

280 LAURIER AVE. E.  
 SITE PLAN OF SURVEY LOT 5 AND PART OF LOT 6 (SOUTH LAURIER AVENUE) REGISTERED PLAN 14349, CITY OF OTTAWA  
 SURVEY INFO TAKEN FROM LOT 5 AND PART OF LOT 6 (SOUTH LAURIER AVENUE) REGISTERED PLAN 14349, CITY OF OTTAWA  
 PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. COMPLETED FEBRUARY 5, 2021

RDUD (2807)-RESIDENTIAL FOURTH DENSITY ZONE (SEC. 161-162) CITY OF OTTAWA;  
 DWELLING TYPE: NEW ADDITION TO EXISTING 6 STOREY MID RISE APARTMENT BUILDING (RENTALS)

ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	450 m <sup>2</sup>	895.5 m <sup>2</sup>	
B) MINIMUM LOT WIDTH	15 m	27.95 m	
C) MINIMUM LOT DEPTH	N/A	32 m	
D) MINIMUM FRONT YARD SET BACK	AVERAGE (4.5m+4.01m) / 2 = 4.255m	4.25 m	
E) MINIMUM CORNER YARD SET BACK	AVERAGE (3m+0m) / 2 = 1.5m	0 m (EXISTING)	
F) MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m	1.5 m	
G) MINIMUM REAR YARD SET BACK	8 m	6.43 m	BY-LAW 2022-291
H) MINIMUM REAR YARD AREA	25% of 895.5 m <sup>2</sup> = 223.875 m <sup>2</sup>	180.16 m <sup>2</sup>	BY-LAW 2022-291
I) MAXIMUM BUILDING HEIGHT	14.5 m	14.46 m	
J) VEHICLE PARKING (RESIDENTS)	44x0.5=22	0	BY-LAW 2022-291
VEHICLE PARKING (VISITOR)	44x0.1=4.4	0	BY-LAW 2022-291
VEHICLE PARKING (TOTAL)	26.4	0	BY-LAW 2022-291
K) BIKE SPACES	56x0.5=28	30 (STACKED) INDOOR +24 (STACKED) OUTDOOR +3 STANDARD OUTDOOR	

	REQUIREMENT	PROVIDED	EXISTING
L) AMENITY AREA	0	104.2 m <sup>2</sup> @ BACK & 20.8 m <sup>2</sup> BALCONIES TOTAL = 125 m <sup>2</sup>	
M) FRONT YARD, SOFTSCAPING PERCENTAGE	40%	60.8%	
N) REAR YARD, SOFTSCAPING PERCENTAGE	50%	53.6%	

FLOOR NAME	EXISTING	PROPOSED ADDITION	TOTAL
BASEMENT	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
GROUND FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
SECOND FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
THIRD FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
FOURTH FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
FIFTH FLOOR	341 m <sup>2</sup>	0 m <sup>2</sup>	341 m <sup>2</sup>
SIXTH FLOOR	341 m <sup>2</sup>	0 m <sup>2</sup>	341 m <sup>2</sup>
TOTAL	2387 m <sup>2</sup>	968 m <sup>2</sup>	3355 m <sup>2</sup>

	BACHELOR	1 BED	2 BED	3 BED	4 BED	TOTAL
EXISTING BUILDING	28	11	0	0	0	40
PROPOSED NEW UNIT @ EXISTING BUILDING	0	0	0	0	0	0
PROPOSED ADDITION	12	0	2	3	1	18
TOTAL	41	11	2	3	1	58

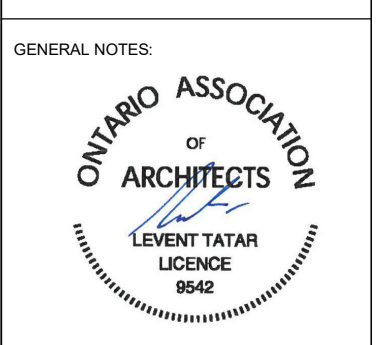
REQUIRED 2+ BEDROOM: 4  
 PROPOSED 2+ BEDROOM: 6

AVERAGE GRADE:  
 CALCULATED FROM EXISTING ELEVATION POINTS AT A DISTANCE EQUAL TO THE MINIMUM FRONT YARD & REAR YARD SETBACKS, AT THE INTERIOR SIDE PROPERTY LINES  
 AVERAGE GRADE: 70.045m (69.87m + 70.13m + 69.85m + 70.33m) / 4

**LEGEND**

- NEW TREE
- EXISTING TREE TO BE REMOVED
- EX. TREE TO REMAIN
- ⊕ NEW SHRUB
- PROPOSED BUILDING
- ▨ EXISTING BUILDING TO REMAIN
- ▶ PROPOSED / EXISTING ENTRY / EXIT
- - - PROPERTY LINE
- ▨ DENOTES HARD LANDSCAPING
- ▨ DENOTES SOFT LANDSCAPING
- UP UTILITY POLE
- FH FIRE HYDRANT

**RESPONSIBILITIES:**  
 DO NOT SCALE DRAWINGS  
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2015  
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BY-LAWS IN JURISDICTION  
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER  
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT  
 COPYRIGHT RESERVED



**280 LAURIER AVE. E.**  
 NEW 4 STOREY ADDITION TO EXISTING 6 STOREY BUILDING

**OWNER:**  
 280 LAURIER AVE EAST HOLDINGS INC.  
 226 ARCADE AVE.  
 OTTAWA, ON K2P 1B9

**DEVELOPER:**  
 SMART LIVING PROPERTIES  
 226 ARCADE AVE.  
 OTTAWA, ON K2P 1B9

**ARCHITECT:**  
 REDLINE ARCHITECTURE INC.  
 1000  
 TOWER II 343 PRESTON ST.  
 SUITE 1000  
 OTTAWA, ON K1S 1M4

**LANDSCAPING:**  
 JAMES B. LENNOX & ASSOCIATES INC.  
 3352 CARLING AVE.  
 OTTAWA, ON K2H 5A9

**SURVEYOR:**  
 ACU LTD.  
 14 CONCORSE GATE, SUITE 500  
 OTTAWA, ON K2E 7S8

**STRUCTURAL ENGINEER:**  
 CH STRUCTURAL LTD.  
 333 PRESTON ST SUITE 110,  
 OTTAWA, ON K1S 5M4

**MECHANICAL & ELECTRICAL ENGINEER:**  
 JAY CONSULTANTS  
 7465 EAST DANFORD CRESCENT  
 MISSISSAUGA, ON L5N 6P6

NO.	REVISION/ISSUE	DATE
1	ISSUED FOR SPA	06/11/23
2	ISSUED FOR REVISION	02/23/24

PROJECT: **280 LAURIER AVE. E.**  
 NEW ADDITION TO EXISTING 6 STOREY BUILDING  
 280 LAURIER AVE. E.  
 OTTAWA, ON K1N 6P7

SHEET: **A0**

DATE: MARCH 29, 2021  
 SCALE: AS NOTED

SITE PLAN  
 SCALE: 1:100