



Site Plan Control Urban Design Brief

Proposed Warehouse Development
363 Entrepreneur Crescent
Ottawa, Ontario

Prepared for:

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1 INTRODUCTION AND SITE DESCRIPTION

LRL Associates Ltd. was retained by Dustin Wilson to complete a Design Brief for a proposed warehouse and site development located at 363 Entrepreneur Crescent in Ottawa, Ontario. The legal description of the property is PIN 14558-0401, Part of Block 3, Registered Plan 50M-136, City of Ottawa. The site is situated south of Highway 417, east of Boundary Road, and fronting Entrepreneur Crescent.

The site has approximately 36.8 metres of frontage along Entrepreneur Cres and an average depth of approximately 81.4 metres. The overall lot area is approximately **0.300 ha**. The property is designated as Rural on Schedule B of the City of Ottawa Official Plan and is zoned RG2 (Rural General Industrial Zone, Subzone 2) In the City of Ottawa Comprehensive Zoning By-law No. 2008-250.



Figure 1: Aerial View of Site

Currently the site is serving as a parking lot and storage yard, mostly paved in gravel. A gravel driveway provides access to the southwest corner of the lot, off Entrepreneur Crescent. The balance of the site, small buffers along the property lines and ditches, are grassed area.





Figure 2: View of Site from Entrepreneur

The site is currently bordered by:

- Entrepreneur Cres and a roadside ditch to the south,
- Commercial / industrial lots to the west (371 Entrepreneur Cres) and east (357 Entrepreneur Cres, YSB Carpentry),
- Commercial / industrial lot with surrounding ditch to the north (5455 Boundary Road, DSquared).



Figure 3: Subject Site & Neighbouring Properties



2 PROJECT DESCRIPTION

The owner is seeking Site Plan Control approval for the proposed industrial building and site development.

2.1 Site Design

The industrial building development proposed consists of a $\pm 592\text{m}^2$ industrial warehouse. The warehouse will serve predominantly as storage but will also be used in the construction and maintenance of props & equipment. A small office space of approximately 43m^2 will be provided within the warehouse, located at the south-east corner, west of the primary entrance. A driveway located at the south-east corner of the site will provide vehicular access to the site via Entrepreneur Crescent. Once on-site, the driveway branches west to provide passenger vehicle access to the parking lot, and north to provide industrial vehicles access to the rear of the site.

The primary entrance to the warehouse will be a man door located on the front (south) face of the building, facing Entrepreneur Crescent. A parking lot, sidewalk and grassed area are proposed off the front face of the building. The intention with this site design was to provide employees and visitors parking away from any industrial activity, provide easy access to the warehouse primary entrance and office from the parking lot, as well provide close access to grassed amenity space.

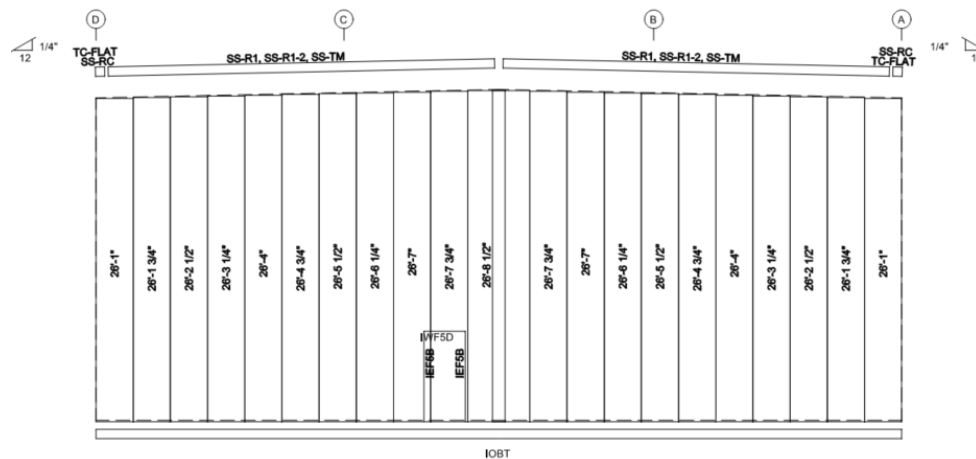


Figure 4: Conceptual Front (south) View of Warehouse

An overhead door, man door and a generous amount of paved surface are proposed at the rear (north) of the building. The rear will serve as a vehicle maneuverability area for the rear overhead door, as well as a space for loading & unloading vehicle. Garbage enclosures are proposed within the rear paved space to ensure they are not visible to Entrepreneur traffic, while providing plenty of maneuverability space for garbage trucks. An area within the rear yard will be allocated for temporary snow storage.



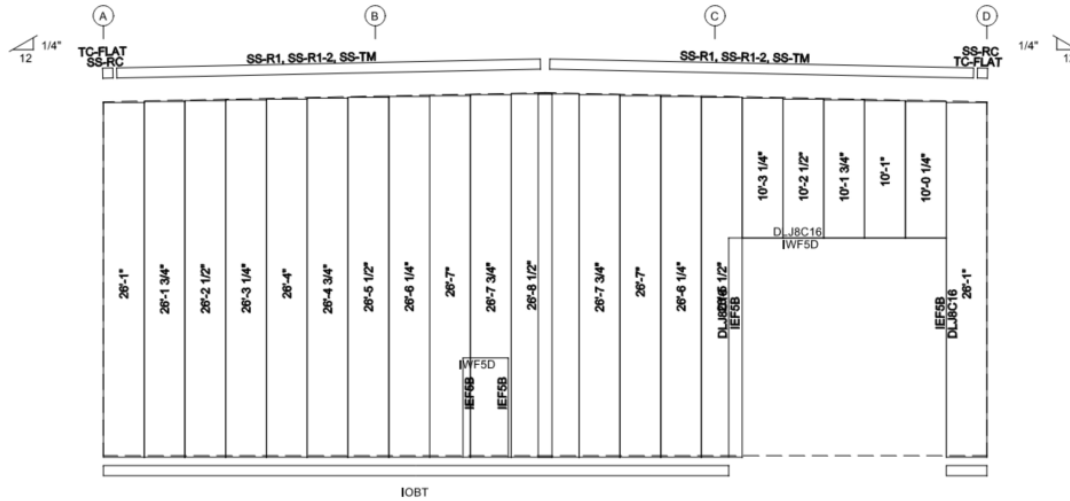


Figure 5: Conceptual Rear (north) View of Warehouse

Full aesthetics of the proposed warehouse will be developed with the completion of the architectural elevations plan.

2.2 Engineering

As per the topographical survey provided by Annis, O'Sullivan, Vollebakk LTD (dated Dec 14th, 2022), the site is generally flat. Elevations do tend to lower slightly along the property lines, allowing for drainage around the borders of the site to either the rear watercourse or front roadside ditch.

The site is currently un-serviced. Without the presence of a watermain & sanitary sewer within Entrepreneur, the proposed building will need to be serviced by a private well and septic system. Stormwater runoff is collected via the Entrepreneur roadside ditch. The Simpson municipal drain is located approximately 300m south of the property. The owner will be responsible to provide sufficient stormwater management control and treatment. A summary of site services can be found in the Stormwater Management Report and Servicing Brief prepared by LRL Associates Ltd, dated October 2023.

The site currently has a surface water feature (a watercourse) adjacent to the north property line. The watercourse and site development will need to be managed as per the recommendations made within the Environmental Impact Statement prepared by Kilgour & Associates Ltd, dated September 2023.

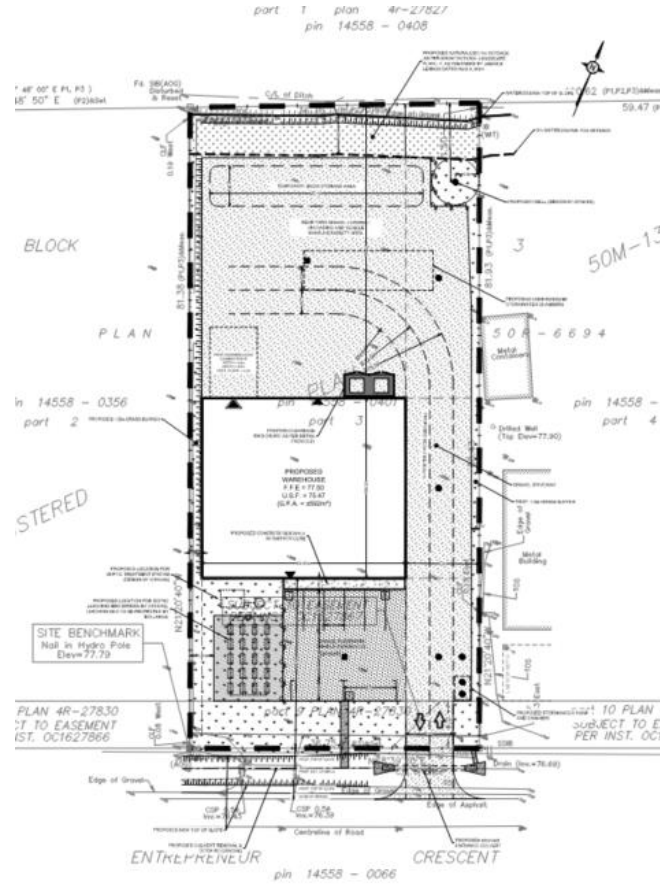


Figure 6: Proposed Civil Site Plan

3 PLANNING

3.1 Official Plan

The subject site is designated Rural Industrial and Logistics by Schedule 9 of the Official Plan. As per Official Plan Policy 9.3.1(2), development on lands designated as Rural Industrial and Logistics shall consider the following:

- Building design, site layout and landscape in a way that maintains and enhances the rural identity and feel of the area in which development takes place
 - Building design / aesthetics to be provided with with Building Permit submission. Site has been designed with consideration for landscaping and landscaping elements along the south property line (abutting Entrepreneur Cres).
- Appropriate screening from public roads and adjacent properties using natural vegetation, preferable existing vegetation where possible
 - Landscaping elements along the south property line will be used for screening.
- Outdoor amenity area for employees and landscaping that supports the City's tree canopy targets

- Landscaped area proposed at the front (south) and rear (north) of the building. Trees proposed along the south property line abutting Entrepreneur.
- Accesses are designed to minimize hazards between the road on which the development fronts and its vehicular points of access
 - Access designed accordingly, wide entrance and vehicle maneuverability provided on-site.

3.2 Zoning By-law

The subject site is zoned RG2 – Rural General Industrial Zone, Subzone 2. Zoning provisions specific to the site can be found in Zoning By-law No.2008-250, Part 13 – Rural Zones, Section 219 – Table 219. As the proposed development is intended to serve as a warehouse, the site does conform to the allowable permitted uses.

The current site design did not conform to the current zoning provisions.

The following were the exceptions;

- Minimum required rear yard setback of 15.0m is required, and
- Minimum required side yard setback of 3.0m is required.

A minor variance was sought out to permit the following;

- Minimum required rear yard setback of 15.0m proposed to be reduced to 6.80m
- Minimum required side yard setback of 3.0m proposed to be reduced to 1.50m

A minor variance was appealed to the Committee of Adjustments, and approval was granted for both the proposed variances.

All other zoning provisions have been respected.

4 ENGINEERING & ENVIRONMENTAL

The following reports have been provided to support engineering & environmental requirements, as outlined by the City of Ottawa Site Plan Control Design Guidelines, as well as City of Ottawa and South Nation Conservation Authority within the Pre-consultation Application Meeting Minutes;

- Stormwater Management Report & Site Servicing Report
- Hydrogeological and Terrain Analysis
- Geotechnical Study
- Septic Design & OSSO Permit
- Phase 1 Environmental Assessment
- Phase 2 Environmental Assessment
- Environmental Impact Study

Conclusions for concerns raised during the pre-consult can be drawn from the respective study / report.



5 BRIEF CONDITIONS AND LIMITATIONS

The brief conclusions are applicable only to this specific project described in the preceding pages. Any changes, modifications or additions will require a subsequent review by LRL Associates Ltd. to ensure the compatibility with the recommendations contained in this document. If you have any questions or comments, please contact the undersigned.

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