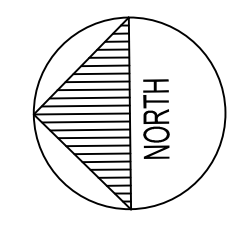
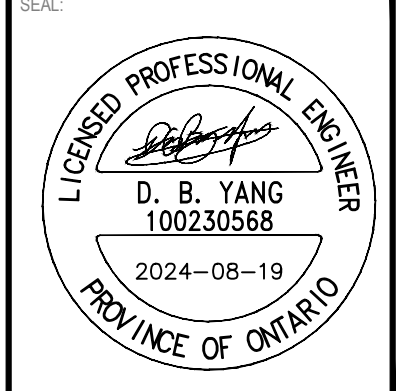


**ELEVATION NOTES**  
 1. ELEVATIONS ARE GEODETIC AND REFERRED TO CITY OF OTTAWA VERTICAL BENCH MARK NO. 396 (01919680138), HAVING AN ELEVATION OF 95.06 METRES.



**MATAJ ARCHITECTS INC.**  
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**CLIENT REF #**  
**PROJECT**  
**WATERIDGE APARTMENTS BUILDINGS**  
**375 CODD'S ROAD AND**  
**1345 HEMLOCK ROAD,**  
**OTTAWA, ON**



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 THIS DRAWING IS NOT TO BE SCALED.  
 BENCH MARK NO. 01919680138 ELEVATION = 95.06 m  
 ELEVATIONS ARE GEODETIC, REFERRED TO CITY OF OTTAWA VERTICAL BENCH MARK NO. 396 (01919680138), HAVING AN ELEVATION OF 95.06 METRES.  
 COORDINATES ARE DERIVED FROM CANMET 2018 REAL TIME NETWORK GPS OBSERVATIONS REFERENCED TO SPECIFIED CONTROL POINTS 01919680100 AND 019484571. MTM ZONE 9 (18°30' WEST LONGITUDE) (NAD83) (ORIGINAL).

**ISSUED FOR - REVISION**

NO.	DATE	DESCRIPTION
8	2024-08-19	RE-ISSUED FOR SPA
7	2024-02-08	REVISED AS PER CITY COMMENTS
6	2024-02-05	REVISED AS PER CITY COMMENTS
5	2023-12-18	REVISED AS PER CITY COMMENTS
4	2023-11-24	REVISED AS PER CITY COMMENTS
3	2023-05-25	REVISED AS PER CITY COMMENTS
2	2022-08-15	ISSUED FOR SPA
1	2022-05-24	ISSUED FOR CLC REVIEW

**PROJECT NO:** 221-04473-00 **DATE:** AUGUST 2024

**ORIGINAL SCALE:** 1:150 **IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.**

**DESIGNED BY:** DY

**DRAWN BY:** JT

**CHECKED BY:** DY

**DISCIPLINE:** CIVIL

**TITLE**  
 GRANDING PLAN - BUILDING 3

**SHEET NUMBER:** C203

**SHEET #** OF **REV #**

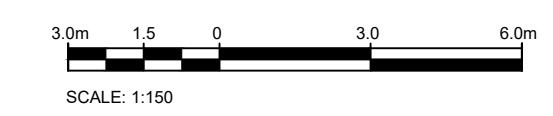
**ISSUE:** RE-ISSUED FOR SPA **REV #** 0

**DATE OF:** 2024-08-19

NOTE: BUILDING DECK DRAINS TO CONNECT TO INTERNAL BUILDING PLUMBING REFER TO MECHANICAL DWG FOR DETAILS.

ROAD CUT AS PER CITY STD R10. ROAD TO BE REINSTATED TO EQUAL OR BETTER THAN ORIGINAL CONDITION.

ROAD CUT AS PER CITY STD R10. ROAD TO BE REINSTATED TO EQUAL OR BETTER THAN ORIGINAL CONDITION.



V:\10-13\ME 2022\Projects\221-04473-00 - 1000-1500 Tawadina St - Wateridge 14.00 Civil\Working drawings\Working drawings\Building 3 - 1000-1500 Tawadina St - Wateridge 14.00 Civil\3. Drawing\Working drawings\Building 3 - 1000-1500 Tawadina St - Wateridge 14.00 Civil.dwg Aug 19, 2024 4:23pm BY: (AUT)71412

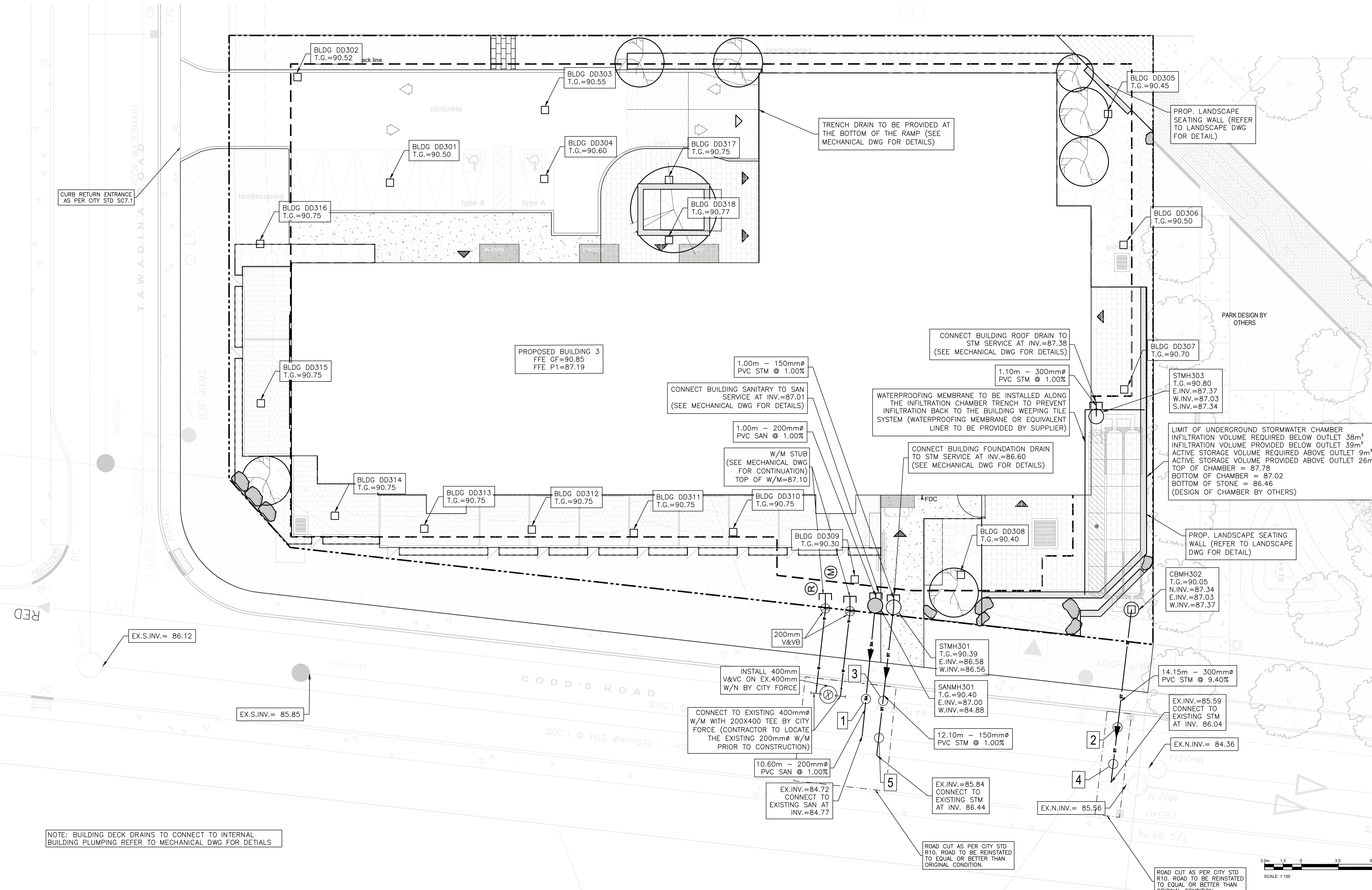
STORM STRUCTURE TABLE														
STRUCTURE ID	AREA ID	TOP OF GRATE	STRUCTURE INFO				COVER	OUTLET PIPE INFO		ICD INFO				
			INLET	INLET	INLET	OUTLET		DIAMETER	TYPE	HEAD (m)	FLOW (l/s)	ICD TYPE		
BUILDING 3														
STMH301		90.39			86.580	86.560	1200mm DIA.	OPSD 701.010	S24.1	150	PVC SDR-35			
STMH303		90.80		87.370	87.340	87.030	1200mm DIA.	OPSD 701.010	S24.1	300	PVC SDR-35			
CBMH302		90.05		87.370	87.340	87.030	1200mm DIA.	OPSD 701.010	S28.1	300	PVC SDR-35			

SAN STRUCTURE TABLE							
STRUCTURE ID	TOP OF GRATE ELEVATION	INVERT	INLET		OUTLET	SIZE	COVER
			INLET	INLET			
BUILDING 3							
SANMH301	90.40		84.900	84.880	1200mm DIA.	OPSD-701.010	S24

BUILDING 3										
1	200mmØ PVC SAN	Obvert		2.320	Clearance Under	Invert		EX.400mmØ WM		
		85.000	84.800			87.720	87.320			
2	300mmØ PVC STM	86.425	86.125	0.385	Clearance Under	87.210	86.810	EX.400mmØ WM		
3	150mmØ PVC STM	86.639	86.489	0.641	Clearance Under	87.680	87.280	EX.400mmØ WM		
4	300mmØ PVC STM	86.143	85.843	1.178	Clearance Over	84.664	84.414	EX.250mmØ PVC SAN		
5	150mmØ PVC STM	86.609	86.459	1.068	Clearance Over	85.391	85.141	EX.250mmØ PVC SAN		

\*Note: Provide Concrete Encased for crossing clearance less than 0.3m

WATERMAIN SCHEDULE					
STATION	DESCRIPTION	FINISHED GRADE	TOP OF WATERMAIN	AS-BUILT WATERMAIN	COVER
BUILDING 3					
0+000	W/M STUB	90.20	87.100		3.10
0+003.55	200mm VB	90.41	88.010		2.40
0+010.50	Connect to ex. 400mm W/M with TEE	90.17	87.770		2.40
1+000	W/M STUB	90.41	87.100		3.31
1+003.79	200mm VB	90.38	87.980		2.40
1+010.72	Connect to ex. 400mm W/M with TEE	90.15	87.750		2.40





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---



LICENCED PROFESSIONAL ENGINEER  
D. B. YANG  
100230568  
2024-08-19  
PROVINCE OF ONTARIO



NORTH

---

**BG BAYVIEW GROUP**

---

CLIENT REF #  
PROJECT  
**WATERIDGE APARTMENTS BUILDINGS**  
375 CODD'S ROAD AND  
1345 HEMLOCK ROAD,  
OTTAWA, ON

---

KEY PLAN




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BENCH MARK No. 0191968130 ELEVATION = 92.06 m  
ELEVATIONS ARE GEODETIC, REFERRED TO CITY OF OTTAWA VERTICAL BENCH MARK No. 396 (PROPRIETARY), HAVING AN ELEVATION OF 86.08 METRES.  
COORDINATES ARE DERIVED FROM CANMET 2011 REAL TIME NETWORK GPS OBSERVATIONS REFERENCED TO SPECIFIED CONTROL POINTS 0191968105 AND 0191968101, MTM ZONE 9 (18°30' WEST LONGITUDE) (NAD83) ORIGINAL.

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ISSUED FOR - REVISION	NO.	DATE	DESCRIPTION
8	2024-08-19	RE-ISSUED FOR SPA	
7	2024-02-08	REVISED AS PER CITY COMMENTS	
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5	2023-12-18	REVISED AS PER CITY COMMENTS	
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3	2023-05-25	REVISED AS PER CITY COMMENTS	
2	2022-08-15	ISSUED FOR SPA	
1	2022-05-24	ISSUED FOR CLC REVIEW	

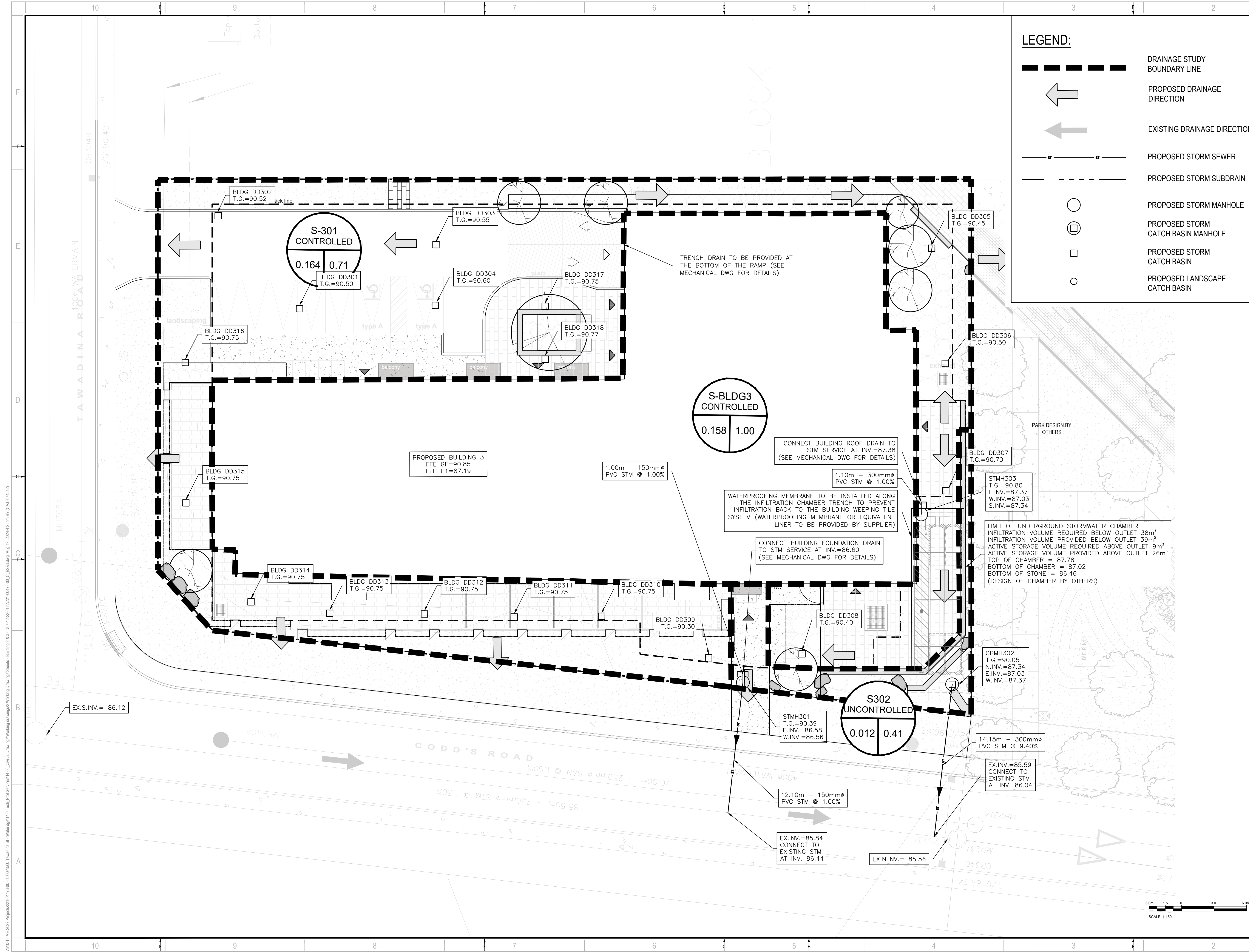
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IS	RE	DATE	DESCRIPTION
PROJECT NO:	221-04473-00	DATE:	AUGUST 2024
ORIGINAL SCALE:	1:150	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.	
DESIGNED BY:	DY	CHECKED BY:	DY
DRAWN BY:	JT	DISCIPLINE:	CIVIL
TITLE:	SERVICING - BUILDING 3		
SHEET NUMBER:	C205	REV #	0
ISSUE:	RE-ISSUED FOR SPA	DATE OF:	2024-08-19

V10-13.ME 2022 Project: 221-04473-00 - 1000-1500 Treadwell St. - Wateridge 14.00 - Civil 3 - Drawing: Working drawings 2 Working Drawings - Building 2 & 3 - D07-12-22-0122-00173-00 - C. B333.dwg Aug 19, 2024 4:24pm BY: CAUTOT/4912

D07-12-22-0122





**LEGEND:**

- DRAINAGE STUDY BOUNDARY LINE
- PROPOSED DRAINAGE DIRECTION
- EXISTING DRAINAGE DIRECTION
- PROPOSED STORM SEWER
- PROPOSED STORM SUBDRAIN
- PROPOSED STORM MANHOLE
- PROPOSED STORM CATCH BASIN MANHOLE
- PROPOSED STORM CATCH BASIN
- PROPOSED LANDSCAPE CATCH BASIN

**wsp**  
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**MATAJ ARCHITECTS INC.**  
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**LICENCED PROFESSIONAL ENGINEER**  
 D. B. YANG  
 100230568  
 2024-08-19  
 PROVINCE OF ONTARIO

**BG BAYVIEW GROUP**

**CLIENT REF #**  
**PROJECT:**  
 WATERIDGE APARTMENTS BUILDINGS  
 375 CODD'S ROAD AND  
 1345 HEMLOCK ROAD,  
 OTTAWA, ON

**KEY PLAN**

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 THIS DRAWING IS NOT TO BE SCALED.  
 BENCHMARK No. 0191968130 ELEVATION = 55.06 m  
 ELEVATIONS ARE GEODETIC, REFERRED TO CITY OF OTTAWA VERTICAL BENCHMARK No. 396 (1999/98) (8), HAVING AN ELEVATION OF 86.08 METRES.  
 COORDINATES ARE DERIVED FROM CANMET 2011 REAL TIME NETWORK GPS OBSERVATIONS REFERENCED TO SPECIFIED CONTROL POINTS 0191968100 AND 0191968101, MTM ZONE 9 (18°30' WEST LONGITUDE) (NAD83) (ORIGINAL).

**ISSUED FOR - REVISION**

IS	RE	DATE	DESCRIPTION
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2	2022-08-15	ISSUED FOR SPA	
1	2022-05-24	ISSUED FOR CLC REVIEW	

**PROJECT NO:** 221-04473-00  
**ORIGINAL SCALE:** 1:150  
**DESIGNED BY:** DY  
**DRAWN BY:** JT  
**CHECKED BY:** DY  
**DATE:** AUGUST 2024  
 IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.

**DISCIPLINE:** CIVIL  
**TITLE:** RESIDENTIAL DEVELOPMENT STORM DRAINAGE PLAN BUILDING 3  
**SHEET NUMBER:** C209  
**ISSUE:** RE-ISSUED FOR SPA  
**DATE OF:** 2024-08-19  
**REV #:** 0

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D07-12-22-0122