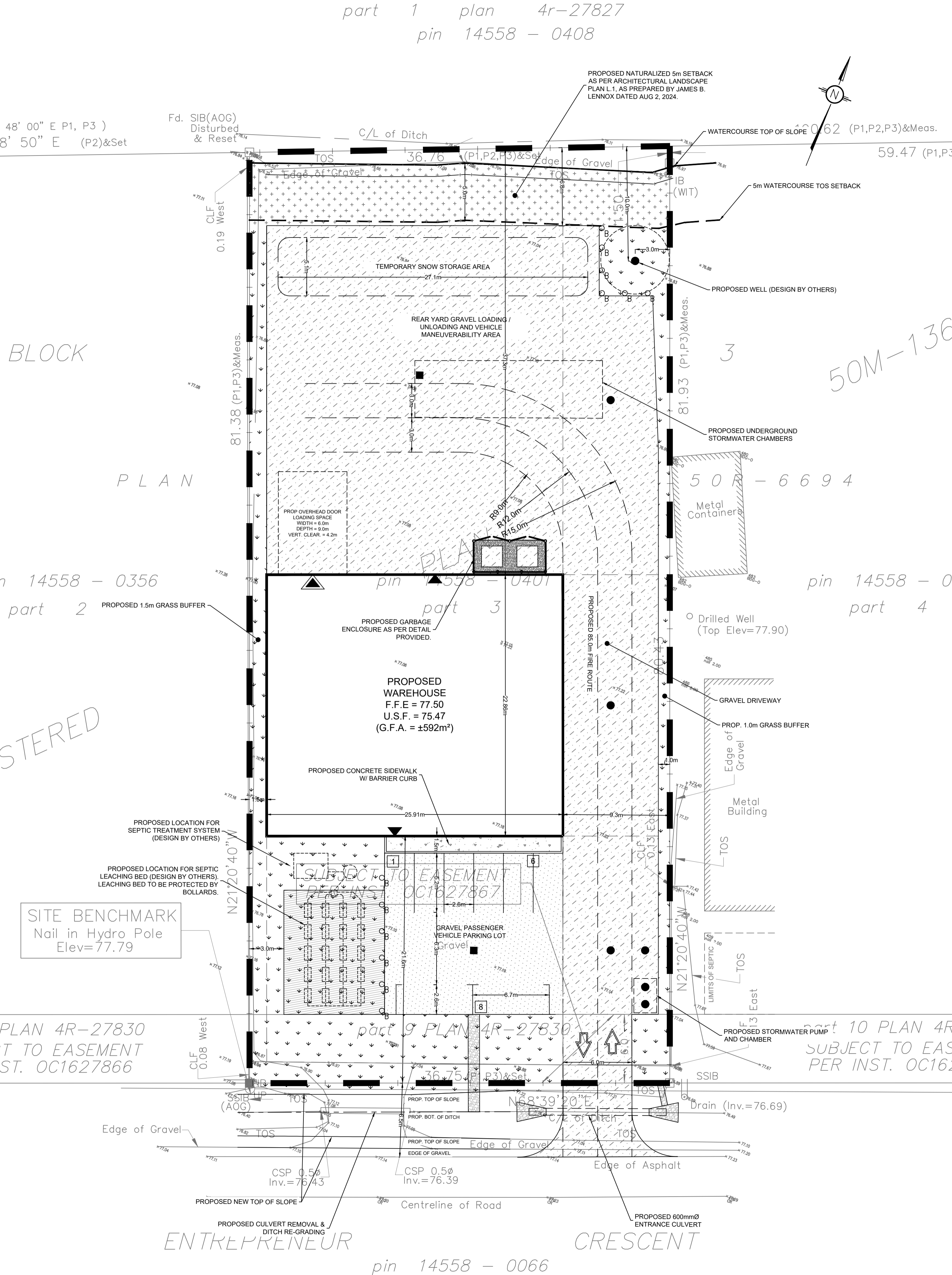




KEY PLAN
N.T.S.



part 1 plan 4r-27827
pin 14558 - 0408

57' 48' 00" E P1, P3)
48' 50" E (P2)&Set

BLOCK

PLAN

pin 14558 - 0356
part 2

pin 14558 - 0401
part 3

pin 14558 - 0402
part 4

SITE BENCHMARK
Nail in Hydro Pole
Elev=77.79

REGISTERED

TOPOGRAPHICAL DATA AND PROPERTY BOUNDARIES AS PER THE TOPOGRAPHICAL SURVEY PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. JOB NO. E-2488-22 DATED DECEMBER 14TH, 2022.

Bearings are grid, derived and are referred to the Central Meridian of MTM Zone 9 (76°30' West Longitude) NAD-83 (original).

ELEVATION NOTES

- Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.
- It is the responsibility of the user of this information to verify that the job benchmark has not been altered or disturbed and that its relative elevation and description agrees with the information shown on this drawing.

UTILITY NOTES

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- Only visible surface utilities were located.
- A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

part 8 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

part 9 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

part 10 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

ENTREPRENEUR

CRESCENT

pin 14558 - 0066

LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
- PROPOSED TERRACING (3:1 MIN.)
- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED FENCE
- PROPOSED MAN DOOR ENTRANCE/EXIT
- PROPOSED OVERHEAD DOOR
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED NATURALIZED AREA (AS PER LANDSCAPE PLAN L.1)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED HEAVY DUTY ASPHALT
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED RIP RAP
- PROPOSED ELEVATION
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- PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- MATCH INTO EXISTING ELEVATION
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- PROPOSED PIPE INSULATION
- PROPOSED 100 YEAR HIGH WATER LEVEL
- STORM WATERSHED EXTENT
- WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA IN HECTARES

DETAILS OF DEVELOPMENT

DATA	REQUIRED	PROVIDED
ZONING	RIG2 (RURAL GENERAL INDUSTRIAL ZONE)	
SETBACKS	FY 15.0m	21.6m
	RY 15.0m	37.3m
	INT.SY 3.0m / 1.5m (MV)	1.5m
	EXT.SY 3.0m	9.3m
NET LOT AREA (sqm)		3000 sqm
BUILDING COVERAGE	50 % (MAX)	19.7 %
BUILDING HEIGHT	15.0 m (MAX)	10.8 m
GROSS FLOOR AREA		592 sqm
No. of UNITS		1
LOADING SPACES	N/A	N/A
PARKING:	5	8
No. of STOREYS		1
OTHER:		

ARCHITECT
ABSOLUTE DRAFTING & DESIGN INC.
1257 DROUIN SIDEROAD, CASSELMAN, ON

LANDSCAPE ARCHITECT
JAMES B. LENNOX & ASSOCIATES INC.
3332 CARLING AVE. OTTAWA, ONTARIO K2H 5A8
Tel: (613) 722-5168 Fax: (866) 343-3942

ENVIRONMENTAL CONSULTANT
KILGOUR & ASSOCIATES LTD
2285 ST. LAURENT BLVD, OTTAWA, ON

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KILGOUR & Associates

USE AND INTERPRETATION OF DRAWINGS

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IN ADDITION, THE CLIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS LRI FROM ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND COST OF DEFENSE, ARISING FROM SUCH CHANGES.

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CONTRACTOR IS ADVISED TO COLLECT INFORMATION ON SOIL CONDITIONS BEFORE START OF CONSTRUCTION.

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CONTRACTOR TO VERIFY ALL DIMENSIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE WORK COMMENCES. DO NOT SCALE DRAWINGS.

NOT FOR CONSTRUCTION TENDER OR PERMIT

No.	REVISIONS	BY	DATE
02	ISSUED FOR SITE PLAN CONTROL	K.H.	29 AUG 2024
01	ISSUED FOR SITE PLAN CONTROL	K.H.	10 OCT 2023



NOT AUTHENTIC UNLESS SIGNED AND DATED
CIVIL, GEOTECHNICAL, ENVIRONMENTAL ENGINEERS

LRJ
ENGINEERING | INGENIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lri.ca | (613) 842-3434

CLIENT: DUSTIN WILSON
310 SANCTUARY PRIV.
OTTAWA, ON

DESIGNED BY: K.H. DRAWN BY: K.H. APPROVED BY: M.B.

PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
363 ENTREPRENEUR CRESCENT, OTTAWA

DRAWING TITLE: SITE PLAN

PROJECT NO: 220487
DATE: OCT 2022

C201

PAVEMENT STRUCTURE

Table with 4 columns: COURSE, MATERIAL, AUTOMOBILE PARKING, TRUCK ROUTE (HEAVY TRAFFIC). Rows include SURFACE, BINDER, BASECOURSE, and SUBBASE with material specifications and thicknesses.

NOTE: IN PREPARATION FOR PAVEMENT CONSTRUCTION AT THIS SITE, ANY SURFICIAL OR NEAR SURFACE/SUBGRADE LEVEL TOPSOIL AND ANY SOFT, WET OR DELETERIOUS MATERIALS SHOULD BE REMOVED FROM THE PROPOSED PAVED AREAS...

GENERAL NOTES

- 1. ALL WORKS MATERIALS SHALL CONFIRM TO THE LAST REVISION OF THE STANDARDS AND SPECIFICATIONS FOR THE CITY OF OTTAWA.
2. THE CONTRACTORS SHALL CONFIRM THE LOCATION OF ALL EXISTING UTILITIES WITHIN THE SITE AND ADJACENT WORK AREAS...

SITE GRADING NOTES

- 1. ALL GRANULAR AND PAVEMENT FOR ROADS/PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEERS' RECOMMENDATIONS (AS APPLICABLE).
2. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE STRIPPED WITHIN THE ROAD AND PARKING AREAS ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...

ROADWORK SPECIFICATIONS

- 12. ROADWORK TO BE COMPLETED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
13. ALL TOPSOIL AND ORGANIC MATERIAL SHALL BE STRIPPED WITHIN THE ROAD ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND STOCK PILLED ON SITE AS DIRECTED BY THE MUNICIPAL AUTHORITY...

part 1 plan 4r-27827
pin 14558 - 0408

BLOCK

PLAN

pin 14558 - 0356
part 2

pin 14558 - 0408
part 3

14558 - 0408
part 4

- REGISTERED

SITE BENCHMARK
Nail in Hydro Pole
Elev = 77.79

part 8 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

part 10 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

ENTREPRENEUR CRESCENT
pin 14558 - 0066

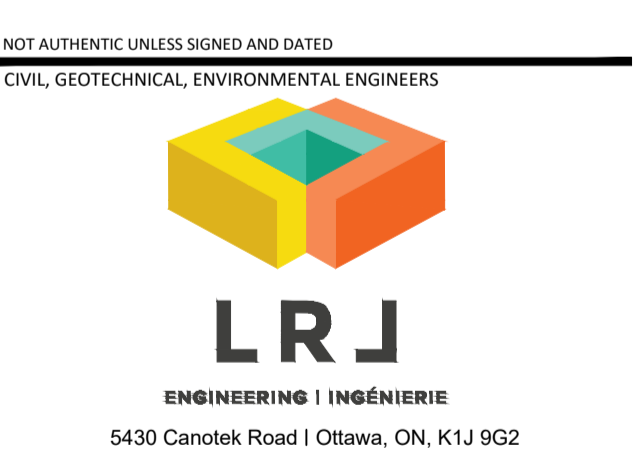
LEGEND:

Legend table listing symbols for existing property lines, proposed curbs, elevations, drainage features, and utility lines.

USE AND INTERPRETATION OF DRAWINGS
GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE PART OF THE CONTRACT DOCUMENTS AND DESCRIBE USE AND INTENT OF THE DRAWINGS...

NOT FOR CONSTRUCTION TENDER OR PERMIT

Table with 3 columns: No., REVISIONS, BY, DATE. Shows revision 02 issued for site plan on 29 AUG 2024.



CLIENT: DUSTIN WILSON
310 SANCTUARY PRIV.
OTTAWA, ON

DESIGNED BY: K.H. DRAWN BY: K.H. APPROVED BY: M.B.

PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
363 ENTREPRENEUR CRESCENT, OTTAWA

DRAWING TITLE: GRADING AND DRAINAGE PLAN

PROJECT NO: 220487
DATE: OCT 2022
C301

ELEVATION NOTES
1. Elevations shown are geodetic and are referred to the CGVD28 geodetic datum.

UTILITY NOTES
1. This drawing cannot be accepted as acknowledging all of the utilities and it will be the responsibility of the user to contact the respective utility authorities for confirmation.

UTILITY NOTES
2. Only visible surface utilities were located.
3. A field location of underground plant by the pertinent utility authority is mandatory before any work involving breaking ground, probing, excavating etc.

SANITARY, FOUNDATION DRAIN, STORM SEWER AND WATERMAIN NOTES

GENERAL

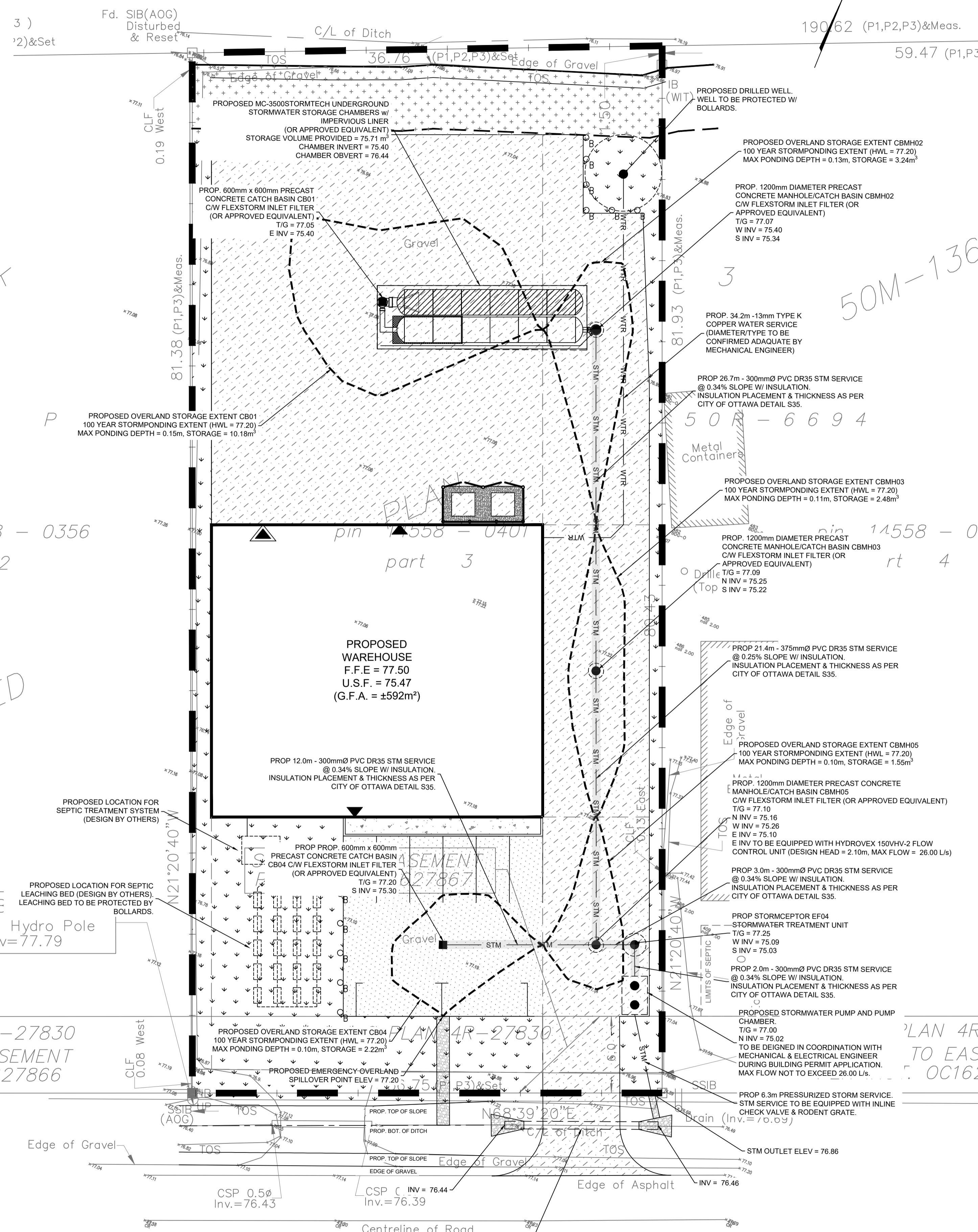
1. LASER ALIGNMENT CONTROL TO BE UTILIZED ON ALL SEWER INSTALLATIONS.
2. ALL MAINTENANCE STRUCTURE AND CATCH BASIN EXCAVATIONS TO BE BACKFILLED WITH GRANULAR MATERIAL COMPACTED TO 98% STANDARD PROCTOR DENSITY, A MINIMUM OF 300MM AROUND STRUCTURES.
3. AS PER THE GEOTECHNICAL INVESTIGATION, CLAY DYKES TO BE INSTALLED WITHIN ALL SERVICES TRENCHES, DOWNSTREAM FROM EACH OF THE MANHOLE AND CATCH BASIN STRUCTURES. THE DYKES SHOULD EXTEND FROM THE BASE OF THE SERVICE TRENCH TO THE SUBGRADE LEVEL, HAVING A MINIMUM WIDTH OF 1.0m.

STORM

4. ALL PVC STORM SEWERS ARE TO BE SDR 35 APPROVED PER C.S.A. B182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.
5. CATCH BASIN SHALL BE IN ACCORDANCE WITH OPSD 705.010.
6. ALL CATCH BASINS SHALL HAVE 600MM SUMPS, UNLESS SPECIFIED OTHERWISE.
7. ALL CATCH BASIN LEAD INVERTS TO BE 1.5M BELOW FINISHED GRADE UNLESS SPECIFIED OTHERWISE.
8. THE STORM SEWER CLASSES HAVE BEEN DESIGNED BASED ON BEDDING CONDITIONS SPECIFIED ABOVE. WHERE THE SPECIFIED TRENCH WIDTH IS EXCEEDED, THE CONTRACTOR IS REQUIRED TO PROVIDE AND SHALL BE RESPONSIBLE FOR EXTRA TEMPORARY AND/OR PERMANENT REPAIRS MADE NECESSARY BY THE WIDENED TRENCH.
9. ALL STORM MANHOLES WITH PIPE LESS THAN 900MM IN DIAMETER SHALL BE CONSTRUCTED WITH A 300MM SUMP AS PER SDG, CLAUSE 6.2.6.

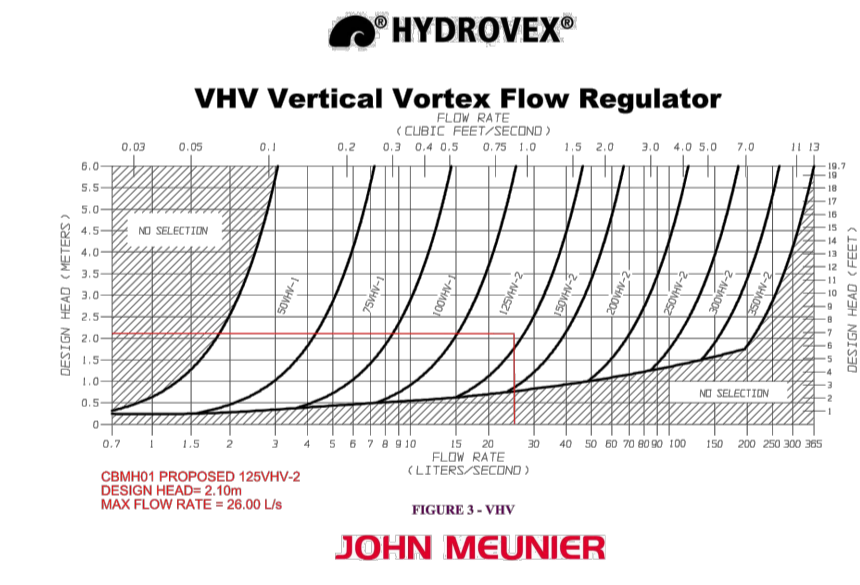
part 1 plan 4r-27827

pin 14558 - 0408



LEGEND:

- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED CURB
- PROPOSED DEPRESSED CURB
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- PROPOSED SILT FENCE AS PER OPSD 219.110
- PROPOSED DOOR ENTRANCE/EXIT
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01	ISSUED FOR SITE PLAN CONTROL	K.H.	10 OCT 2023



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CIVIL, GEOTECHNICAL, ENVIRONMENTAL ENGINEERS



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OTTAWA, ON

DESIGNED BY: K.H. DRAWN BY: K.H. APPROVED BY: M.B.

PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
363 ENTREPRENEUR CRESCENT, OTTAWA

DRAWING TITLE: SERVICING AND STORMWATER MANAGEMENT PLAN

PROJECT NO.: 220487
DATE: OCT 2022

C401

REGISTERED

pin 14558 - 0356
part 2

part 8 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

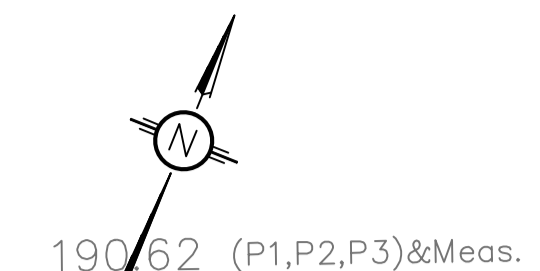
PLAN 4R-27830
TO EASEMENT
OC1627866

ENTREPRENEUR CRESCENT

pin 14558 - UU66

part 1 plan 4r-27827
pin 14558 - 0408

(N 67° 48' 00" E P1, P3)
N 67° 48' 50" E (P2)&Set



LEGEND:

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5m 2 0 5m
SCALE: 1:200

NOT FOR CONSTRUCTION TENDER OR PERMIT

02	ISSUED FOR SITE PLAN CONTROL	K.H.	29 AUG 2024
01	ISSUED FOR SITE PLAN CONTROL	K.H.	10 OCT 2023
No.	REVISIONS	BY	DATE



NOT AUTHENTIC UNLESS SIGNED AND DATED
CIVIL, GEOTECHNICAL, ENVIRONMENTAL ENGINEERS

LRJ
ENGINEERING | INGÉNIERIE
5430 Canotek Road | Ottawa, ON, K1J 9G2
www.lrl.ca | (613) 842-3434

CLIENT: DUSTIN WILSON
310 SANCTUARY PRIV.
OTTAWA, ON

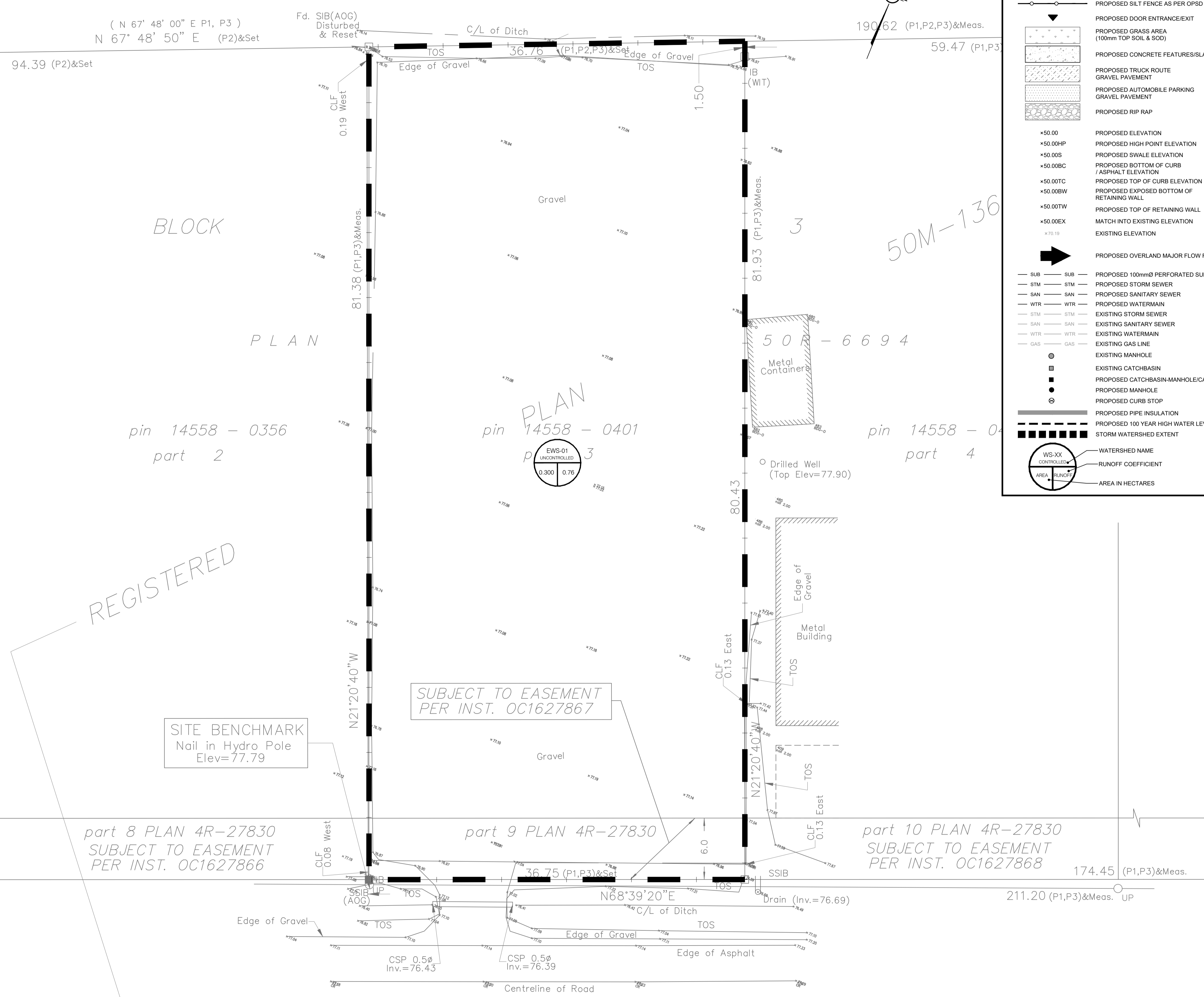
DESIGNED BY: K.H. DRAWN BY: K.H. APPROVED BY: M.B.

PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
363 ENTREPRENEUR CRESCENT, OTTAWA

DRAWING TITLE: PRE-DEVELOPMENT WATERSHED PLAN

PROJECT NO: 220487
DATE: OCT 2022

C701



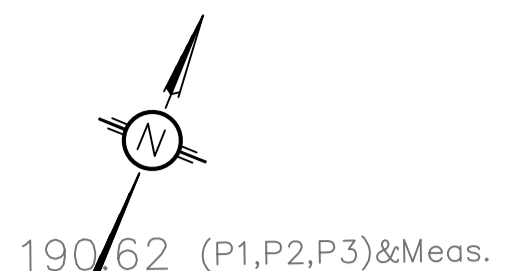
part 1 plan 4r-27827
pin 14558 - 0408

part 2
pin 14558 - 0356

part 3
pin 14558 - 0401

part 4
pin 14558 - 0401

part 1 plan 4r-27827
pin 14558 - 0408



LEGEND:

- | — EXISTING PROPERTY LINE TO REMAIN
- — — PROPOSED CURB
- — — PROPOSED DEPRESSED CURB
- — — PROPOSED TERRACING (3H:1V MAX.)
- — — PROPOSED SILT FENCE AS PER OPSD 219.110
- ▼ PROPOSED DOOR ENTRANCE/EXIT
- PROPOSED GRASS AREA (100mm TOP SOIL & SOD)
- PROPOSED CONCRETE FEATURES/SLAB
- PROPOSED TRUCK ROUTE GRAVEL PAVEMENT
- PROPOSED AUTOMOBILE PARKING GRAVEL PAVEMENT
- PROPOSED RIP RAP
- ×50.00 PROPOSED ELEVATION
- ×50.00HP PROPOSED HIGH POINT ELEVATION
- ×50.00S PROPOSED SWALE ELEVATION
- ×50.00BC PROPOSED BOTTOM OF CURB / ASPHALT ELEVATION
- ×50.00TC PROPOSED TOP OF CURB ELEVATION
- ×50.00BW PROPOSED EXPOSED BOTTOM OF RETAINING WALL
- ×50.00TW PROPOSED TOP OF RETAINING WALL
- ×50.00EX MATCH INTO EXISTING ELEVATION
- ▽70.19 EXISTING ELEVATION
- ➔ PROPOSED OVERLAND MAJOR FLOW ROUTE
- SUB — SUB — PROPOSED 100mmØ PERFORATED SUBDRAIN
- STM — STM — PROPOSED STORM SEWER
- SAN — SAN — PROPOSED SANITARY SEWER
- WTR — WTR — PROPOSED WATERMAIN
- STM — STM — EXISTING STORM SEWER
- SAN — SAN — EXISTING SANITARY SEWER
- WTR — WTR — EXISTING WATERMAIN
- GAS — GAS — EXISTING GAS LINE
- EXISTING MANHOLE
- EXISTING CATCHBASIN
- PROPOSED CATCHBASIN-MANHOLE/CATCHBASIN
- PROPOSED MANHOLE
- PROPOSED CURB STOP
- — — PROPOSED PIPE INSULATION
- — — PROPOSED 100 YEAR HIGH WATER LEVEL
- — — STORM WATERSHED EXTENT
- WS-XX CONTROLLED WATERSHED NAME
- RUNOFF COEFFICIENT
- AREA RUNOFF AREA IN HECTARES

USE AND INTERPRETATION OF DRAWINGS

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5m 2 0 5m
SCALE: 1:200

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01	ISSUED FOR SITE PLAN CONTROL	K.H.	10 OCT 2023



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CLIENT: DUSTIN WILSON
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OTTAWA, ON

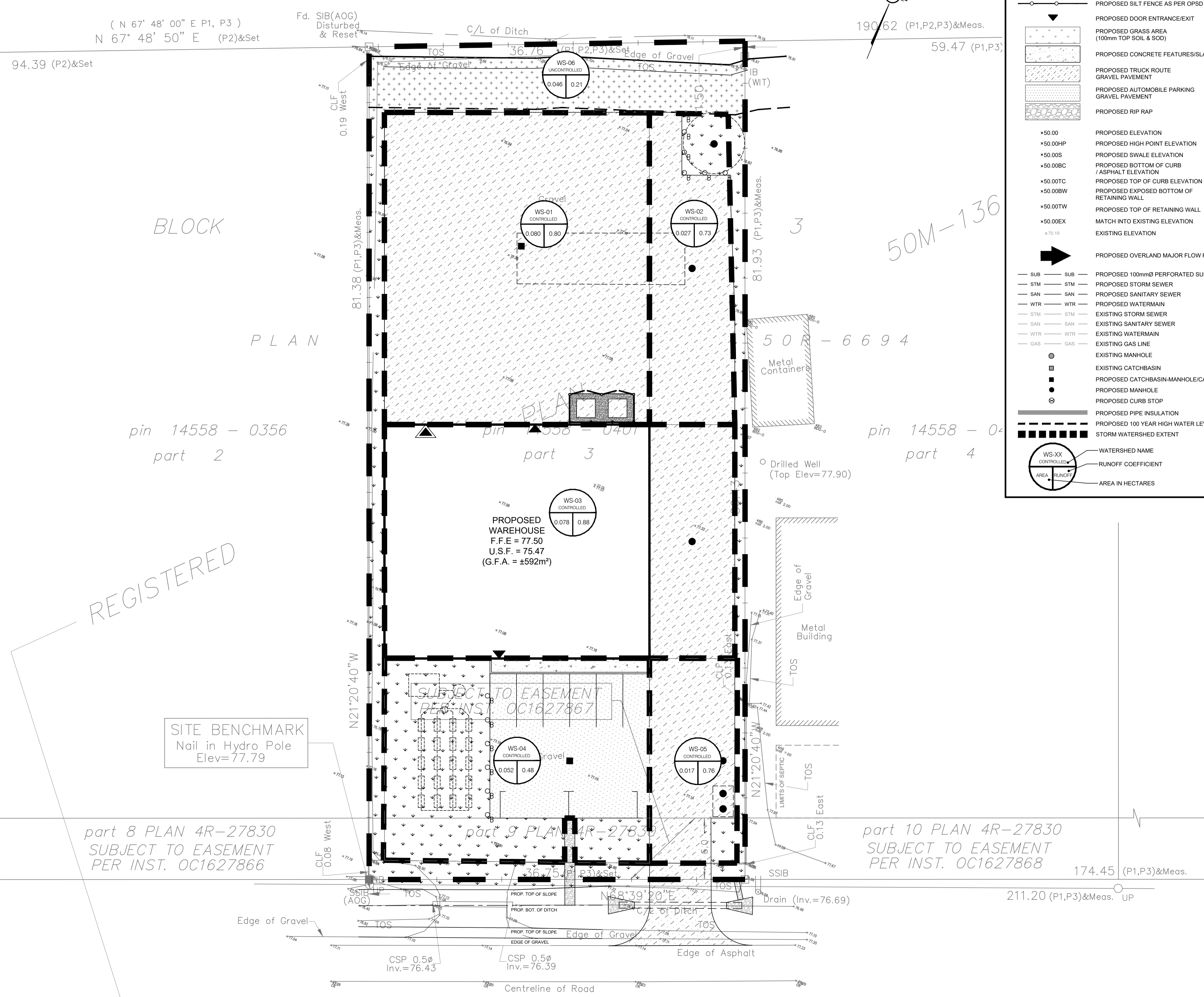
DESIGNED BY: K.H. DRAWN BY: K.H. APPROVED BY: M.B.

PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
363 ENTREPRENEUR CRESCENT, OTTAWA

DRAWING TITLE: POST-DEVELOPMENT WATERSHED PLAN

PROJECT NO: 220487
DATE: OCT 2022

C702



(N 67° 48' 00" E P1, P3)
N 67° 48' 50" E (P2)&Set

94.39 (P2)&Set

BLOCK
PLAN

pin 14558 - 0356
part 2

REGISTERED

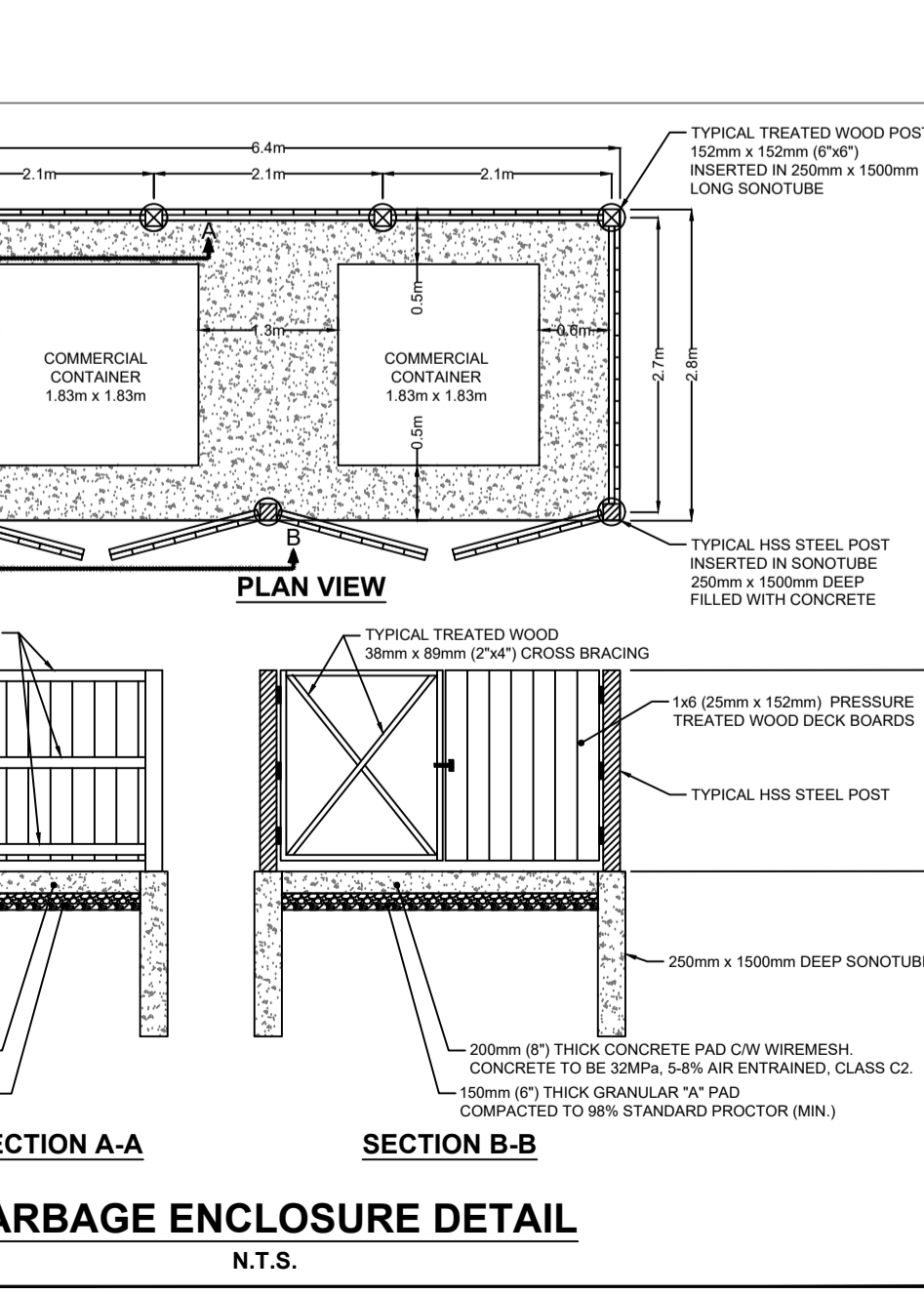
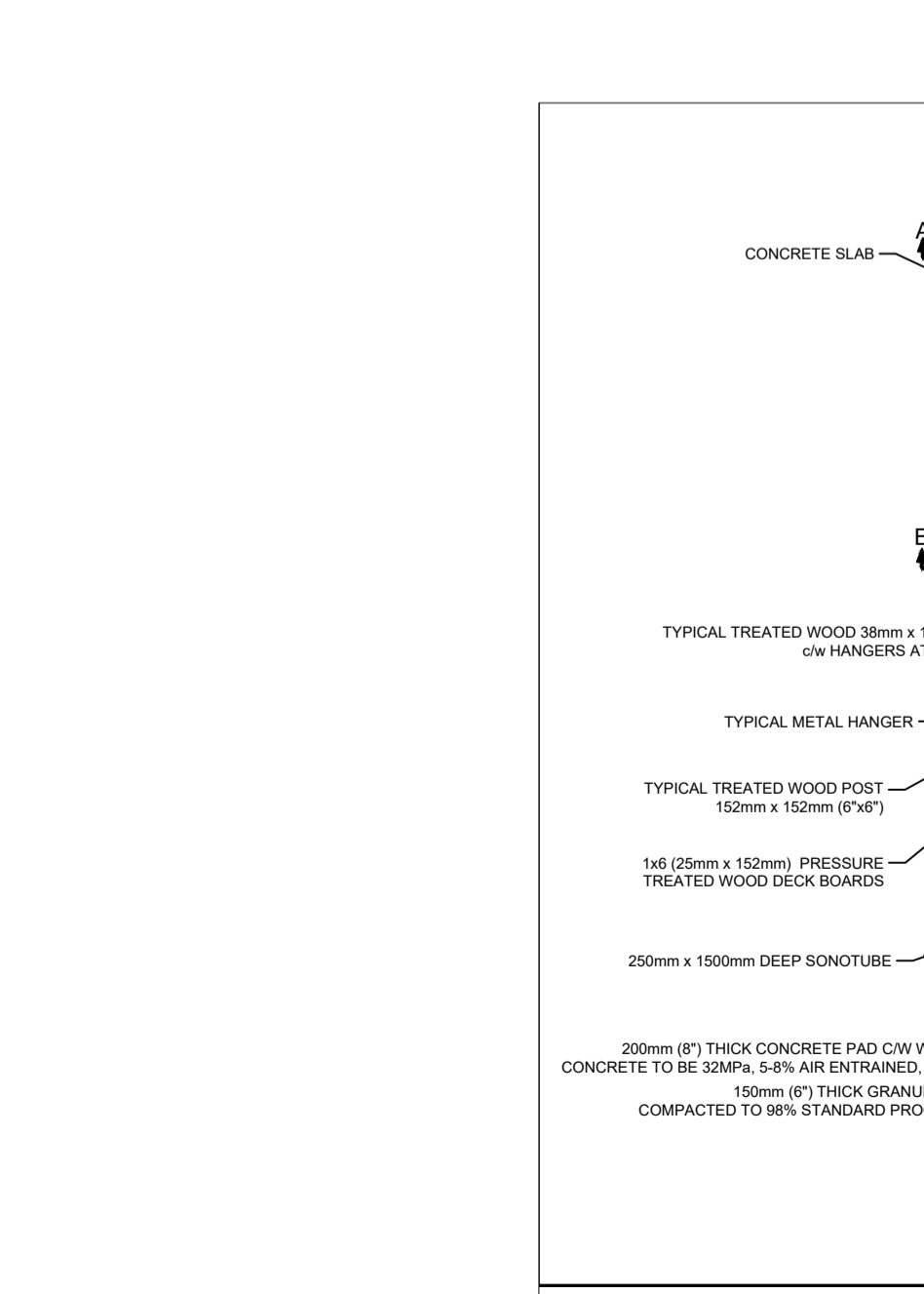
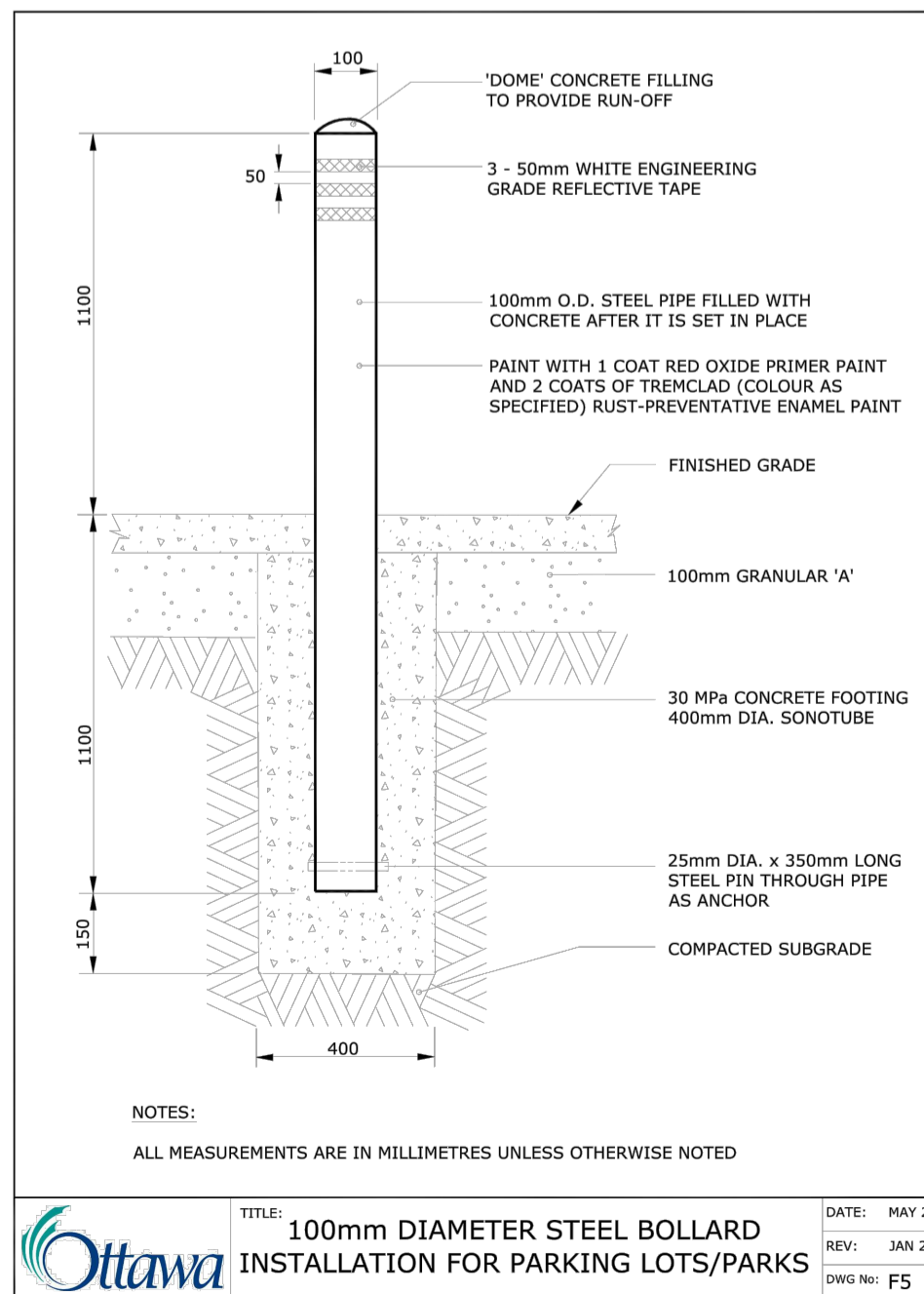
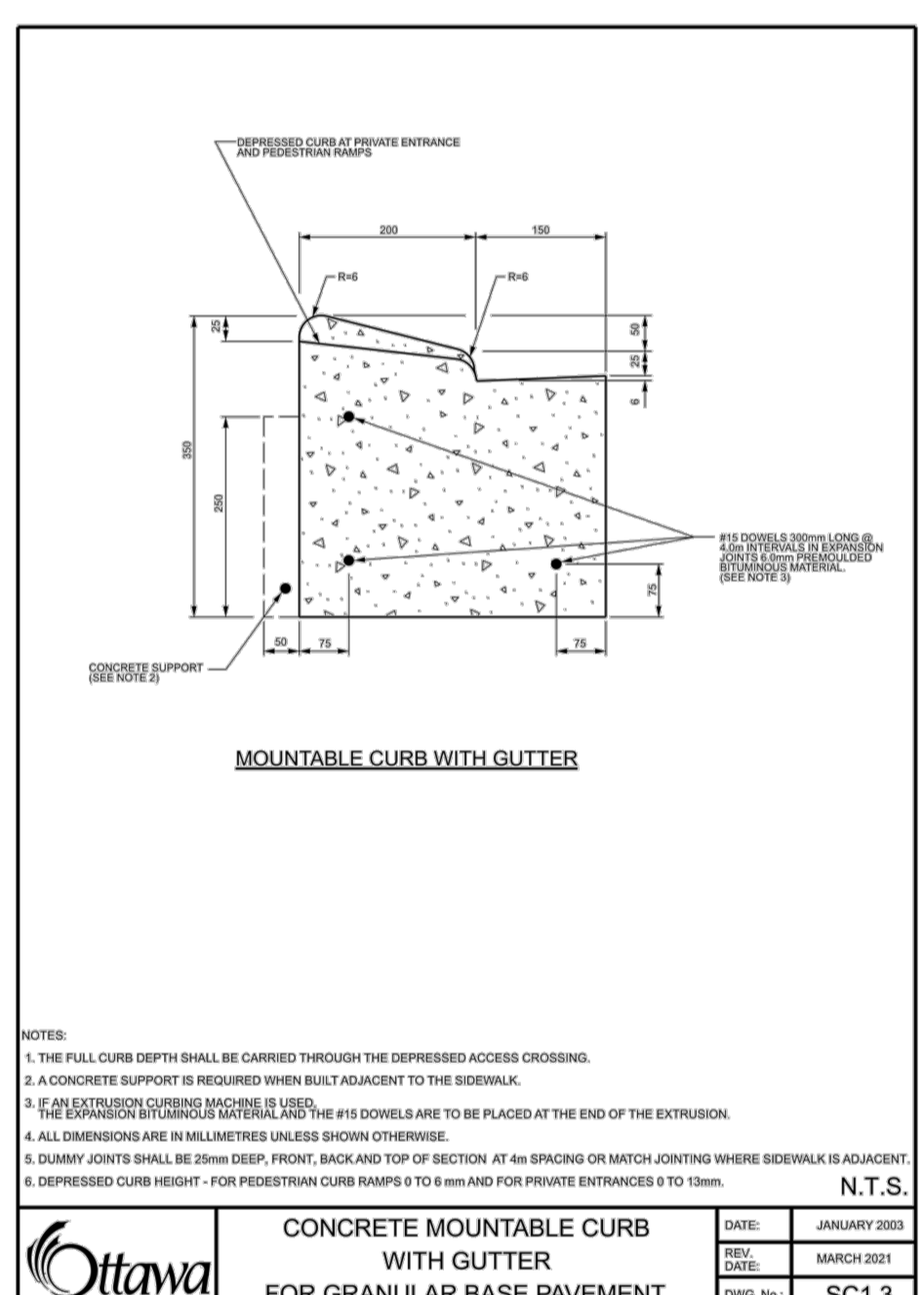
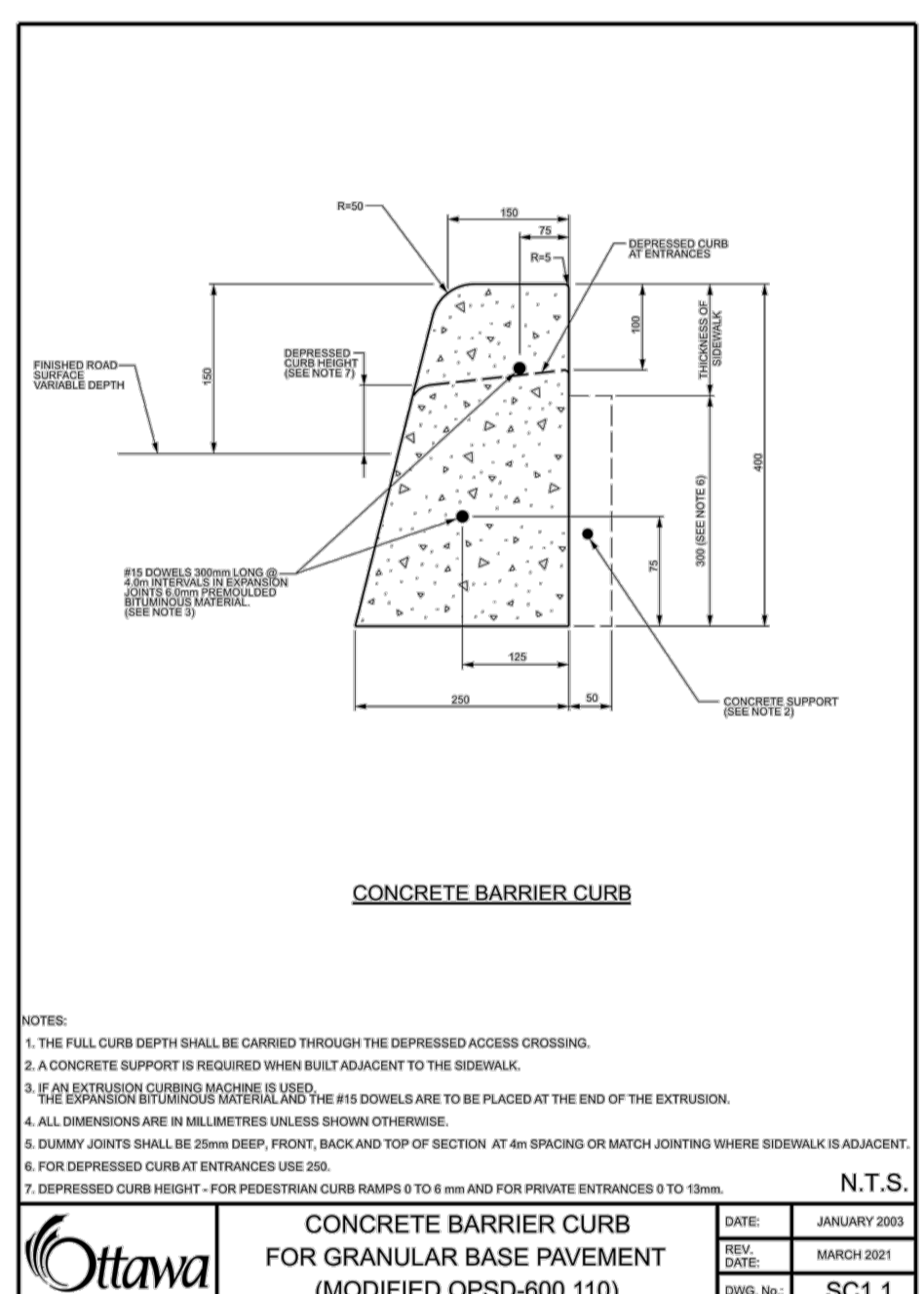
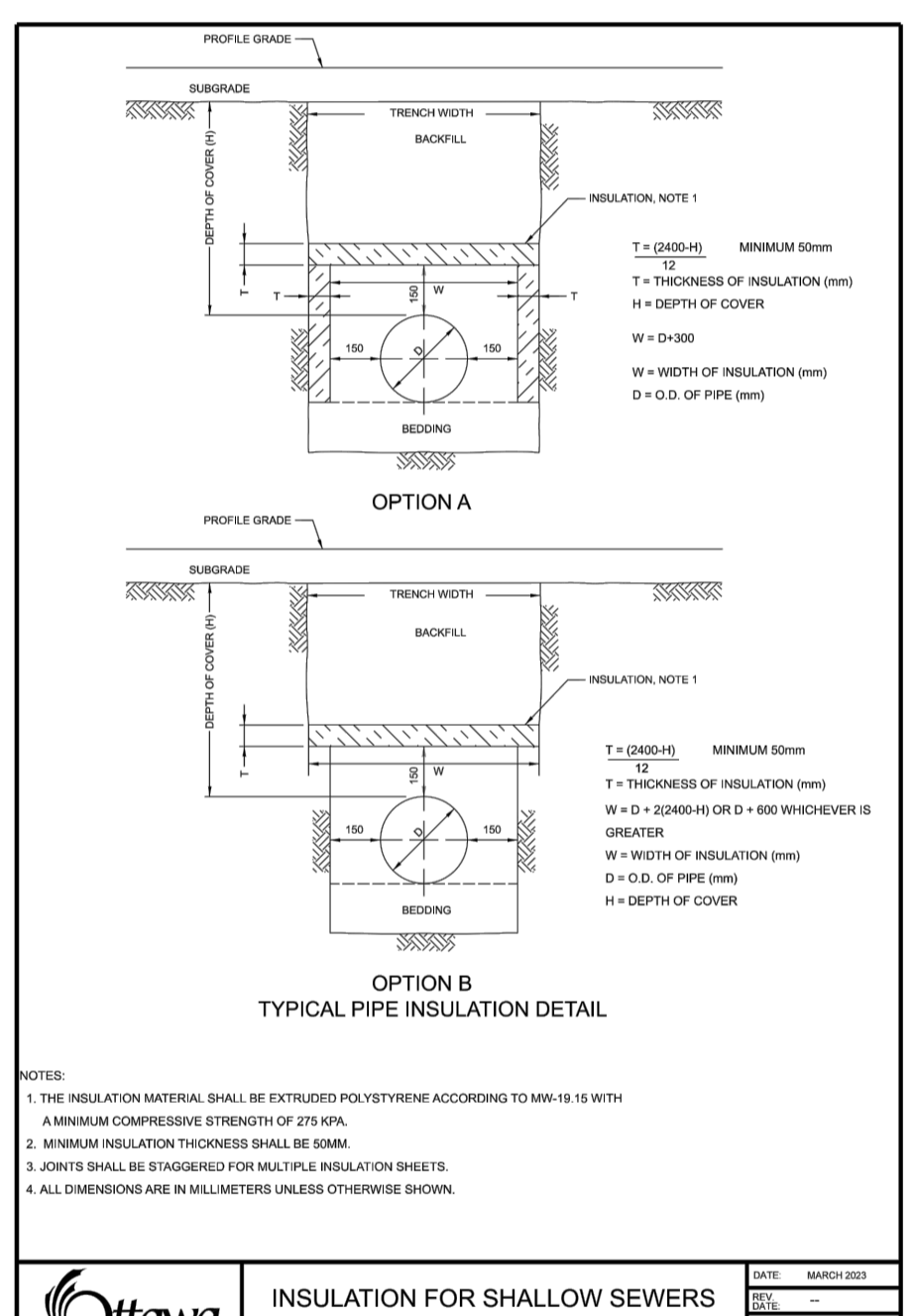
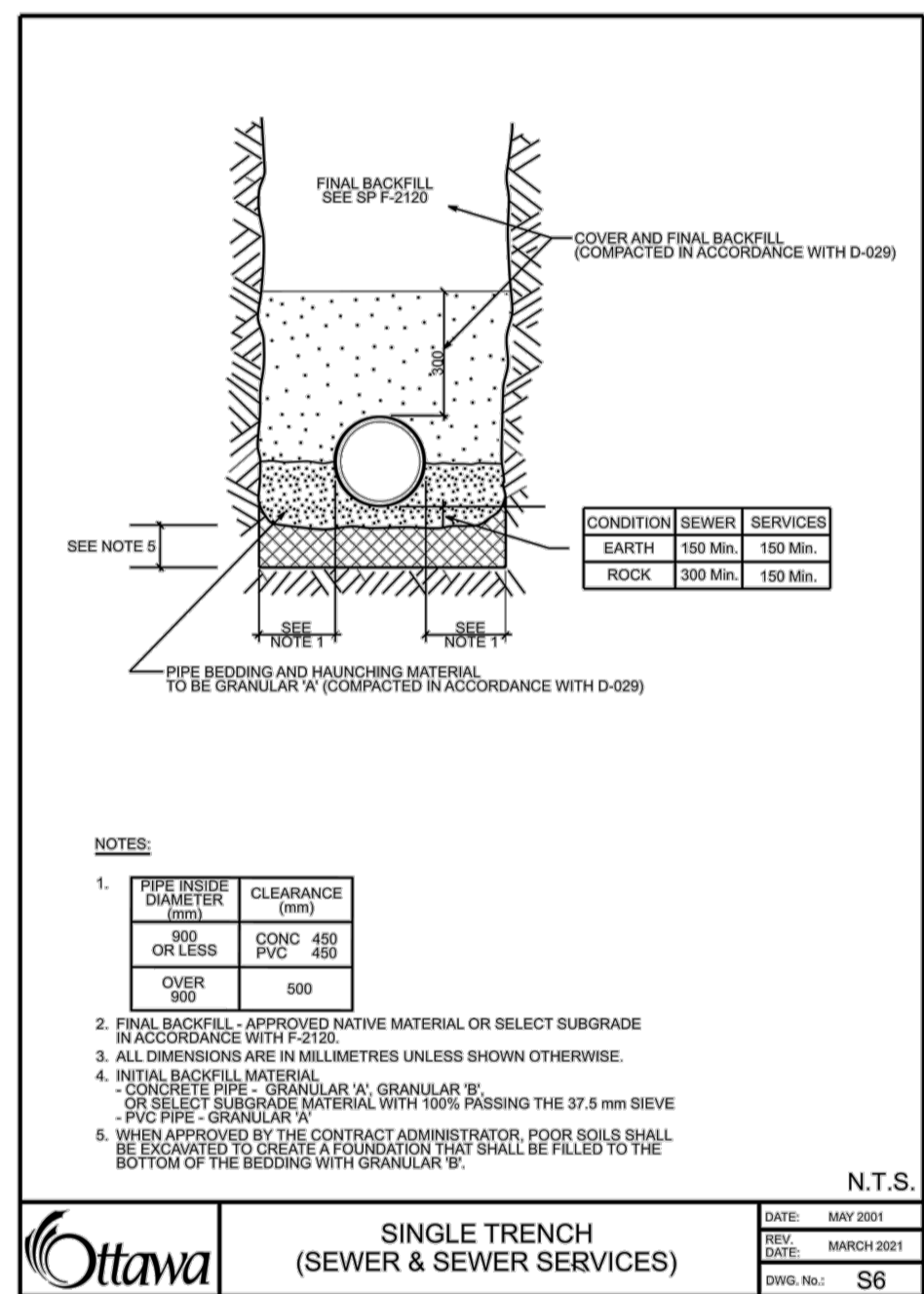
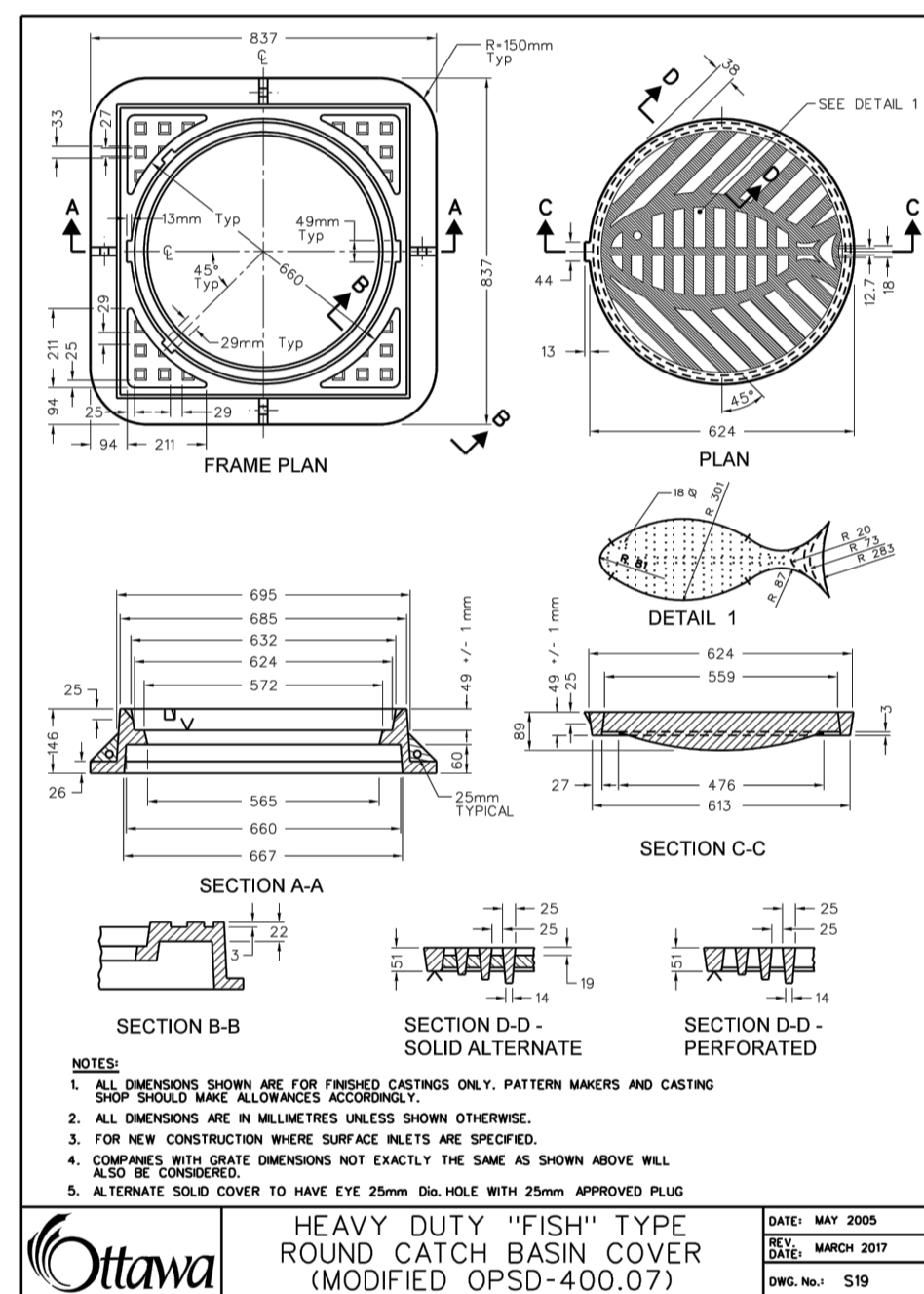
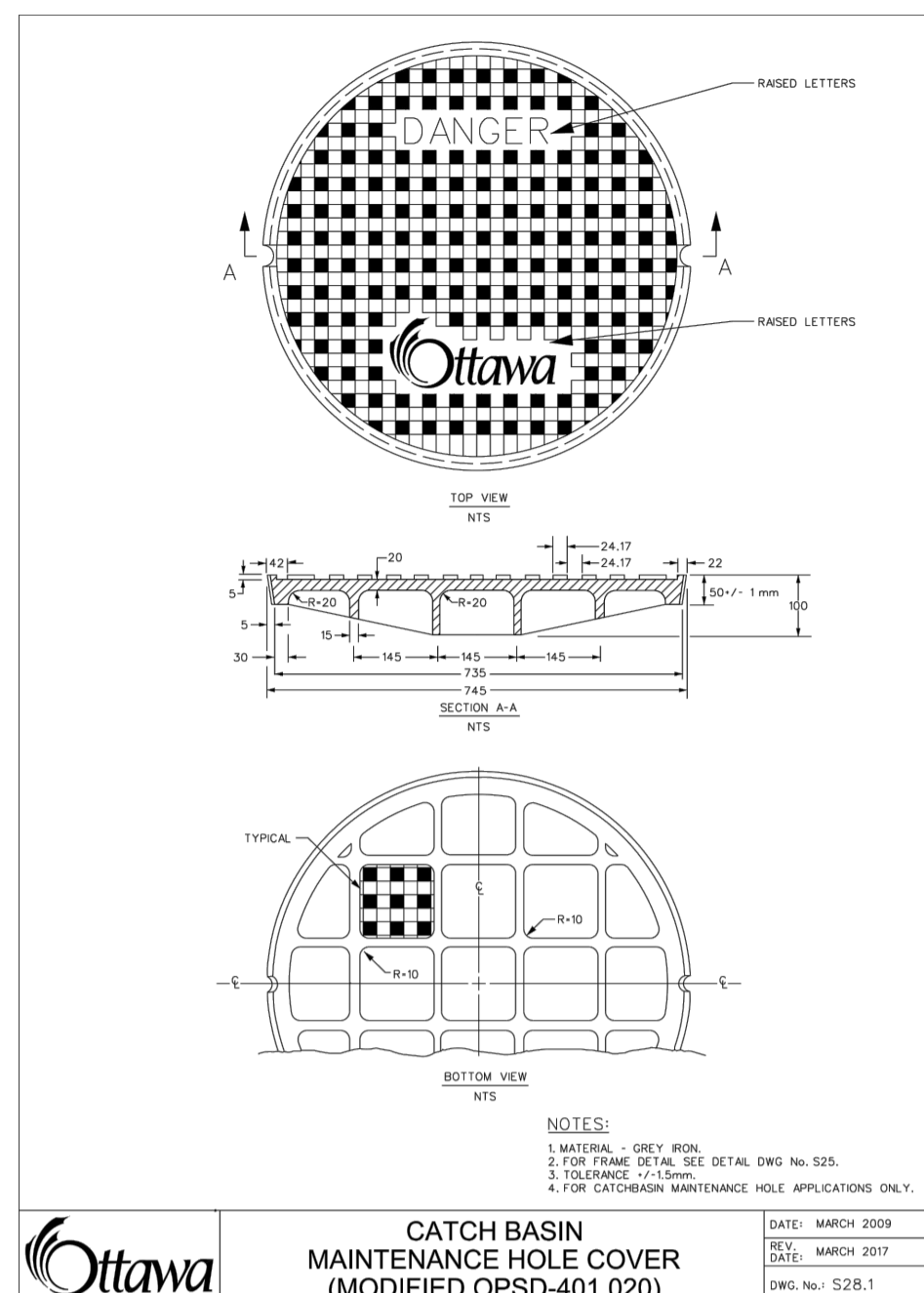
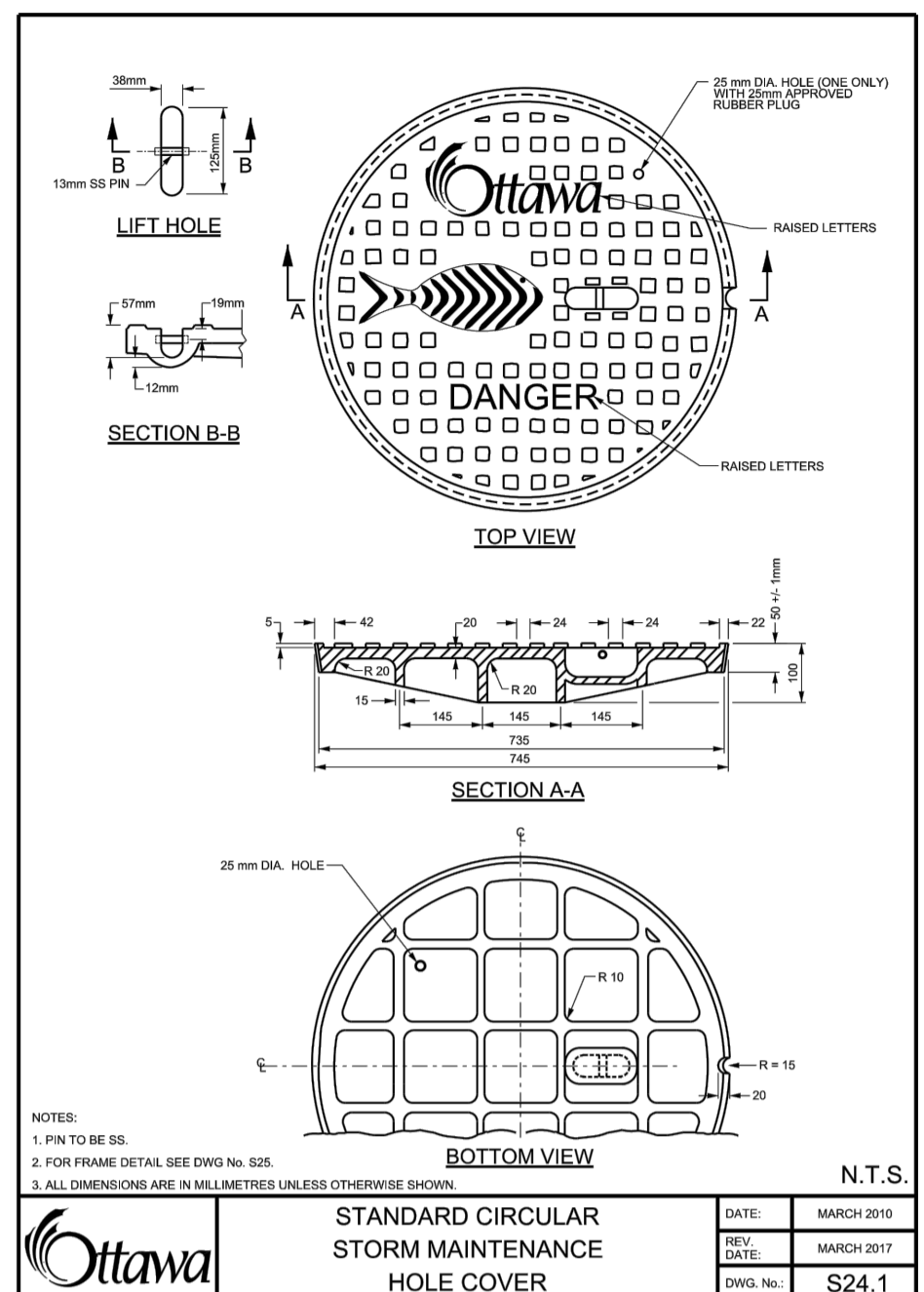
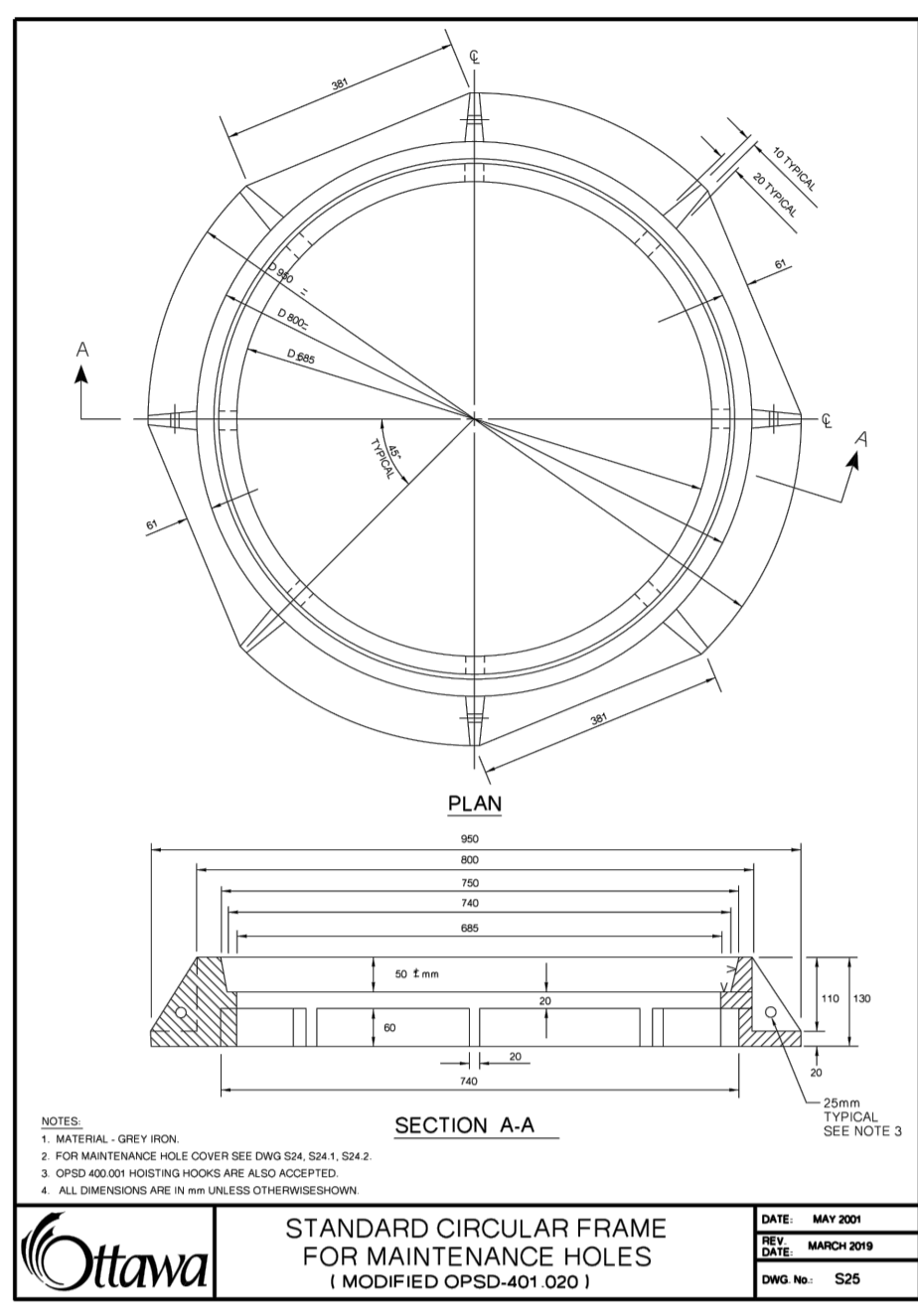
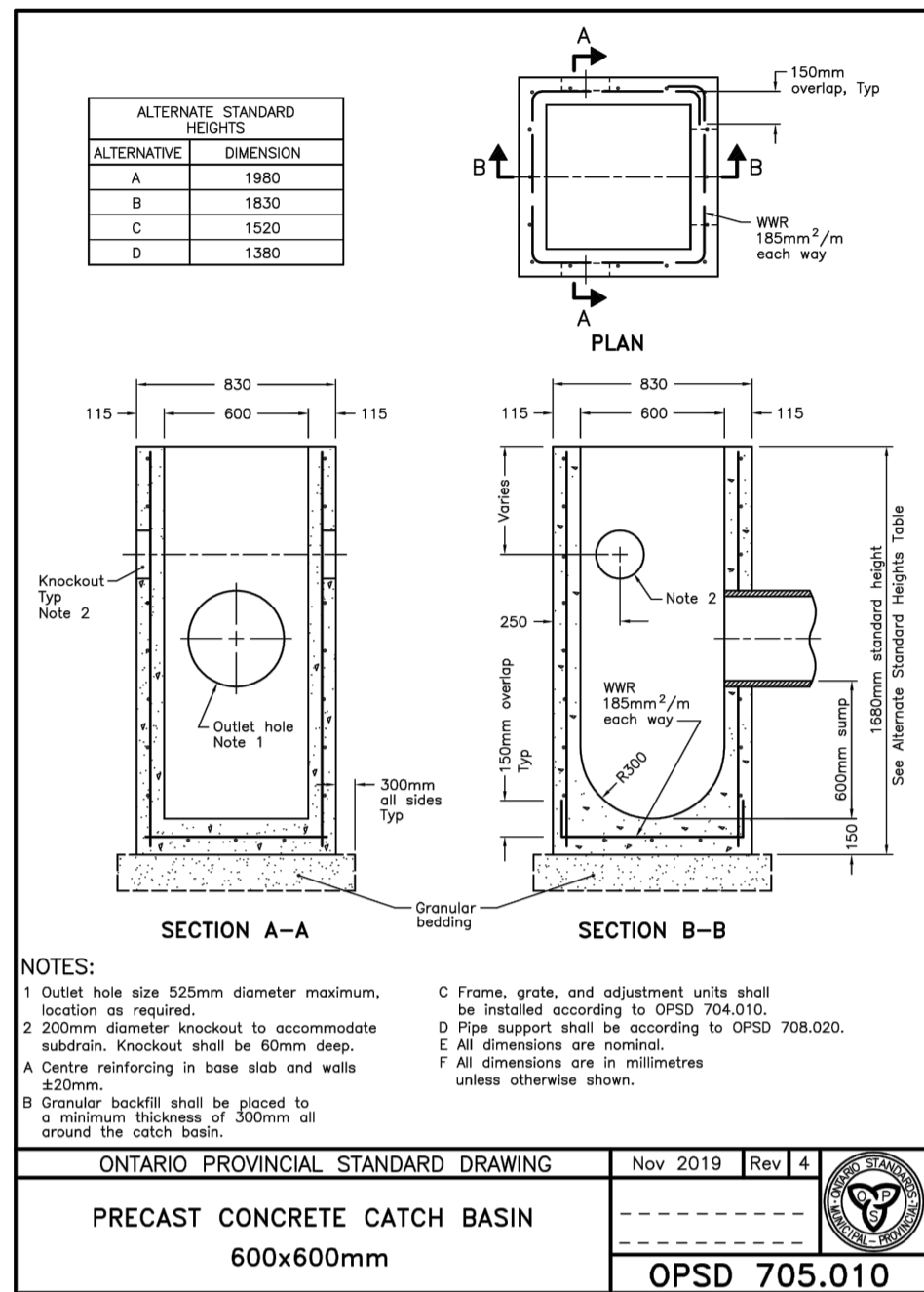
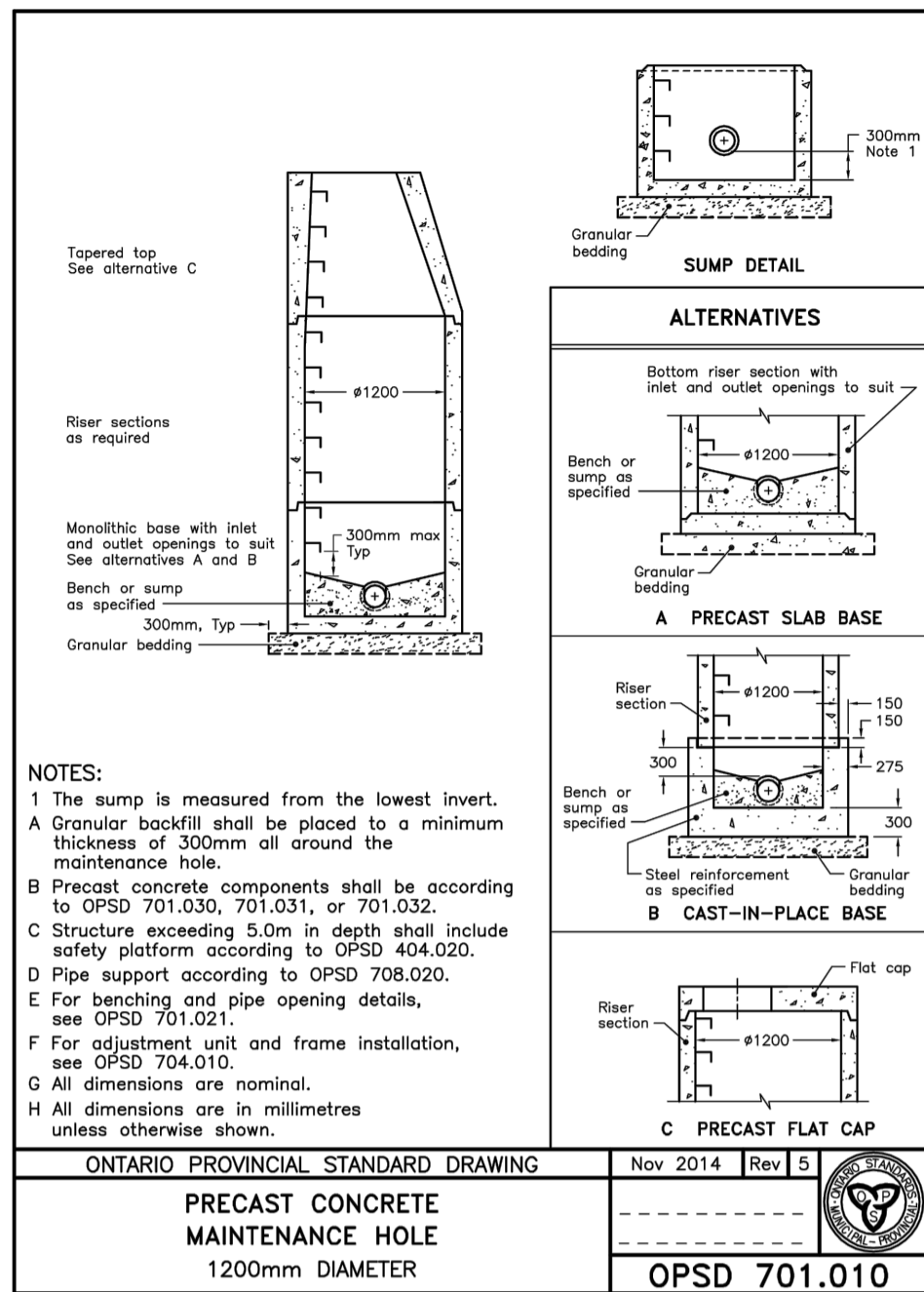
SITE BENCHMARK
Nail in Hydro Pole
Elev=77.79

part 8 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627866

ENTREPRENEUR CRESCENT
pin 14558 - 0066

part 10 PLAN 4R-27830
SUBJECT TO EASEMENT
PER INST. OC1627868

OCT 2022



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CLIENT: DUSTIN WILSON
 310 SANCTUARY PRIV.
 OTTAWA, ON

DESIGNED BY: K.H. DRAWN BY: K.H. APPROVED BY: M.B.

PROJECT: PROPOSED WAREHOUSE DEVELOPMENT
 363 ENTREPRENEUR CRESCENT, OTTAWA

DRAWING TITLE: CONSTRUCTION DETAIL PLAN

PROJECT NO: 220487
 DATE: OCT 2022

C901