

SITE AREA	17,615.32 m ² (4.52 ha)
PAVED AREA	6217.3689 m ² (35.29%)
LANDSCAPED AREA	6713.7186 m ² (38.1%)
TOTAL BUILDING COVERAGE	4684.2325 m ² (26.6%)
TOTAL GROSS FLOOR AREA	17,617.3808 m ²
DENSITY (UPH)	UPH
ZONE CATEGORY	R4(Z)

DWELLING BLOCK	DWELLING TYPE	GROSS FLOOR AREA (m ²)	UNITS
BLOCKS	24 UNITS		96
4 - 7 - 8 - 10	STACKED DWELLING		
BLOCKS	20 UNITS		40
5 - 6	STACKED DWELLING		
BLOCKS	16 UNITS		48
1 - 2 - 3	STACKED DWELLING		
BLOCKS	12 UNITS		12
9	STACKED DWELLING		
TOTAL			196

ZONE PROVISION - PLANNED UNIT DEVELOPMENT	REQUIRED	PROPOSED
162A(Z) Min. Lot Area (m ²)	1400 m ²	17615.32 m ²
162A(Z) Min. Lot Width (m)	18	23.3
162A(Z) Min. Front Yard Setback (m)	3	>3.4
162B.6 Min. Rear yard setback (m)	6	4.5
162B(7) Min. Corner side setback	3	3
162A(Z) Max Building Height (m)	15	13.5
161 Landscaped Area	30%	38%
131.1 Min. Width of Private Way / Parking Aisle (m)	6	6.1
131.4a Min. Setback for Any Wall of a Residential Building Within a Planned Unit Development	1.2	5
131.2 Min. setback for any wall of a residential use building to a private way	1.8	>4.5
137 AMENITY AREA		
137.6 Min. Setback for Any Wall of a Residential Building Within a Planned Unit Development	1176 m ²	2245 m ²
137.6 Min. Communal Amenity Area m ² (Min. 50% a.m.a.)	588 m ²	1122 m ²
65 PERMITTED PROJECTION INTO REQUIRED YARDS		
65.5.i Fire escapes, Open Stairways, Stoop (m)	>0.6m to lot line	0.5 m
65.6.a(i) Covered or Uncovered Balcony, Porch and Deck	2m no closer than 1 to a lot line	2m no closer than 1.74 to a lot line

PARKING REQUIREMENTS	REQUIRED	PROPOSED
T01 (Table R10) Resident Parking - 1.2 spaces/unit	235	196 (1.0)
T02 (Table column III) Visitor Parking - 0.2 spaces/unit	39	19 (0.1)
T08.1 Min. Perpendicular Parking Space Size (m)	2.6 x 5.2	2.6 x 5.2
T07 (Table 107.d) Min. Requires Aisle Width	6.0	6.1
BARRIER FREE PARKING		
Traffic and Parking By-law Section 111 Min. Barrier Free Parking **	1	1
BICYCLE STORAGE		
T11 Min. Bicycle parking space dimension, horizontal	Width: 0.6m	0.6
T11A(B) Min. Bicycle parking space access aisle Width (m)	Length: 1.8m	1.8
T11.1 Min. Bicycle Parking 0.5 spaces/unit	1.5	1.5
T10(a)(b) LANDSCAPE AREA SURROUNDING PARKING LOT	98	100
T10.a Abutting a Street (m)	3	>16m
T10.b Not Abutting a street (m)	3	>3m
T10.1.b Min. % of parking lot landscape	15%	>19%
REFUSE COLLECTION AREAS		
T10.3b Min. Waste collection setback to lot line	3	>30m
T10.3.c/d Opaque Screen Min. Height (m)	2	2***

**Per the 2015 Guide Accessibility Design Standards - Section 3.1 Design of Public Parking 4% of parking spaces provided for public use must be accessible. 1 of the provided 39 visitor spaces have been designed to be barrier free - 1 Type A site provided.
***Section 110(3)(d) where an in-ground refuse container is provided, the screening requirement of Section 3(3)(c) above may be achieved with soft landscaping @ \$/sq 2020-2019

GARBAGE: REQUESTED BY ZONING: PH X
GARBAGE: 0.231 CUBIC YARD / UNIT 0.231 X 196 = 45.27 CUBIC YARD (7 BINS)
RECYCLING: 0.062 CUBIC YARD / UNIT 0.018 X 196 = 3.54 CUBIC YARDS (1 BIN)
ORGANIC: 0.062 CUBIC YARD / UNIT 0.062 X 196 = 12.15 CUBIC YARDS (2 BINS)
ORGANIC 240L PER 50 UNITS 240 L X 3.92 = 940 L (1 BIN)
TOTAL BINS = 11 BINS

SITE PLAN NOTES
1. DO NOT SCALE DRAWINGS FOR PRINT.
2. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF Q4 ARCHITECTS AND CAIVAN. COPYRIGHT RESERVED.
3. WALKWAYS AND CURBS TO BE TIED INTO PUBLIC ROW WHERE APPLICABLE.
4. REFERENCE CITY OF OTTAWA I.W.S.I. DETAIL SC7.3

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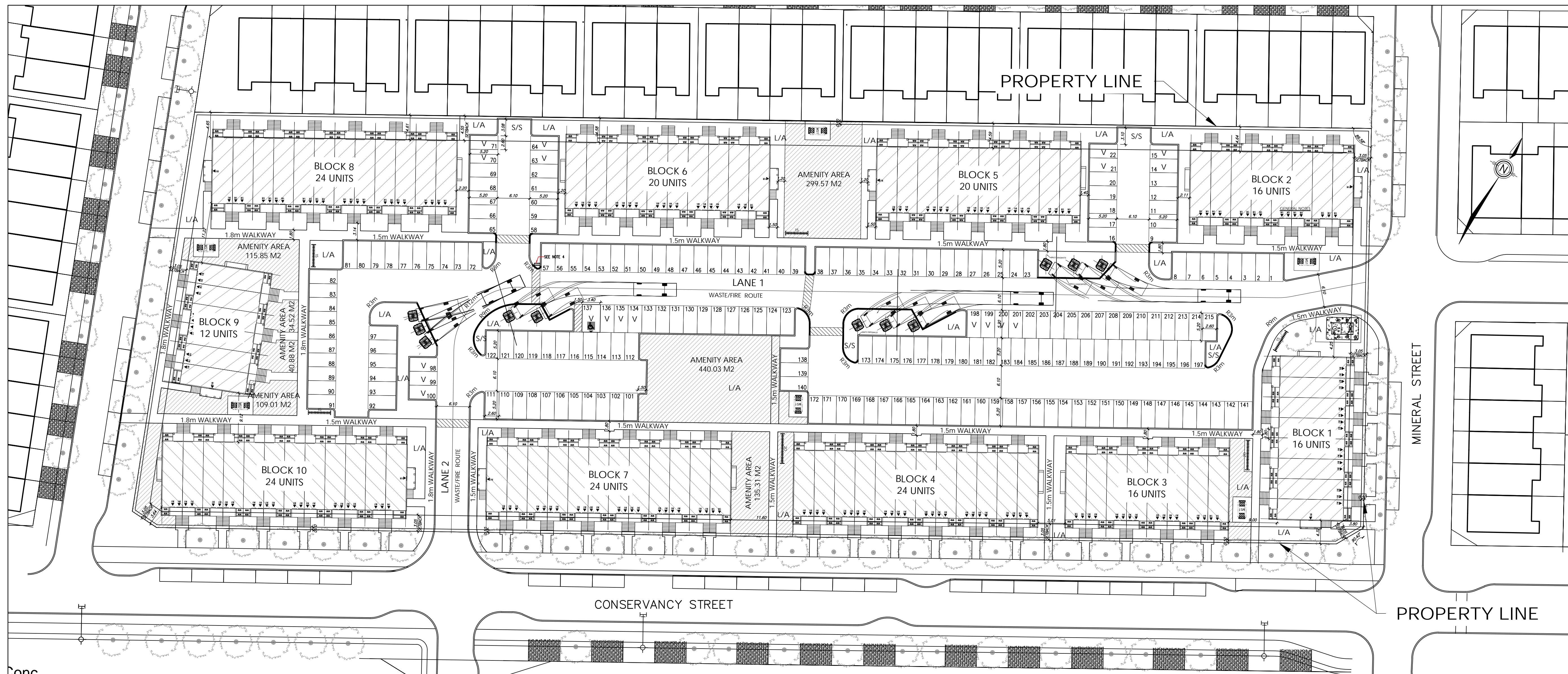
The contractor / builder must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work.

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LEGEND

	STACKED TOWNS		NO PARKING
	ENTRANCE		BARRIER FREE PARKING
	BALCONY		BARRIER FREE PARKING SIGNAGE
	PORCH		VISITOR PARKING
	PROJECTION (STAIRS)		ELECTRIC VEHICLE CHARGING STATION
	PAVERS		BIKE RACKS
	ASPHALT		EARTH BIN (6.5 yd)
	CONCRETE PAD		SWITCHBOARD
	CROSSWALK		LIGHT POLE
	CURB (0.2m)		SNOW STORAGE AREA
	DEPRESSED CURB		LANDSCAPE AREA
	TACTILE WALKING SURFACE INDICATOR		
	BLOCK BOUNDARY		



10	ADDITIONAL COMMENTS-ISSUED TO CLIENT	2024.08.27
9	ADDITIONAL COMMENTS-ISSUED TO CLIENT	2024.08.26
8	ADDITIONAL COMMENTS-ISSUED TO CLIENT	2024.08.16
7	ADDITIONAL COMMENTS-ISSUED TO CLIENT	2024.08.04
6	ADDITIONAL SITE STATS-ISSUED TO CLIENT	2024.07.25
5	REVISED AS PER CITY AND CLIENT COMMENTS	2024.07.17
4	REVISED GARBAGE LAYOUT	2024.07.16
3	SP1-2 AFTER CITY'S COMMENTS	2024.07.15
2	ADD HYDRO TRANSFORMER	2024.07.05
1	Q4A SP1	2024.06.27

Issued / Revision Chart

CONSERVANCY STACKED TOWNS

3285 Borrisokane Rd
Location OTTAWA, ON.

Legal Name

Client **CAIVAN**

Project No.

Scale 1:500

Drawn By CT

Checked By CT

OVERALL SITE PLAN

SP1

