Recycling (GMP) = 2 x 3y ³ containers Total = 6y ³ Recycling (Fibres) = 4 x 3y ³ containers Total = 12y ³ Organics = 7 x 240L containers Total = 1680L |

| OCCUPANCY | UNITS / STOREYS | PROPOSED ZONING GFA |
|----------------------|-----------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Residential (Rental) | 297 units / Ground to 21st floors | Ground = 1 caretaker unit = 93.9m ² (excluded) 2nd = 16 units = 946m ² 3rd = 16 units = 946m ² 4th - 11th = 15 units/floor = 934m ² /floor 12th = 15 units = 932m ² 13th - 17th = 15 units/floor = 934m ² /floor 18th = 14 units = 876m ² 19th & 20th = 14 units = 851m ² 21st = 12 units = 772m ² TOTAL = 18,309m ² (without Ground) |
| | Minimum 15% (44 units) required to be Barrier-Free (BF) to be distributed throughout residential storeys. | 8 x Studios (18F units = 15%) 191 x 1 Bedroom (318F units = 16%) 98 x 2 Bedroom (158F units = 15%) 478F units = 15% |
| Commercial | Ground | Commercial = 453m ² Office = 72m ² |
| TOTAL | | 18,834m² |

| MIXED-USE WITH GROUND FLOOR COMMERCIAL - ZONING - MD2 (2031) S307 | | |
|-------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ZONING RULE | REQUIREMENT | PROVIDED |
| Minimum lot area | No minimum | 3,109.10m ² |
| Minimum lot width | No minimum | 42.45m on George Street. 40.40 on back portion. |
| Minimum front yard | No minimum, 1m maximum. | 0.72m on George Street |
| Minimum interior side yard | No minimum | 0.70m on West side of building. 1.94m on East side of building. |
| Minimum rear yard | No minimum | 6.29m to one storey volume. 5.47m to 4th to 17th floor overhang. |
| Maximum building height | 70m as per Schedule 307. No projections permitted beyond building height. | 70m all inclusive. |
| Maximum floor space index | Not applicable | Not applicable |
| Minimum width of landscape area | No minimum except that where a yard is provided and not used for required driveways, aisles, parking, loading spaces, or outdoor commercial patio, the whole yard must be landscaped | Whole yard to be landscaped. |
| Provisions for buildings 10 storeys and higher (By-law 2019-353) | Minimum lot area for an interior lot: 1350m ² Minimum interior side and rear yard setback for a tower: 7.5m Minimum separation distance between towers on the same lot: 15m. | Minimum lot area met. Site Plan Approval received. Not applicable. |
| Parking Garage permission | 100% of ground floor fronting a street (excluding mechanical room, pedestrian and vehicular access) for a minimum depth of 3m, must be occupied by permitted use. | 100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use and Office use. |
| Ground floor use | 100% of ground floor fronting a street (excluding lobby area, mechanical room and access to other floors) for a minimum depth of 3m, must be occupied by select uses. Total gross area of lobbies, mechanical rooms and access to other floors must not exceed 50% of ground floor gross area. Min. 50% of ground floor to be occupied by permitted use subject to a separate and direct access to abutting street. | 100% of ground fronting George Street for a minimum depth of 3m, is occupied by permitted Commercial use. Total gross area of lobbies, mechanical rooms and access to other floors does not exceed 50% of ground floor gross area. Area of permitted Commercial use exceeds 50% of gross floor area and has separate direct access to George Street. |

GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architect(e)s inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIR
 7405 San Danbro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jaiconsultants.com

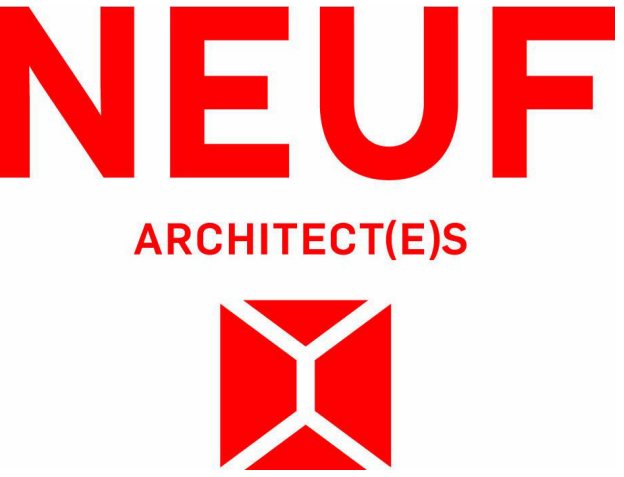
Structural Engineer
Goodeve Structural Inc.
 18-77 Auriga Drive, Ottawa ON K2E 7Z7
 T 613 228 4538 goodevestructural.com

Landscape Architect
James B. Lennox & Associates
 3332 Carling Avenue, Ottawa, ON, K2H 5A8
 T 613 722 6169 jbla.ca

Civil
Novatech Eng. Consultants Ltd.
 240, Michael Cowling Drive, Suite 200, Ottawa ON K2M 1P6
 T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
 1700-17th Street, 4th floor, Ottawa ON K1N 6J1
 T 514 847 1117 NEUFarchitectes.com

Seal



Project
141 GEORGE STREET

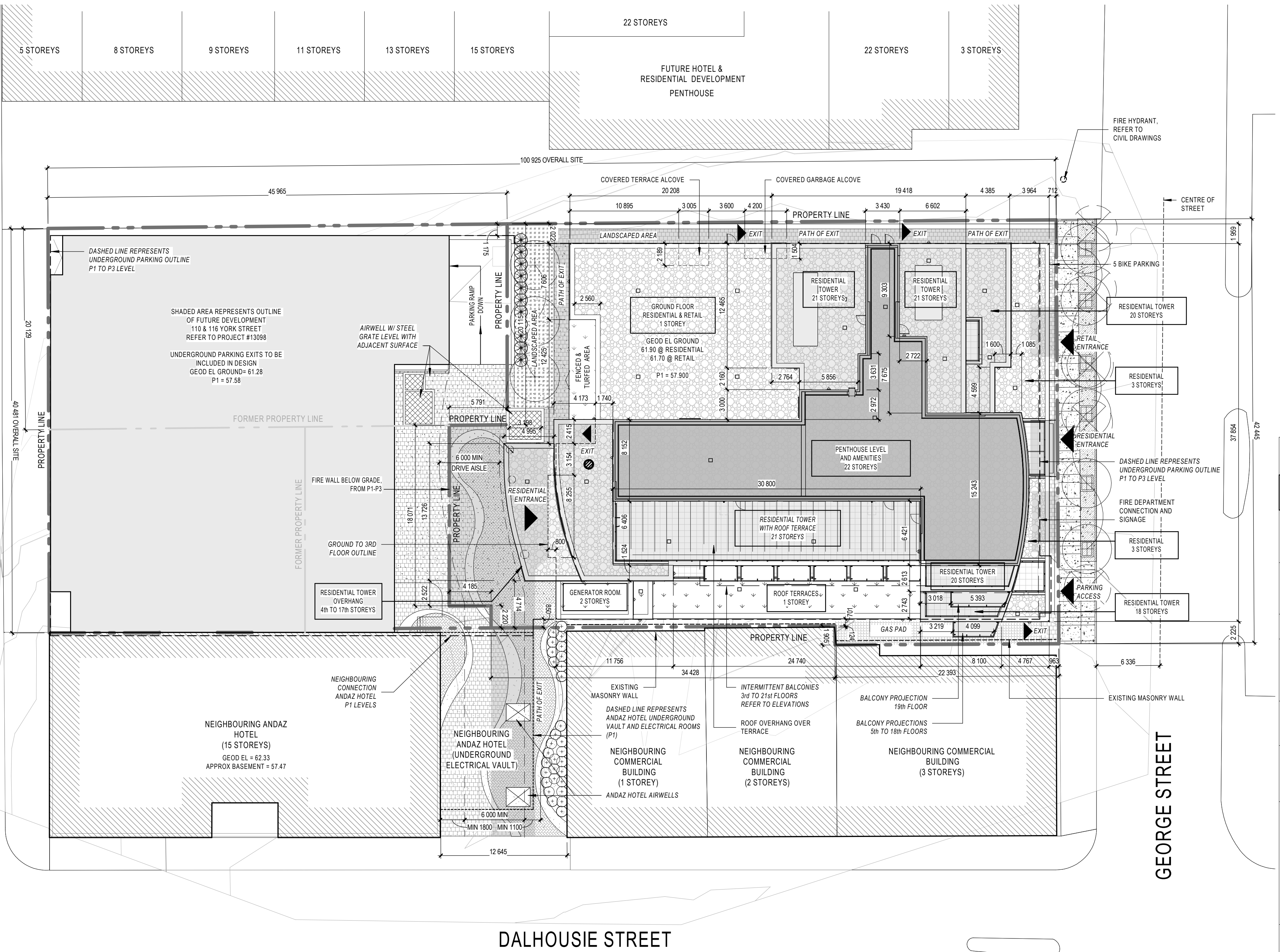
Location
OTTAWA No. **12810**

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| DD | FOR COORDINATION | 2023.11.02 |
| FF | FOR COORDINATION | 2023.11.13 |
| JJ | FOR COORDINATION | 2023.11.27 |
| KK | FOR COORDINATION | 2023.12.04 |
| LL | FOR COORDINATION | 2023.12.15 |
| MM | FOR PERMIT | 2023.12.21 |
| OO | FOR COORDINATION | 2024.01.23 |
| RR | FOR COORDINATION | 2024.02.26 |
| VV | RE-ISSUED FOR PERMIT | 2024.04.16 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE-ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by **SJ** Checked by **LH**
 DATE (aa.mm.jj) **FEB 2023** Scale **As indicated**

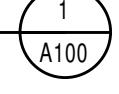
Drawing Title
SITE PLAN

Revision **III** Dwg Number **A100**



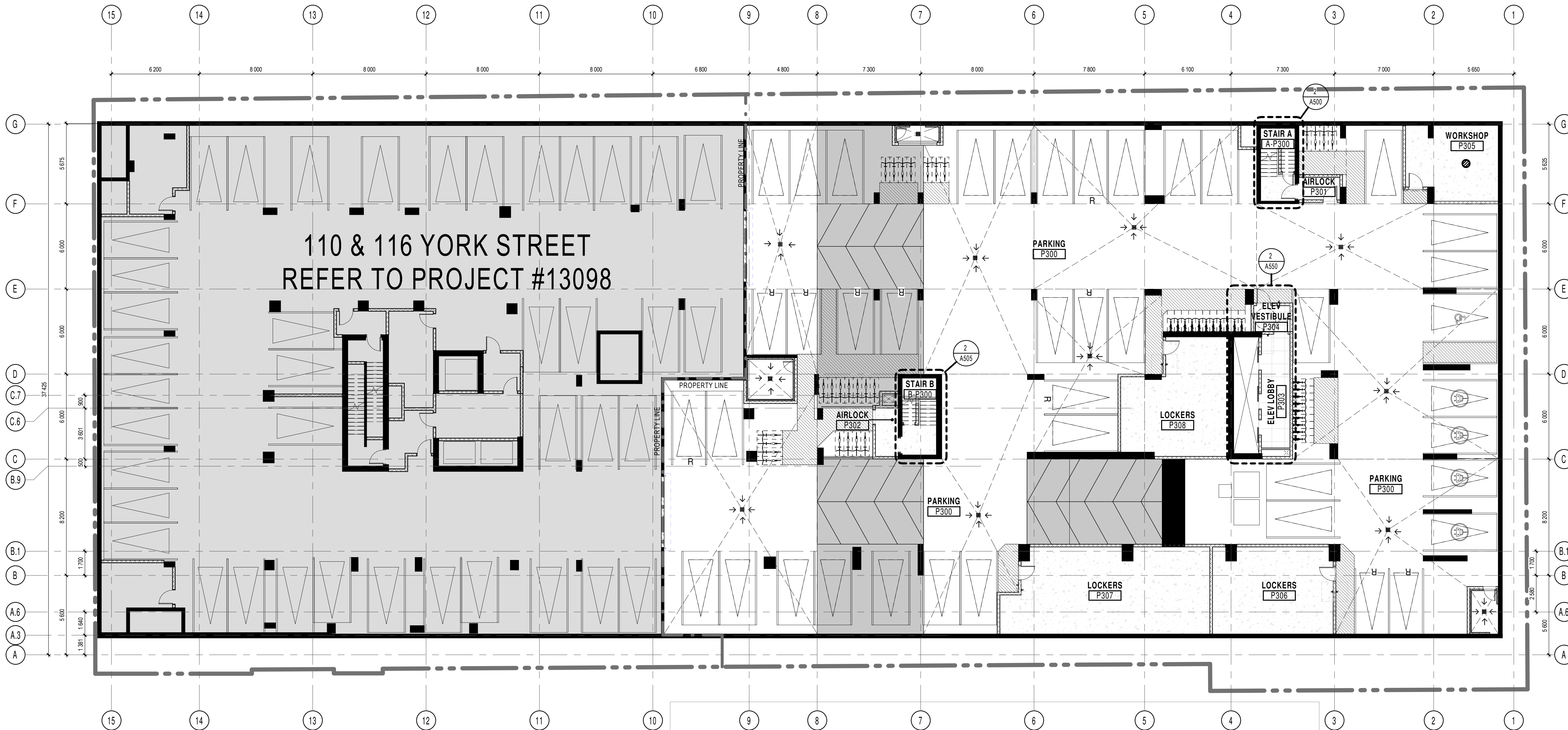
| AMENITY AND PARKING REQUIREMENTS ZONING - MD2 (2031) S307 (PARKING COMBINED WITH FUTURE 110 & 116 YORK STREET DEVELOPMENT) | | | | |
|----------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| ZONING MECHANISM | REGULATION | ORIGINAL PROPOSAL 1 STOREY PARKING (DEC 7, 2012) | PROPOSED 5 STOREY PARKING (JUN 6, 2023) | NEWLY PROPOSED (JULY 2024) |
| Residential Parking 141 GEORGE | None Required 6m drive aisle required. | Hotel & Condo 5 exterior 225 interior | P2 26 spaces P3 51 spaces P4 32 spaces P5 52 spaces | P2 6 spaces P3 37 spaces 6.0m drive aisle provided. P3 41 spaces |
| Visitor Parking 141 GEORGE | Residential Area 2 (By-law 2016-249); no more than 30 visitor spaces are required per building. Exception #2031: 0.083 spaces x 297 units = 25 visitor parking spaces 6m drive aisle required. | | P1 2 spaces P2 23 spaces | P2 25 spaces 6.0m drive aisle provided. |
| Commercial Parking 141 GEORGE | None Required 6.7m drive aisle required. | | P1 5 spaces. | P1 5 spaces 6.0m drive aisle provided. |
| Hotel Parking 141 GEORGE | None Required 6m drive aisle required. | | P1 25 spaces | P1 21 spaces P2 8 spaces 6.0m drive aisle provided. |
| Barrier-Free Parking 141 GEORGE | Requires 1 barrier-free spaces (Traffic and Parking By-Law 2017-301) | | P1 to P5 2 spaces per floor 10 spaces | P2 1 space P3 1 space P1 1 space P2 1 space 4 spaces |
| Minimum Bicycle Parking 141 GEORGE | Residential: 0.5 spaces x 297 units = 149 bicycle parking spaces Retail: 1 space per 250m ² of GFA 468m ² GFA / 250m ² = 2 bicycle parking spaces Hotel: 1 per 1000m ² of GFA +8,800m ² GFA / 1,000m ² = 9 bicycle parking spaces Minimum 50% to be horizontal racks. | Condo 141 interior Hotel 7 exterior | Residential: 16 (P1) 64 (P2) 66 (P3) Retail: 5 (Exterior) Total: 148 spaces | Residential: 86 (P1) 42 (P2) 46 (P3) 5 (Exterior) Total: 179 spaces |
| Maximum parking | 1.5 per dwelling unit Limited to 446 space for 297 units. (combined with visitor) 1 per 100m ² of Commercial gross area. Limited to 5 spaces. | | Total parking spaces is under the limit. Commercial parking spaces maximized. | Total parking spaces is under the limit. Commercial parking spaces maximized. |
| Minimum driveway width | 6m | | 6m | 6m |
| Minimum aisle width | 6m | | 6m | 6m |
| Loading | Exception #2031: None Required. | | NA | NA |
| Amenities Areas | Amenity Area - 6m ² per unit = 297 units x 6m ² = 1,782m ² Communal Amenity Area - Exception #2031: minimum 40% off the required total Amenity Area = 1,782m ² x 0.4 = minimum 713m ² Layout of Communal Amenity Area - aggregated into areas up to 54m ² | | Total Balconies = 1,555m ² Ground = 35m ² 2nd = 59m ² 3rd = 89m ² 4th to 17th = 75m ² /floor 18th = 77m ² 19th = 85m ² 20th = 75m ² 21st = 85m ² Total Communal = 729m ² Ground floor = 220m ² 2nd = 195m ² 21st = 341m ² Total = 2,284m ² | Total Balconies = 1,734m ² Ground = 7m ² 2nd = 110m ² 3rd = 113m ² 4th = 56m ² 5th to 17th = 82m ² /floor 18th = 80m ² 19th = 87m ² 20th = 84m ² 21st = 82m ² Total Communal = 773m ² Ground floor = 432m ² 22nd = 341m ² Total = 2,507m ² |

SITE PLAN
1 : 250



C:\Fishers Revit Locaux\141GS_12810_ARC_R22_splans\U643X.rvt

D070-12-0199



GENERAL NOTES

1. These architectural documents are the exclusive property of NEUF architectes inc. and cannot be used, copied, or reproduced without written pre-authorization.
2. The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
3. The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
4. Do not scale drawings. The dimensions on these documents must be read and not measured.
5. These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
 7405 Saint-Damier Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jainconsultants.com

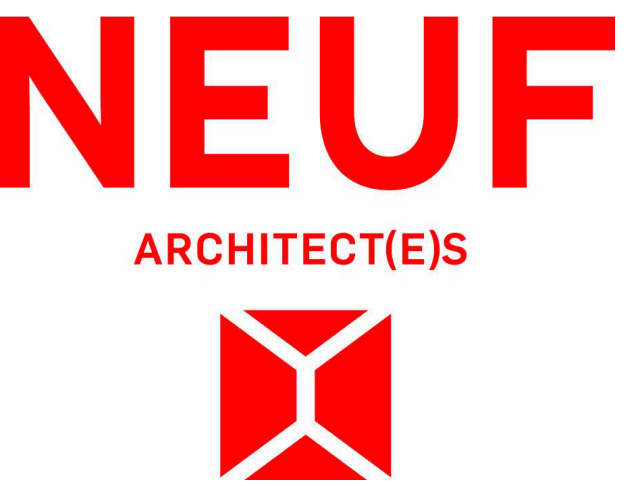
Structural Engineer
Goodeve Structural Inc.
 18-77 Auriga Drive, Ottawa ON K2E 7Z7
 T 613 228 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
 5332 Carling Avenue, Ottawa, ON, K2H 5A8
 T 613 722 6168 jba.ca

Civil
Novatech Eng. Consultants Ltd.
 240, Michal Cowles Road, Suite 200, Ottawa ON K2M 1P6
 T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
 17 Robson Street, 4th floor, Ottawa ON K1N 6J1
 T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project
141 GEORGE STREET

Location
 OTTAWA 12810

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
 SJ
 DATE (aa.mm.jj)
 SEP 2022
 Drawing Title

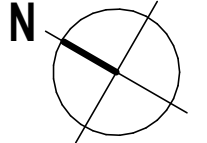
Checked by
 LH
 Scale
 1 : 150

PARKING LEVEL 3 FLOOR PLAN

Revision
 III
 Dwg Number
A198

P3 OVERALL FLOOR PLAN
 1 : 150

1
 A198



GENERAL NOTES

- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CEAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH. RESIDENTIAL LEVEL 61 990 = GEODETIC LEVEL 61.8m
- ARCH. RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED WOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.

GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architect(e)s inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
 7405 East Danboro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jainconsultants.com

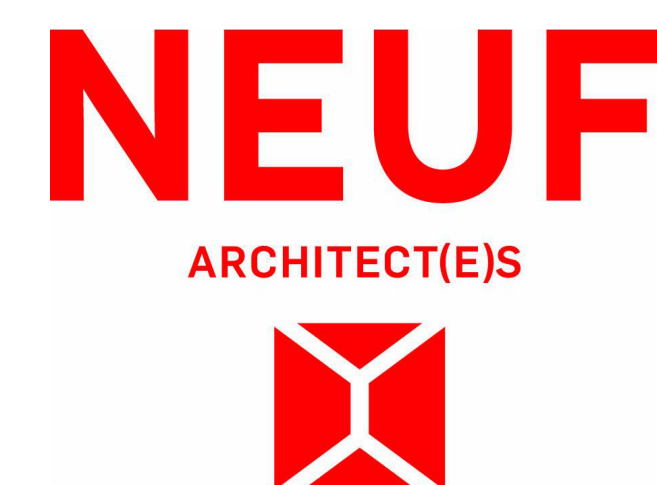
Structural Engineer
Goodeve Structural Inc.
 18-77 Aurora Drive, Ottawa ON K2E 7Z7
 T 613 226 4556 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
 3332 Carling Avenue, Ottawa, ON K2H 5A8
 T 613 722 6169 jba.ca

Civil
Novatech Eng. Consultants Ltd.
 210, Michal Cowling Drive, Suite 200, Ottawa ON K2M 1P6
 T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
 1155 Steeles Street, 4th Floor, Ottawa ON K1N 6J1
 T 514 847 1117 NEUFArchitectes.com

Scale



Client
141 GEORGE STREET

Location
OTTAWA No. 12810

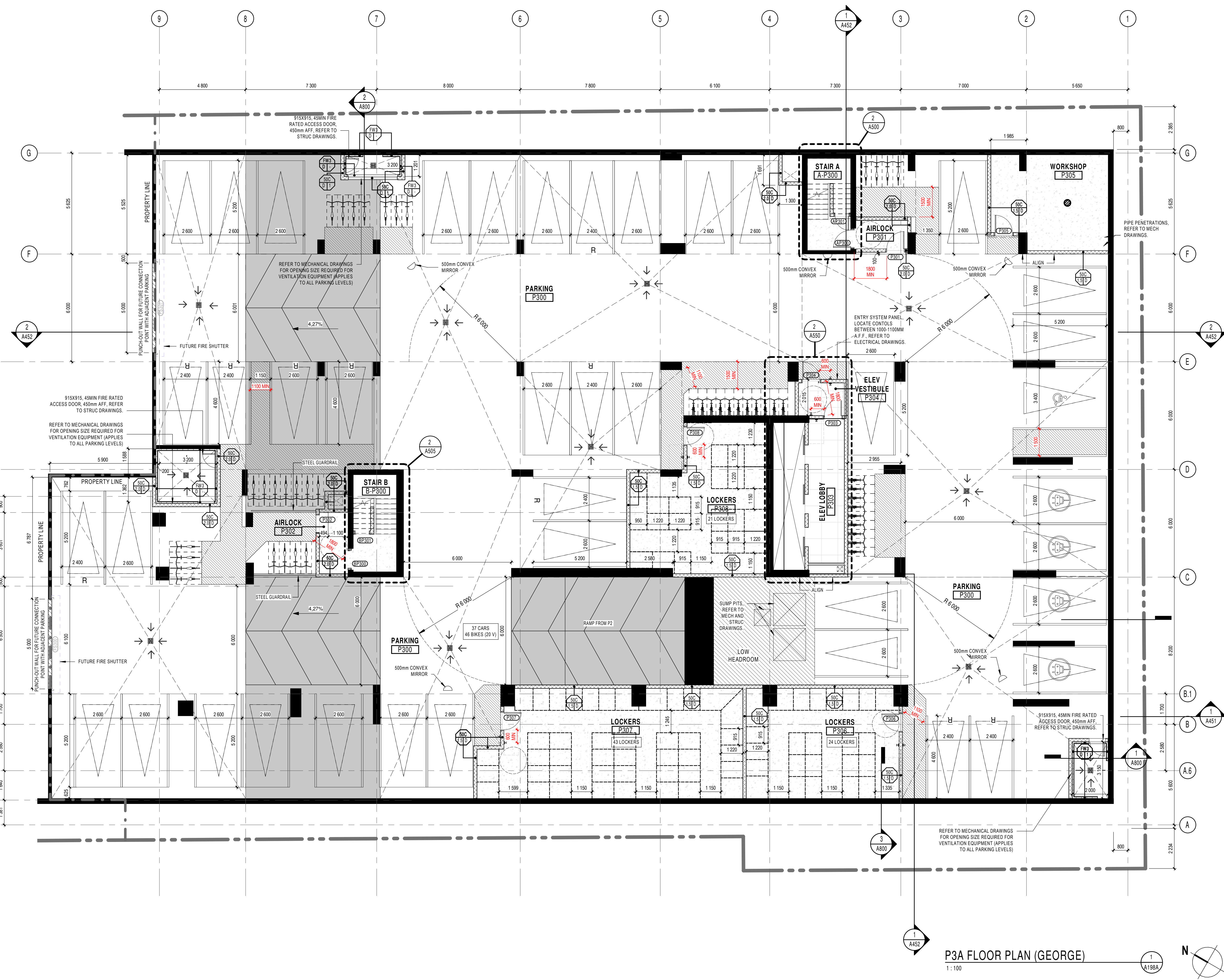
| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| AA | FOR COORDINATION | 2023.10.10 |
| FF | FOR COORDINATION | 2023.11.13 |
| JJ | FOR COORDINATION | 2023.11.27 |
| KK | FOR COORDINATION | 2023.12.04 |
| LL | FOR COORDINATION | 2023.12.15 |
| MM | FOR PERMIT | 2023.12.21 |
| OO | FOR COORDINATION | 2024.01.23 |
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE-ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
SJ Checked by
LH
 DATE (aa.mm.jj) SEP 2022 Scale As indicated

Drawing Title
PARKING LEVEL 3 FLOOR PLAN (GEORGE)

Revision
A198A Dwg Number
A198A

C:\Fichiers Revit\Locaux\141GS_12810_ARC_R22_splanisU643X.rvt

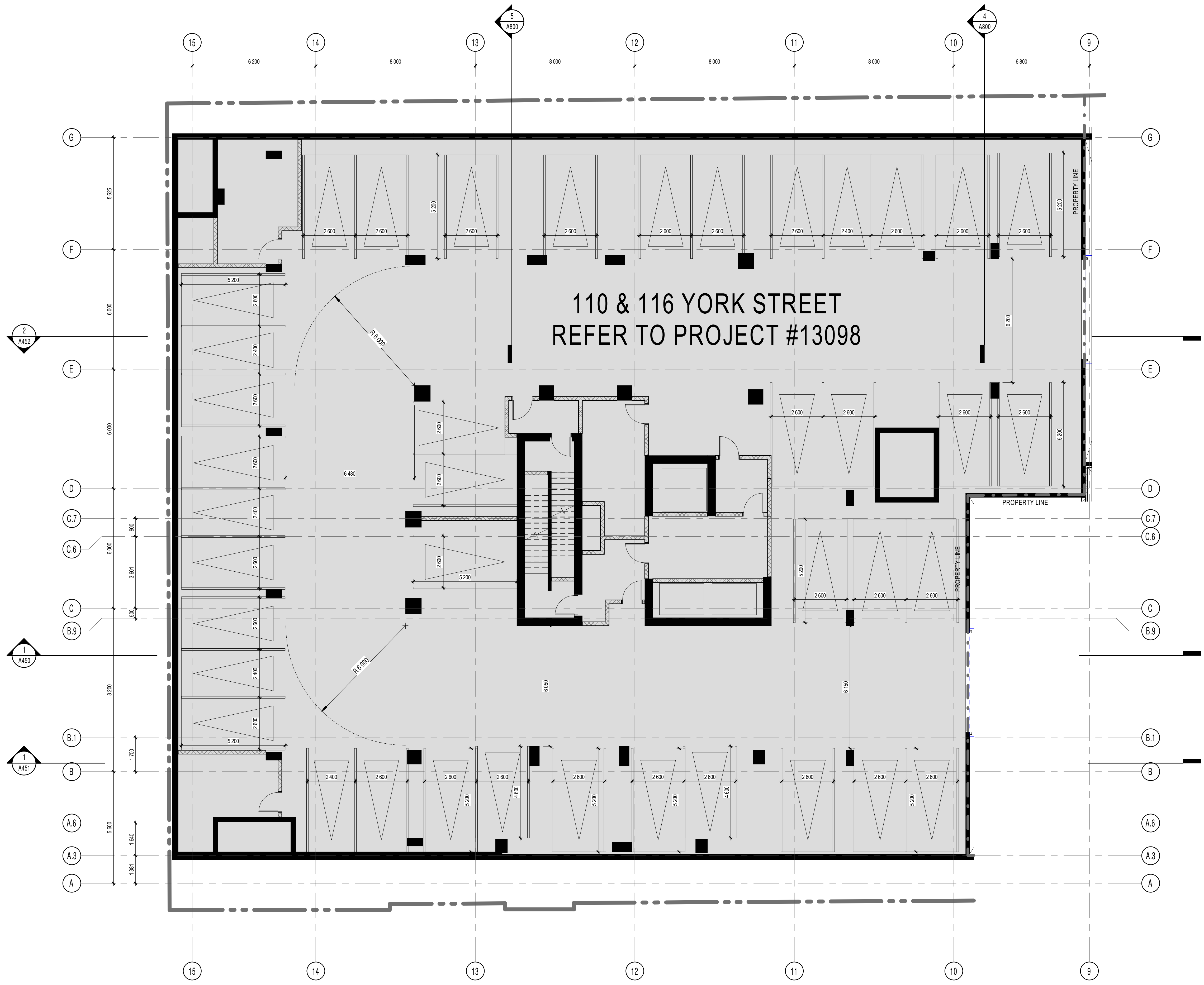


P3A FLOOR PLAN (GEORGE)
 1:100

D070-12-12-0109

GENERAL NOTES

- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS INC.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CEAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH RESIDENTIAL LEVEL 61 990 = GEODETIC LEVEL 61.9m
- ARCH RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architects inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
 7405 East Danboro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jainconsultants.com

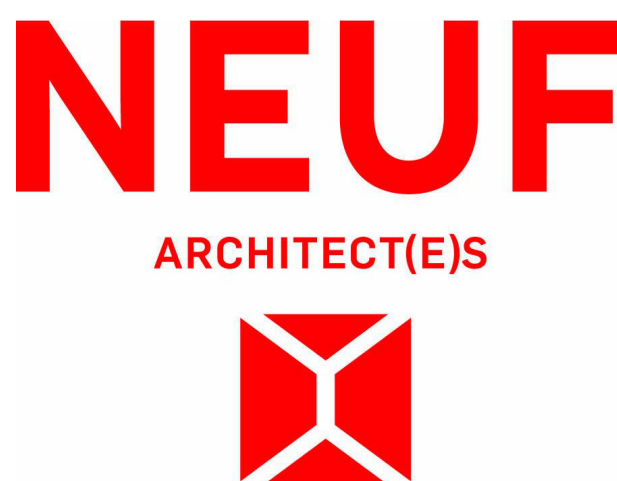
Structural Engineer
Goodeve Structural Inc.
 18-77 Auriga Drive, Ottawa ON K2E 7Z7
 T 613 226 4556 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
 3332 Carling Avenue, Ottawa, ON, K2H 5A8
 T 613 722 6169 jba.ca

Civil
Novatech Eng. Consultants Ltd.
 240, Michael Cowles Rd. Suite 200, Ottawa ON K2M 1P6
 T 613 234 9642 novatech-eng.com

Architect
NEUF Architectes INC.
 13 Fabius Street, 4th floor, Ottawa ON K1N 6J1
 T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location
 OTTAWA 12810

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
 SJ
 DATE (aa.mm.jj)
 SEP 2022
 Drawing Title

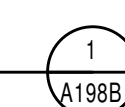
Checked by
 LH
 Scale
 As indicated

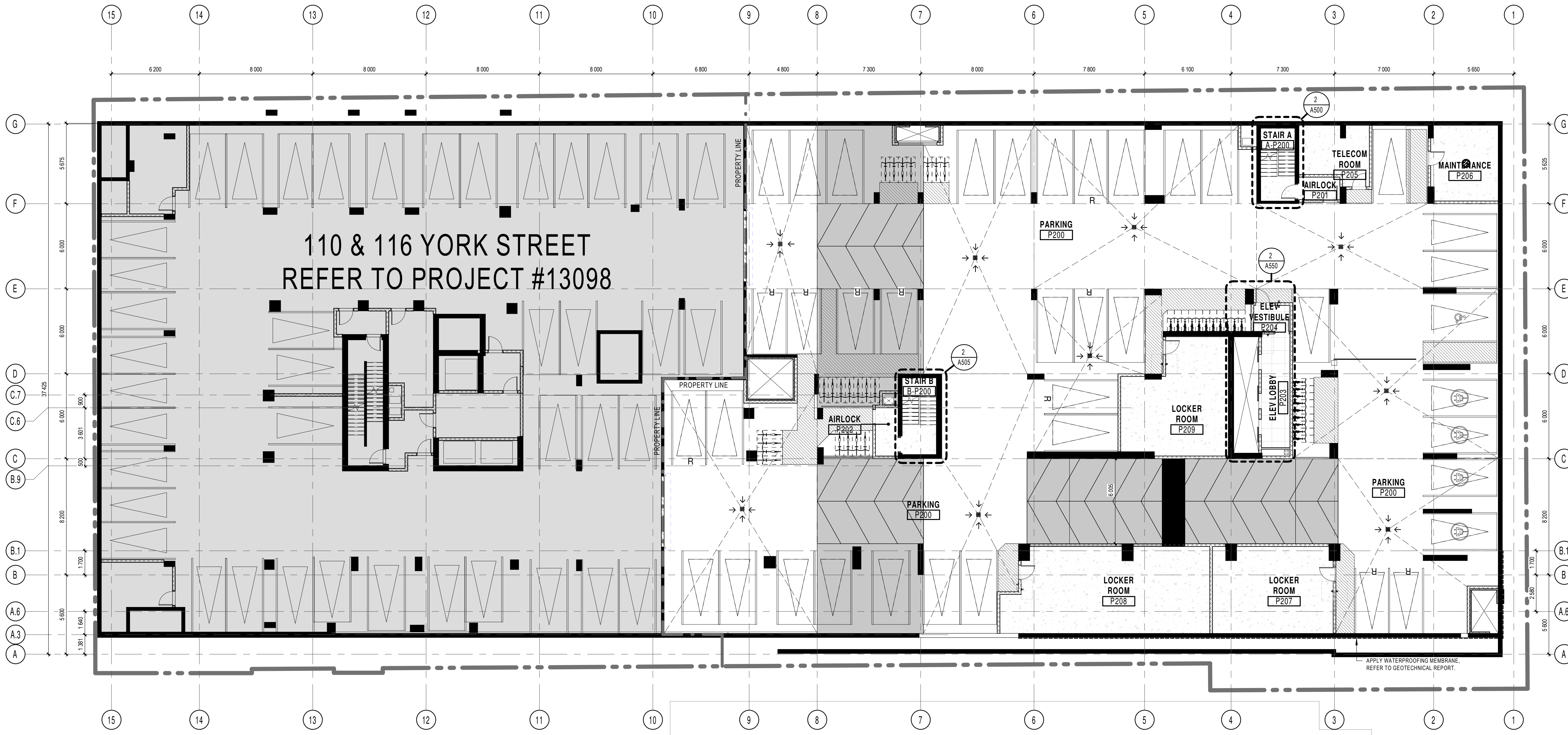
**PARKING LEVEL 3
 FLOOR PLAN (YORK)**

Revision
A198B
 Dwg Number

P3B FLOOR PLAN (YORK)

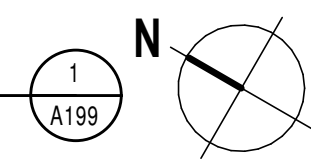
1 : 100





325 DALHOUSIE HOTEL

P2 OVERALL FLOOR PLAN
1 : 150



- GENERAL NOTES
- These architectural documents are the exclusive property of NEUF architectes inc. and cannot be used, copied, or reproduced without written pre-authorization.
 - The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
 - The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
 - Do not scale drawings. The dimensions on these documents must be read and not measured.
 - These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
7405 Saint-Damier Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

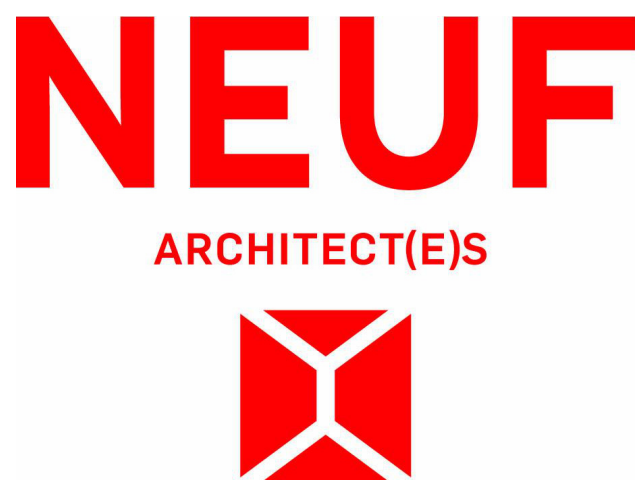
Structural Engineer
Goodeve Structural Inc.
18-77 Auriga Drive, Ottawa ON K2E 7Z7
T 613 228 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
3332 Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 6169 jbla.ca

Civil
Novatech Eng. Consultants Ltd.
240, Michel-Coulombe Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF architectes inc.
1700 Lakeshore Drive, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA 12810

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by

SJ

DATE (aa.mm.jj)

FEB 2024

Drawing Title

PARKING LEVEL 2 FLOOR PLAN

Checked by

LC

Scale

1 : 150

Dwg Number

A199

Revision

Dwg Number

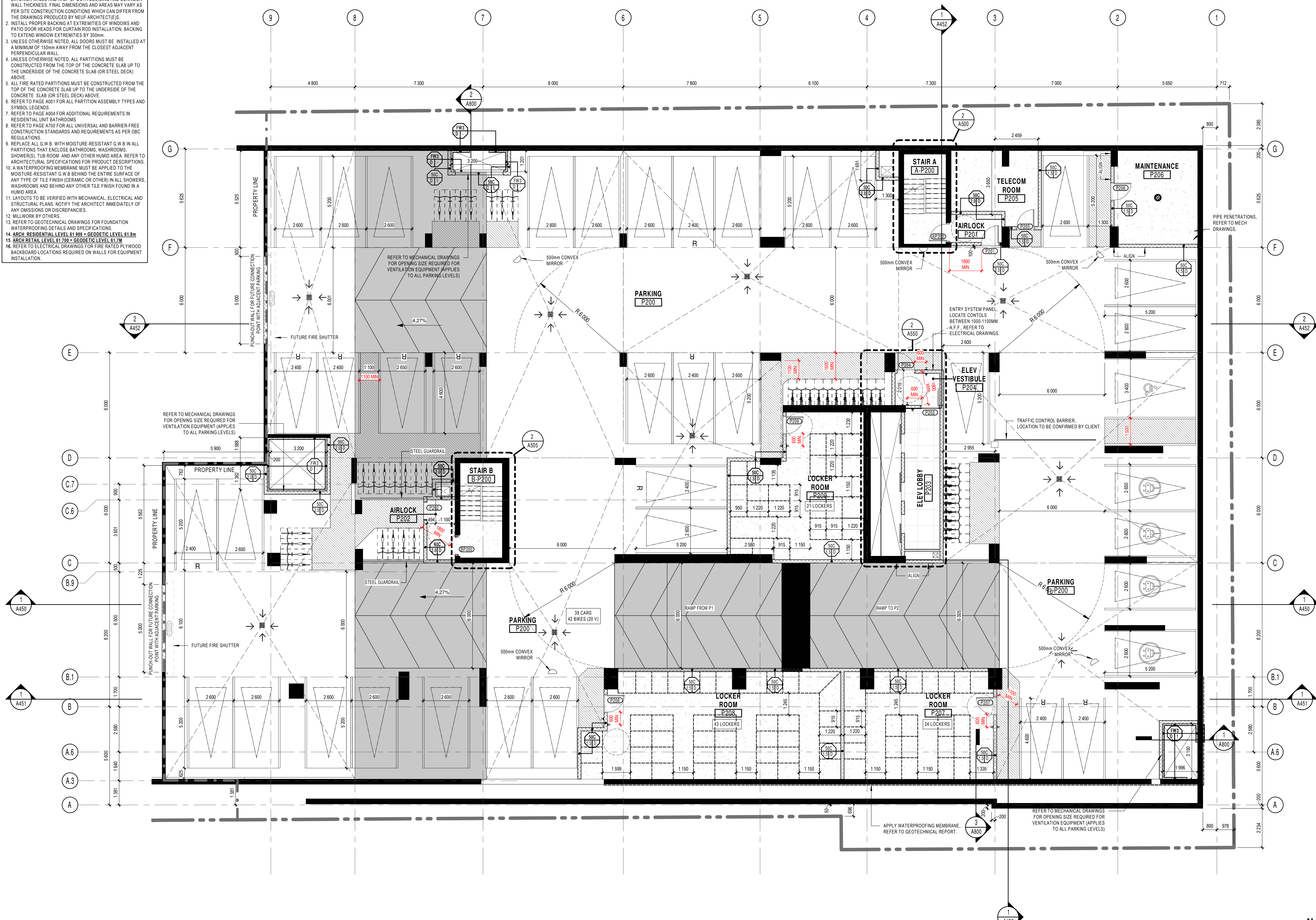
III

A199

16814

GENERAL NOTES

- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH. RESIDENTIAL LEVEL 61 990 = GEODETIC LEVEL 61.8m
- ARCH. RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



P2A FLOOR PLAN (GEORGE)
1:100

GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architectes inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
7405 Saint Danbro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

Structural Engineer
Goodeve Structural Inc.
18-77 Aurora Drive, Ottawa ON K2E 7Z7
T 613 228 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
3332 Carling Avenue, Ottawa, ON, K2H 5A8
T 613 234 9643 jblax.com

Civil
Novatech Eng. Consultants Ltd.
240, Michal Cowling Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
13 Robson Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFArchitectes.com

Seal



Client



Project

141 GEORGE STREET

Location

OTTAWA No. **12810**

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|-------------------------------|-------------------|
| FF | FOR COORDINATION | 2023.11.13 |
| JJ | FOR COORDINATION | 2023.11.27 |
| KK | FOR COORDINATION | 2023.12.04 |
| LL | FOR COORDINATION | 2023.12.15 |
| MM | FOR PERMIT | 2023.12.21 |
| OO | FOR COORDINATION | 2024.01.23 |
| TT | FOR COORDINATION | 2024.04.04 |
| VV | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE-ISSUED FOR SITE PLAN | 2024.05.16 |
| AAA | APPROVAL | 2024.05.21 |
| AAA | FOR COORDINATION | 2024.05.23 |
| CCC | FOR TENDER | 2024.05.23 |
| DDD | FOR SHORING COORDINATION | 2024.06.03 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by

SJ Checked by **LH**

DATE (aa.mm.jj) **SEP 2022** Scale **As indicated**

Drawing Title

PARKING LEVEL 2 FLOOR PLAN (GEORGE)

Revision **III** Dwg Number **A199A**

16814

GENERAL NOTES

- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIOUS OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CEAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH RESIDENTIAL LEVEL 61 990 = GEODETIC LEVEL 61.9m
- ARCH RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architects inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer

JAIN
7405 East Danboro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

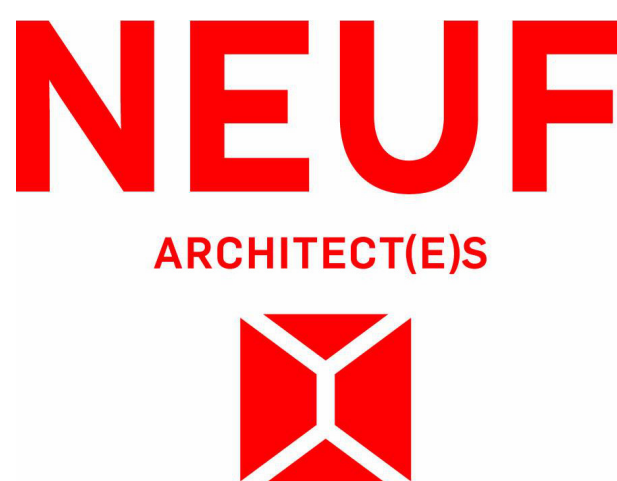
Structural Engineer
Goodeve Structural Inc.
18-77 Auriga Drive, Ottawa ON K2E 7Z7
T 613 226 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
3332 Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 6169 jba.ca

Civil
Novatech Eng. Consultants Ltd.
240, Michal Coward Dr. Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
13 Forbes Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Client



Project
141 GEORGE STREET

Location
OTTAWA 12810

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| DDD | FOR SHOPPING COORDINATION | 2024.06.03 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
SJ
DATE (aa.mm.jj)
FEB 2024
Drawing Title

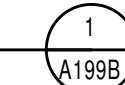
Checked by
LH
Scale
As indicated

**PARKING LEVEL 2
FLOOR PLAN (YORK)**

Revision
III
Dwg Number
A199B

P2B FLOOR PLAN (YORK)

1:100





110 & 116 YORK STREET
REFER TO PROJECT #13098

325 DALHOUSIE
HOTEL

P1 OVERALL FLOOR PLAN
1 : 150



- GENERAL NOTES**
- These architectural documents are the exclusive property of NEUF architectes inc. and cannot be used, copied, or reproduced without written pre-authorization.
 - The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
 - The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
 - Do not scale drawings. The dimensions on these documents must be read and not measured.
 - These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
7405 Saint-Damier Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

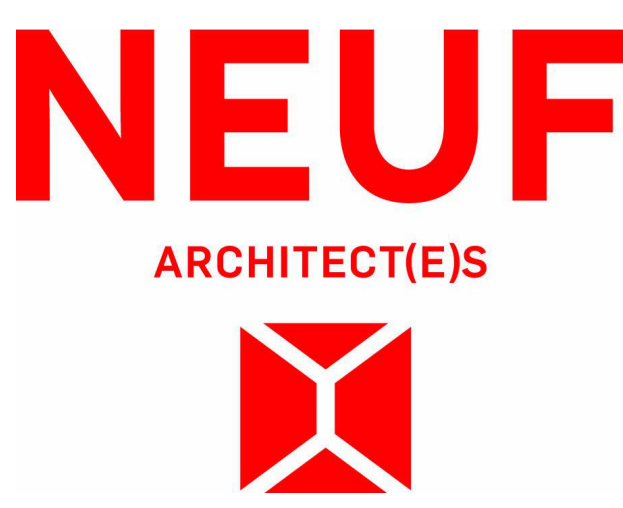
Structural Engineer
Goodeve Structural Inc.
18-77 Auriga Drive, Ottawa ON K2E 7Z7
T 613 228 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
3332 Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 6169 jbla.ca

Civil
Novatech Eng. Consultants Ltd.
240, Michel-Coulombe Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
17 Hulse Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFarchitectes.com

Seal



Project
141 GEORGE STREET

Location
OTTAWA No. 12810

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| GGG | FOR TENDER - ADDENDUM 02 | 2024.07.09 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
SJ
DATE (aa.mm.jj)
SEP 2022
Drawing Title

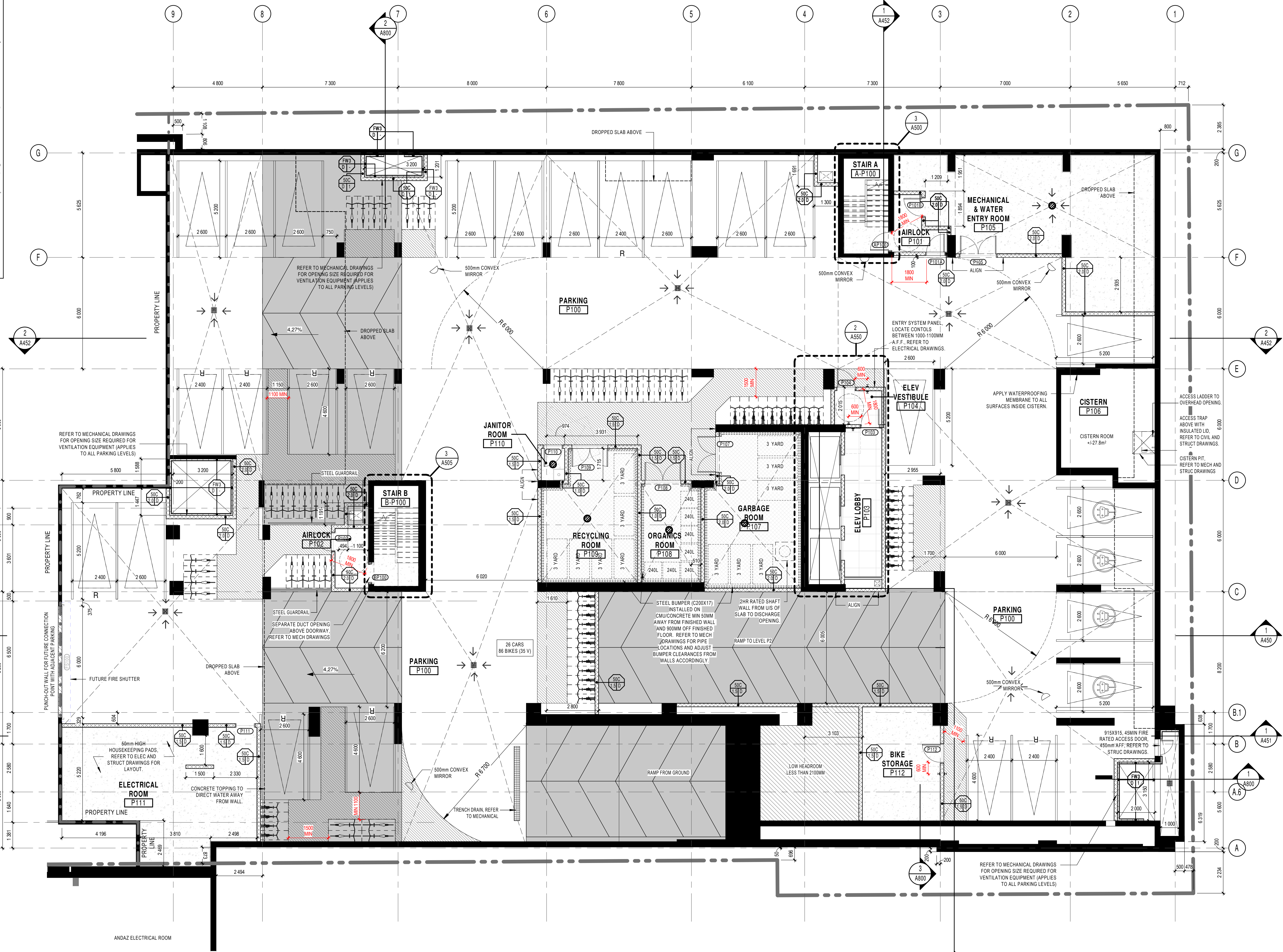
Checked by
LH
Scale
1 : 150

**PARKING LEVEL 1
OVERALL FLOOR PLAN**

Revision
III A200
Dwg Number
A200

GENERAL NOTES

- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CEAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH RESIDENTIAL LEVEL 61 990 = GEODETIC LEVEL 61.8m
- ARCH RETAIL LEVEL 61 700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED WOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architect(s) inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
 7405 East Danboro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jainconsultants.com

Structural Engineer
Goodeve Structural Inc.
 18-77 Aurora Drive, Ottawa ON K2E 7Z7
 T 613 228 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
 5332 Carling Avenue, Ottawa, ON, K2H 5A8
 T 613 722 6169 jba.ca

Civil
Novatech Eng. Consultants Ltd.
 240, Michael Cowling Drive, Suite 200, Ottawa ON K2M 1P6
 T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
 17 Fabius Street, 4th Floor, Ottawa ON K1N 6J1
 T 514 847 1117 NEUFArchitectes.com

Seal



Client
141 GEORGE STREET

Location
OTTAWA No. **12810**

| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| KK | FOR COORDINATION | 2023.12.04 |
| LL | FOR COORDINATION | 2023.12.15 |
| MM | FOR PERMIT | 2023.12.21 |
| OO | FOR COORDINATION | 2024.01.23 |
| SS | FOR COORDINATION | 2024.04.01 |
| TT | FOR COORDINATION | 2024.04.04 |
| VV | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE-ISSUED FOR SITE PLAN APPROVAL | 2024.05.18 |
| AAA | FOR COORDINATION | 2024.05.21 |
| CCC | FOR TENDER | 2024.05.23 |
| DDD | FOR SHOPPING COORDINATION | 2024.06.03 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| GGG | FOR TENDER - ADDENDUM 02 | 2024.07.09 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by **SJ** Checked by **LH**
 DATE (aa.mm.jj) **SEP 2022** Scale **As indicated**

Drawing Title
PARKING LEVEL 1 FLOOR PLAN (GEORGE)

Revision **III** Dwg Number **A200A**

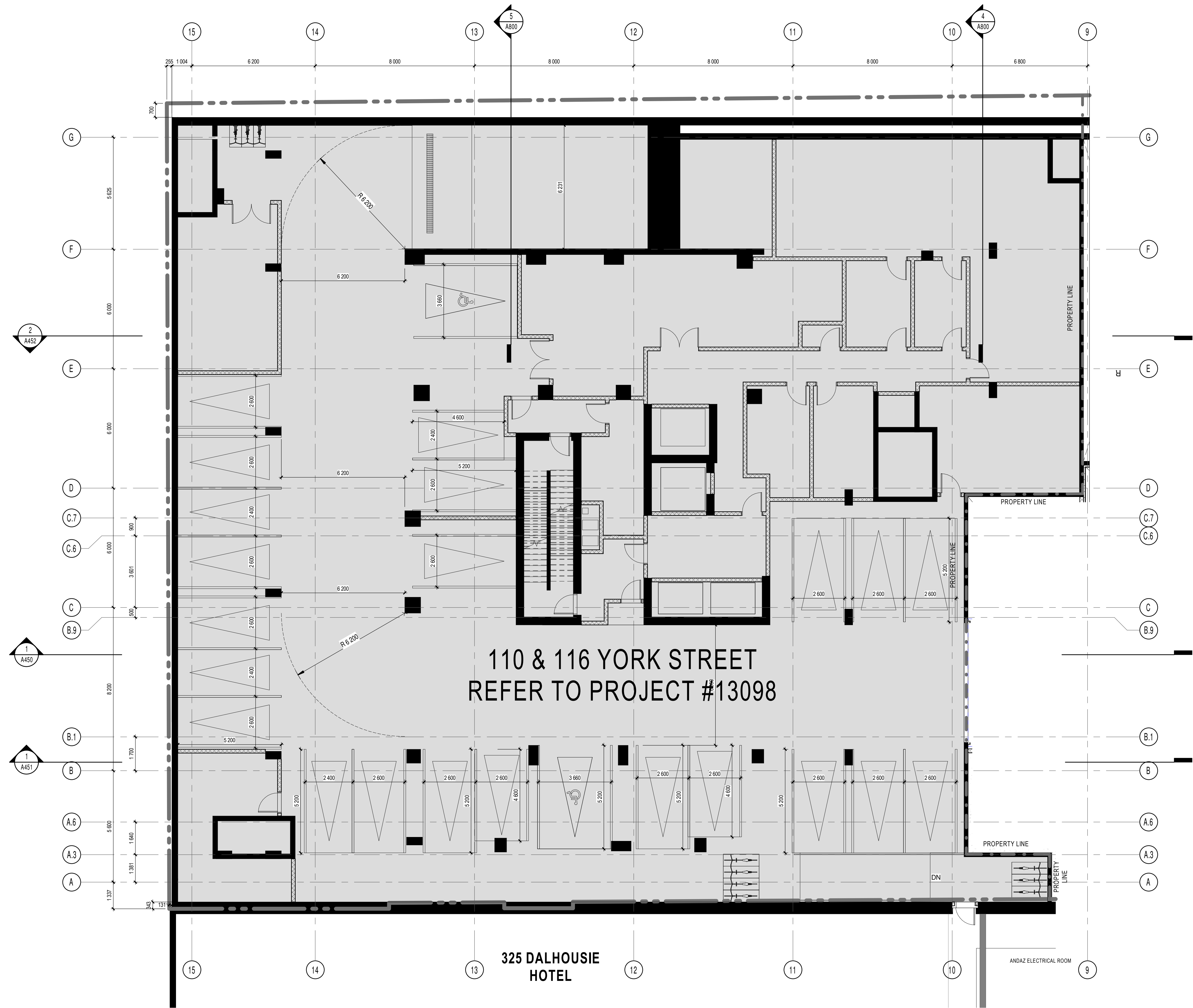
P1A FLOOR PLAN (GEORGE)

1:100



GENERAL NOTES

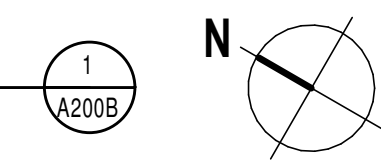
- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIOUS OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS INC.
- INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
- UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
- UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
- REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
- REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
- REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER OBC REGULATIONS.
- REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
- A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CEAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
- LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
- MILLWORK BY OTHERS.
- REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
- ARCH. RESIDENTIAL LEVEL 61.990 = GEODETIC LEVEL 61.9m
- ARCH. RETAIL LEVEL 61.700 = GEODETIC LEVEL 61.7m
- REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



110 & 116 YORK STREET
REFER TO PROJECT #13098

325 DALHOUSIE
HOTEL

P1B FLOOR PLAN (YORK)
1:100



GENERAL NOTES

- These architectural documents are the exclusive property of NEUF architects inc. and cannot be used, copied, or reproduced without written pre-authorization.
- The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
- The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
- Do not scale drawings. The dimensions on these documents must be read and not measured.
- These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
7405 East Danboro Crescent, 3rd Floor Mississauga, Ontario, L5N 6P8
T 905 285 9900 jainconsultants.com

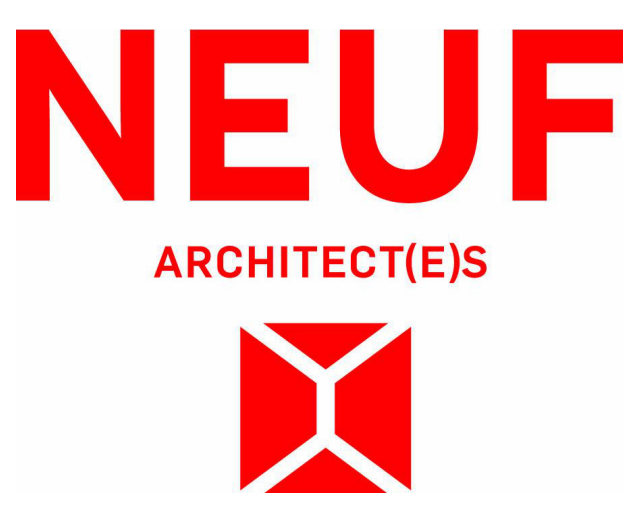
Structural Engineer
Goodeve Structural Inc.
18-77 Auriga Drive, Ottawa ON K2E 7Z7
T 613 226 4556 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
3332 Carling Avenue, Ottawa, ON, K2H 5A8
T 613 722 6169 jba.ca

Civil
Novatech Eng. Consultants Ltd.
210, Michael Cowles Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

Architect
NEUF Architectes INC.
13 Hulse Street, 4th floor, Ottawa ON K1N 6J1
T 514 847 1117 NEUFArchitectes.com

Seal



Client
CLARIDGE HOMES

Project
141 GEORGE STREET

Location
OTTAWA No. **12810**

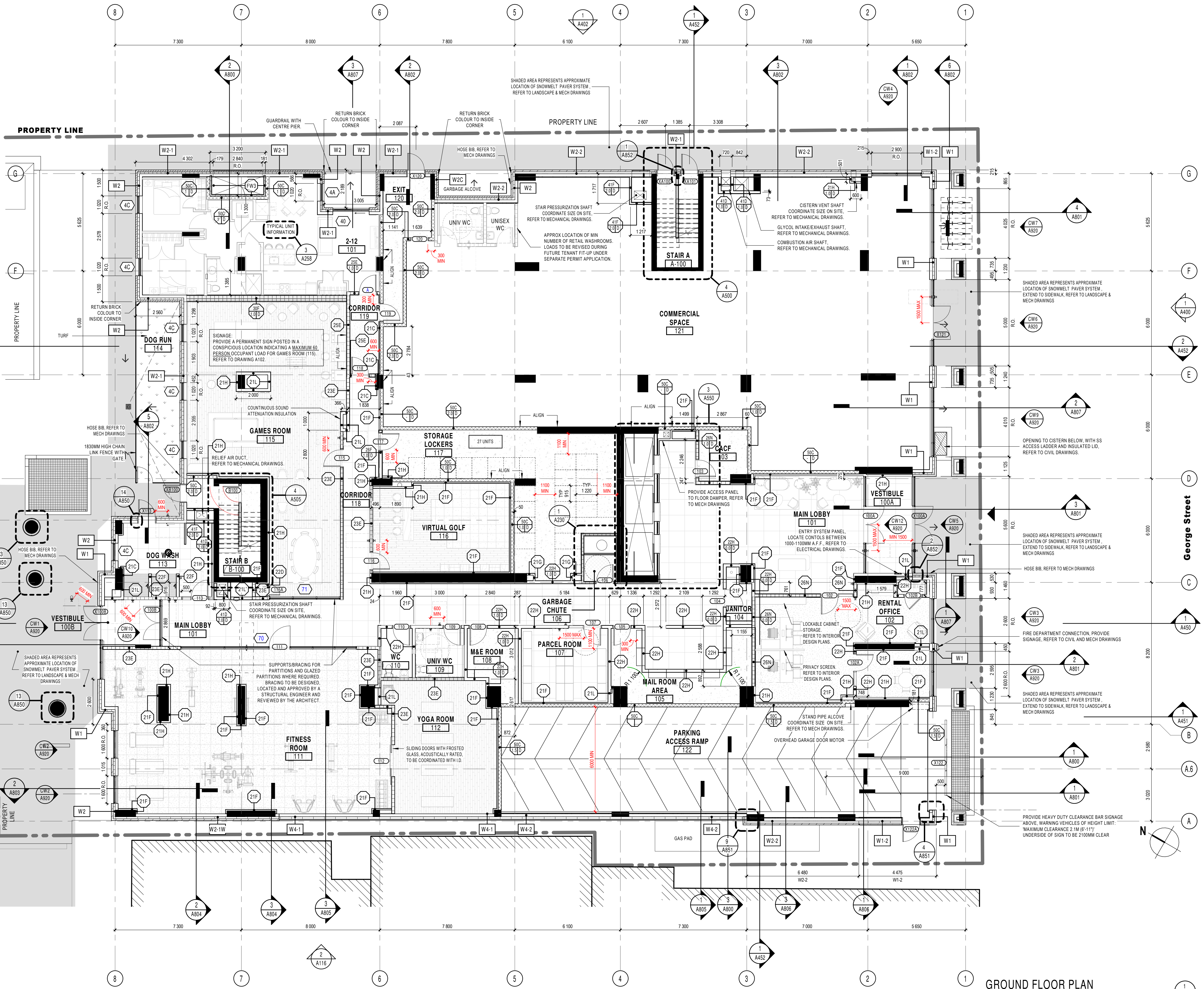
| NO | REVISION | DATE (yyyy.mm.dd) |
|-----|----------------------------------|-------------------|
| SS | FOR COORDINATION | 2024.04.01 |
| TT | FOR COORDINATION | 2024.04.04 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE ISSUED FOR SITE PLAN APPROVAL | 2024.05.16 |
| JAA | FOR COORDINATION | 2024.05.21 |
| CCG | FOR TENDER | 2024.05.23 |
| DDD | FOR SHORING COORDINATION | 2024.06.03 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
SJ Checked by
LH
DATE (aa.mm.jj)
FEB 2024 Scale
As indicated

Drawing Title
**PARKING LEVEL 1
FLOOR PLAN (YORK)**

Revision
III Dwg Number
A200B

- GENERAL NOTES**
- AREAS AND DIMENSIONS ARE APPROXIMATE AND MAY CHANGE WITHOUT NOTICE. IF APPLICABLE, AREA AND LOCATION OF BALCONIES/TERRACES MAY BE CHANGED, VARIED OR MIRRORRED FROM ONE FLOOR TO ANOTHER. FURNITURE IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. UNLESS OTHERWISE NOTED, GROSS UNIT AREA IS OBTAINED ON THE DRAWINGS BY INCLUDING EXTERIOR WALLS AND HALF OF BOTH DEMISING AND CORRIDOR WALL THICKNESS. FINAL DIMENSIONS AND AREAS MAY VARY AS PER SITE CONSTRUCTION CONDITIONS WHICH CAN DIFFER FROM THE DRAWINGS PRODUCED BY NEUF ARCHITECTS INC.
 - INSTALL PROPER BACKING AT EXTREMITIES OF WINDOWS AND PATIO DOOR HEADS FOR CURTAIN ROD INSTALLATION. BACKING TO EXTEND WINDOW EXTREMITIES BY 300mm.
 - UNLESS OTHERWISE NOTED, ALL DOORS MUST BE INSTALLED AT A MINIMUM OF 150mm AWAY FROM THE CLOSEST ADJACENT PERPENDICULAR WALL.
 - UNLESS OTHERWISE NOTED, ALL PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
 - ALL FIRE RATED PARTITIONS MUST BE CONSTRUCTED FROM THE TOP OF THE CONCRETE SLAB UP TO THE UNDERSIDE OF THE CONCRETE SLAB (OR STEEL DECK) ABOVE.
 - REFER TO PAGE A001 FOR ALL PARTITION ASSEMBLY TYPES AND SYMBOL LEGENDS.
 - REFER TO PAGE A004 FOR ADDITIONAL REQUIREMENTS IN RESIDENTIAL UNIT BATHROOMS.
 - REFER TO PAGE A700 FOR ALL UNIVERSAL AND BARRIER-FREE CONSTRUCTION STANDARDS AND REQUIREMENTS AS PER CBC REGULATIONS.
 - REPLACE ALL G.W.B. WITH MOISTURE-RESISTANT G.W.B. IN ALL PARTITIONS THAT ENCLOSE BATHROOMS, WASHROOMS, SHOWERS, TUB ROOM AND ANY OTHER HUMID AREA. REFER TO ARCHITECTURAL SPECIFICATIONS FOR PRODUCT DESCRIPTIONS.
 - A WATERPROOFING MEMBRANE MUST BE APPLIED TO THE MOISTURE-RESISTANT G.W.B. BEHIND THE ENTIRE SURFACE OF ANY TYPE OF TILE FINISH (CERAMIC OR OTHER) IN ALL SHOWERS, WASHROOMS AND BEHIND ANY OTHER TILE FINISH FOUND IN A HUMID AREA.
 - LAYOUTS TO BE VERIFIED WITH MECHANICAL, ELECTRICAL AND STRUCTURAL PLANS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY OMISSIONS OR DISCREPANCIES.
 - MILLWORK BY OTHERS.
 - REFER TO GEOTECHNICAL DRAWINGS FOR FOUNDATION WATERPROOFING DETAILS AND SPECIFICATIONS.
 - ARCH RESIDENTIAL LEVEL 51.900 - GEODETIC LEVEL 51.9m
 - ARCH RETAIL LEVEL 51.700 - GEODETIC LEVEL 51.7m
 - REFER TO ELECTRICAL DRAWINGS FOR FIRE RATED PLYWOOD BACKBOARD LOCATIONS REQUIRED ON WALLS FOR EQUIPMENT INSTALLATION.



- GENERAL NOTES**
- These architectural documents are the exclusive property of NEUF architects inc. and cannot be used, copied, or reproduced without written pre-authorization.
 - The contractor is responsible for checking and verifying all dimensions with respect to the project. Any discrepancy shall be reported to the architect.
 - The architect must be notified of all errors, omissions, and discrepancies between these documents and those of the other professionals.
 - Do not scale drawings. The dimensions on these documents must be read and not measured.
 - These drawings are to be read in conjunction with all material relevant to the project.

Mechanical - Electrical Engineer
JAIN
 7105 East Danboro Crescent, 2nd Floor Mississauga, Ontario, L5N 6P8
 T 905 285 9900 jainconsultants.com

Structural Engineer
Goodeve Structural Inc.
 18-77 Aurora Drive, Ottawa ON K2E 7Z7
 T 613 226 4558 goodevestructural.ca

Landscape Architect
James B. Lennox & Associates
 3332 Carling Avenue, Ottawa, ON K2H 5A8
 T 613 722 6169 jba.ca

Civil
Novatech Eng. Consultants Ltd.
 240, Michal Cowling Drive, Suite 200, Ottawa ON K2M 1P6
 T 613 234 9642 novatech-eng.com

Architect
NEUF Architectes INC.
 17 Robson Street, 4th Floor, Ottawa ON K1N 6J1
 T 514 847 1117 NEUFArchitectes.com

Seal



Project
141 GEORGE STREET

Location
 OTTAWA

No.
 12810

| NO | REVISION | DATE (yyyy.mm.dd) |
|----------|-------------------------------|-------------------|
| LL | FOR COORDINATION | 2023.12.15 |
| MM | FOR PERMIT | 2023.12.21 |
| OO | FOR COORDINATION | 2024.01.23 |
| PP | FOR COORDINATION | 2024.02.26 |
| TT | FOR COORDINATION | 2024.04.04 |
| UU | FOR COORDINATION | 2024.04.12 |
| VV | RE-ISSUED FOR PERMIT | 2024.04.16 |
| WW | FOR COORDINATION | 2024.05.02 |
| XX | FOR COORDINATION | 2024.05.09 |
| YY | FOR COORDINATION | 2024.05.14 |
| ZZ | RE-ISSUED FOR SITE PLAN | 2024.05.16 |
| APPROVAL | | |
| AAA | FOR COORDINATION | 2024.05.21 |
| BBB | FOR COORDINATION | 2024.05.23 |
| CCC | FOR TENDER | 2024.05.23 |
| FFF | FOR REVISED FOUNDATION PERMIT | 2024.07.03 |
| III | SITE PLAN REVISION RESPONSE | 2024.08.26 |

Drawn by
 SJ

Checked by
 LH

DATE (aa.mm.jj)
 SEP 2022

Scale
 As indicated

GROUND FLOOR PLAN

Revision
 III

Dwg Number
A201

GROUND FLOOR PLAN
 1:100