

280 LAURIER AVE. E.

SITE PLAN OF SURVEY LOT 5 AND PART OF LOT 6 (SOUTH LAURIER AVENUE) REGISTERED PLAN 14349, CITY OF OTTAWA

SURVEY INFO TAKEN FROM LOT 5 AND PART OF LOT 6 (SOUTH LAURIER AVENUE) REGISTERED PLAN 14349, CITY OF OTTAWA

PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEK LTD. COMPLETED FEBRUARY 5, 2021

RAUD (2807): RESIDENTIAL FOURTH DENSITY ZONE (SEC. 161-162) CITY OF OTTAWA; DWELLING TYPE: NEW ADDITION TO EXISTING 6 STOREY MID RISE APARTMENT BUILDING (RENTALS)

ZONING MECHANISMS	REQUIREMENT	PROVIDED	NOTES
A) MINIMUM LOT AREA	450 m <sup>2</sup>	895.5 m <sup>2</sup>	
B) MINIMUM LOT WIDTH	15 m	27.95 m	
C) MINIMUM LOT DEPTH	N/A	32 m	
D) MINIMUM FRONT YARD SET BACK	AVERAGE (4.5m+4.01m) / 2 = 4.255m	4.25 m	
E) MINIMUM CORNER YARD SET BACK	AVERAGE (3m+0m) / 2 = 1.5m	0 m (EXISTING)	
F) MINIMUM INTERIOR SIDE YARD SETBACK	1.5 m	1.5 m	
G) MINIMUM REAR YARD SET BACK	8 m	6.43 m	BY-LAW 2022-291
H) MINIMUM REAR YARD AREA	25% of 895.5 m <sup>2</sup> = 223.875 m <sup>2</sup>	180.16 m <sup>2</sup>	BY-LAW 2022-291
I) MAXIMUM BUILDING HEIGHT	14.5 m	14.46 m	
J) VEHICLE PARKING (RESIDENTS)	44x0.5=22	0	BY-LAW 2022-291
VEHICLE PARKING (VISITOR)	44x0.1=4.4	0	BY-LAW 2022-291
VEHICLE PARKING (TOTAL)	26.4	0	BY-LAW 2022-291
K) BIKE SPACES	56x0.5=28	30 (STACKED) INDOOR +24 (STACKED) OUTDOOR +3 STANDARD OUTDOOR	

	REQUIREMENT	PROVIDED	EXISTING
L) AMENITY AREA	0	104.2 m <sup>2</sup> @ BACK & 20.8 m <sup>2</sup> BALCONIES TOTAL = 125 m <sup>2</sup>	
M) FRONT YARD, SOFTSCAPING PERCENTAGE	40%	60.8%	
N) REAR YARD, SOFTSCAPING PERCENTAGE	50%	53.6%	

**BUILDING AREA**

FLOOR NAME	EXISTING	PROPOSED ADDITION	TOTAL
BASEMENT	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
GROUND FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
SECOND FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
THIRD FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
FOURTH FLOOR	341 m <sup>2</sup>	193.6 m <sup>2</sup>	534.6 m <sup>2</sup>
FIFTH FLOOR	341 m <sup>2</sup>	0 m <sup>2</sup>	341 m <sup>2</sup>
SIXTH FLOOR	341 m <sup>2</sup>	0 m <sup>2</sup>	341 m <sup>2</sup>
TOTAL	2387 m <sup>2</sup>	968 m <sup>2</sup>	3355 m <sup>2</sup>

	BACHELOR	1 BED	2 BED	3 BED	4 BED	TOTAL
EXISTING BUILDING	28	11	0	0	0	40
PROPOSED NEW UNIT @ EXISTING BUILDING	0	0	0	0	0	0
PROPOSED ADDITION	12	0	2	3	1	18
TOTAL	41	11	2	3	1	58

AVERAGE GRADE: CALCULATED FROM EXISTING ELEVATION POINTS AT A DISTANCE EQUAL TO THE MINIMUM FRONT YARD & REAR YARD SETBACKS, AT THE INTERIOR SIDE PROPERTY LINES

AVERAGE GRADE: 70.045m (69.87m + 70.13m + 69.85m + 70.33m) / 4

**LEGEND**

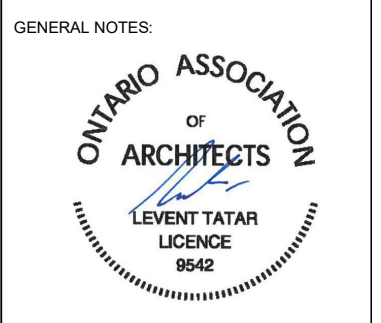
- NEW TREE
- EX. TREE TO REMAIN
- NEW SHRUB
- PROPOSED BUILDING
- EXISTING BUILDING TO REMAIN
- PROPOSED / EXISTING ENTRY / EXIT
- PROPERTY LINE
- DENOTES HARD LANDSCAPING
- DENOTES SOFT LANDSCAPING
- UTILITY POLE
- FIRE HAYDRANT
- EXISTING TREE TO BE REMOVED

**SITE NOTES**

NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES  
EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY  
ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL  
ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)  
EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER  
SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

SITE PLAN  
SCALE: 1:100

**RESPONSIBILITIES:**  
DO NOT SCALE DRAWINGS  
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2015  
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BY-LAWS HAVING JURISDICTION  
IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT DESIGNER  
THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT  
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**280 LAURIER AVE. E.**  
NEW 4 STOREY ADDITION TO EXISTING 6 STOREY BUILDING

**OWNER:** 280 LAURIER AVE EAST HOLDINGS INC. 226 ARCTYLE AVE. OTTAWA, ON K2P 1B9

**DEVELOPER:** SMART LIVING PROPERTIES 226 ARCTYLE AVE. OTTAWA, ON K2P 1B9

**ARCHITECT:** REDLINE ARCHITECTURE INC. 1000 TOWER BL 343 PRESTON ST. SUITE 1000 OTTAWA, ON K1S 1M4

**LANDSCAPING:** JAMES B. LENNOX & ASSOCIATES INC. 3352 CARLING AVE. OTTAWA, ON K2H 5A9

**SURVEYOR:** ACU LTD. 14 CONNORS GATE, SUITE 500 OTTAWA, ON K2E 7S8

**STRUCTURAL ENGINEER:** D&H STRUCTURAL LTD. 333 PRESTON ST SUITE 110, OTTAWA, ON K1S 5N4

**MECHANICAL & ELECTRICAL ENGINEER:** J&N CONSULTANTS 7465 EAST CANBORO CRESCENT MISSISSAUGA, ON L5N 6P6

NO.	REVISION/ISSUE	DATE
2	ISSUED FOR REVISION	02/23/24
1	ISSUED FOR SPA	06/11/23
NO.	REVISION/ISSUE	DATE

PROJECT: 280 LAURIER AVE. E. NEW ADDITION TO EXISTING 6 STOREY BUILDING 280 LAURIER AVE. E. OTTAWA, ON K1N 6P7

SHEET: **A0**

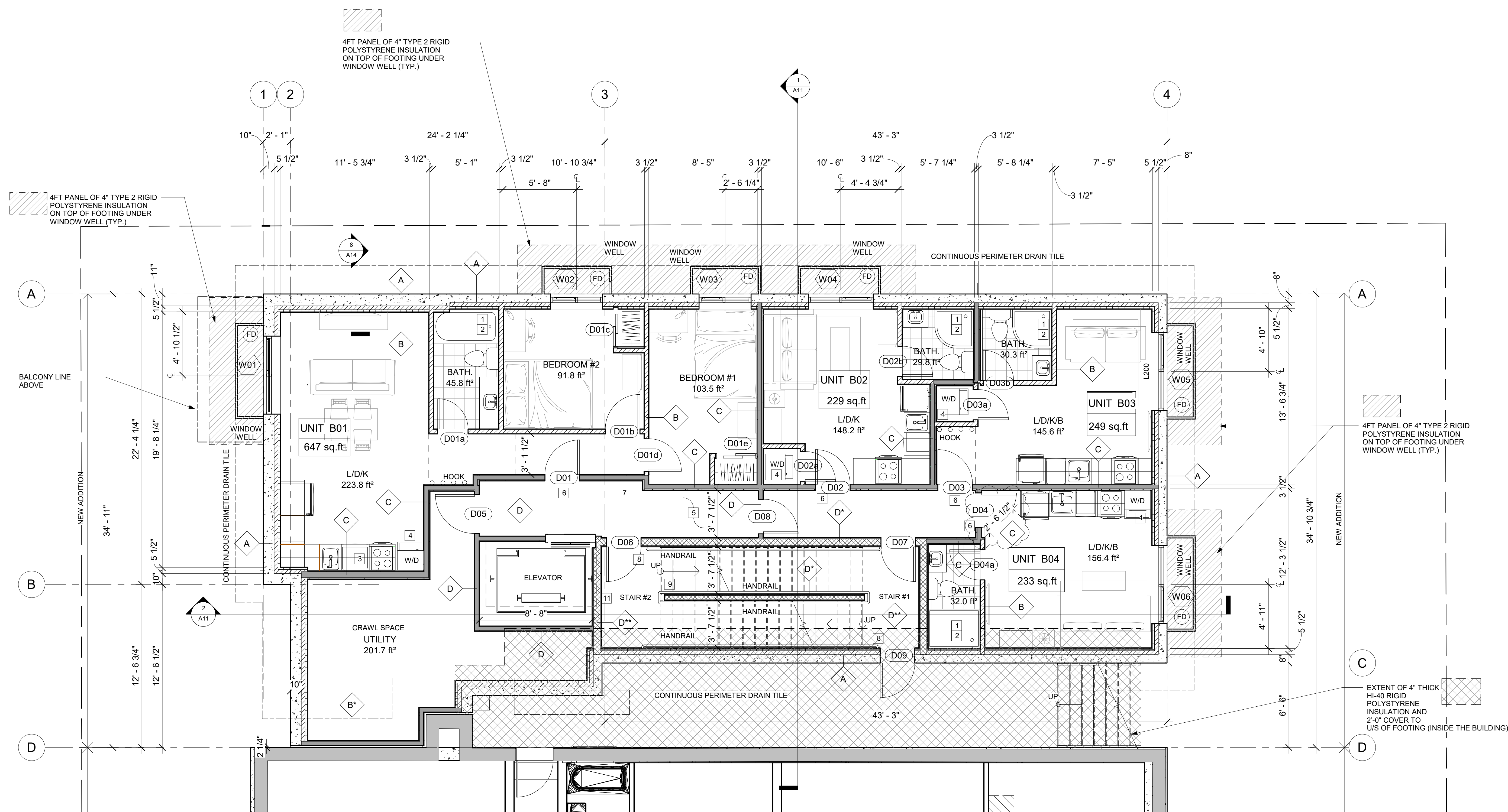
DATE: MARCH 29, 2021  
SCALE: AS NOTED



**RESPONSIBILITIES:**  
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GENERAL NOTES:

**282 LAURIER AVE. E.**  
NEW ADDITION TO  
EXISTING 6 STOREY BUILDING



**1** Basement  
1/4" = 1'-0"

**WALL LEGEND**

- 1.5 HR FRR NONCOMBUSTIBLE WALL
- 1HR FRR WALL
- NON FIRE RATED WALL

- DIM\* PROVIDE MIN. 1100mm CLEAR WIDTH BETWEEN FINISHED WALL SURFACES (PUBLIC CORRIDORS)
- ROUGH OPENINGS FOR WINDOWS, SEE WINDOW SHOP DRAWINGS
- PLAN NOTES, SEE PLAN CONST. LEGEND /A1

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"  
IF STEEL / WOOD POSTS AND BEAMS ARE UNPROTECTED, WRAP WITH 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.

CONSULTANTS		
STRUCTURAL -	MDV	
MECHANICAL -		
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PROJECT:		
280 LAURIER AVE. E.		
NEW ADDITION TO		
EXISTING 6 STOREY BUILDING		
280 LAURIER AVE. E.		
OTTAWA, ON K1N 6P7		
FLOOR PLANS		
DRAWN BY:	SHEET:	
DATE: MARCH 29, 2021	<b>A2</b>	
SCALE: AS NOTED		

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**280 LAURIER AVE. E.**  
 NEW 4 STOREY ADDITION TO  
 EXISTING 6 STOREY BUILDING

**OWNER:**  
 280 LAURIER AVE EAST HOLDINGS INC.  
 226 ARCYLE AVE.  
 OTTAWA, ON K2P 1B9

**DEVELOPER:**  
 SMART LIVING PROPERTIES  
 226 ARCYLE AVE.  
 OTTAWA, ON K2P 1B9

**ARCHITECT:**  
 REDLINE ARCHITECTURE INC.  
 J.L. RICHARDS & ASSOCIATES LIMITED  
 TOWER #1, 343 PRESTON ST.  
 SUITE 1000  
 OTTAWA, ON K1S 1M4

**LANDSCAPING:**  
 JAMES B. LENNOX & ASSOCIATES INC.  
 3352 CARLING AVE.  
 OTTAWA, ON K2H 5A9

**SURVEYOR:**  
 ACQU LTD.  
 14 CONNORS GATE, SUITE 500  
 OTTAWA, ON K2E 7S8

**STRUCTURAL ENGINEER:**  
 CHA STRUCTURAL LTD.  
 333 PRESTON ST SUITE 110,  
 OTTAWA, ON K1S 5M4

**MECHANICAL & ELECTRICAL ENGINEER:**  
 JAY CONSULTANTS  
 7465 EAST DANBRO CRESCENT  
 MISSISSAUGA, ON L5N 6P6

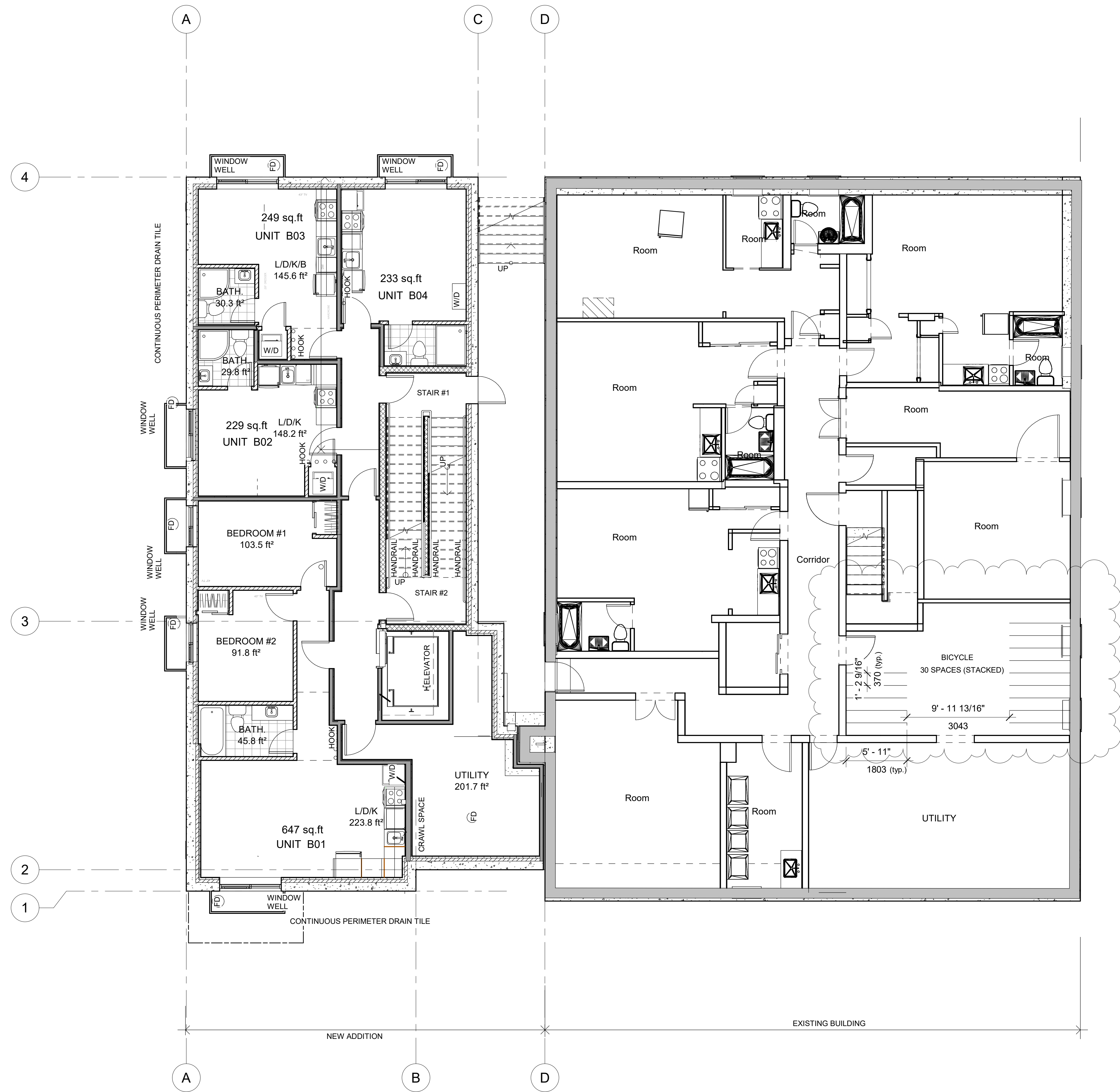
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2	ISSUED FOR REVISION	02/23/24
1	ISSUED FOR SPA	06/11/23

**PROJECT:**  
 282 LAURIER AVE. E.  
 NEW ADDITION TO  
 EXISTING 6 STOREY BUILDING  
 282 LAURIER AVE. E.  
 OTTAWA, ON K1N 6P7

**FLOOR PLANS**

DRAWN BY: SHEET:  
 DATE: MARCH 29, 2021  
 SCALE: AS NOTED

**A2**



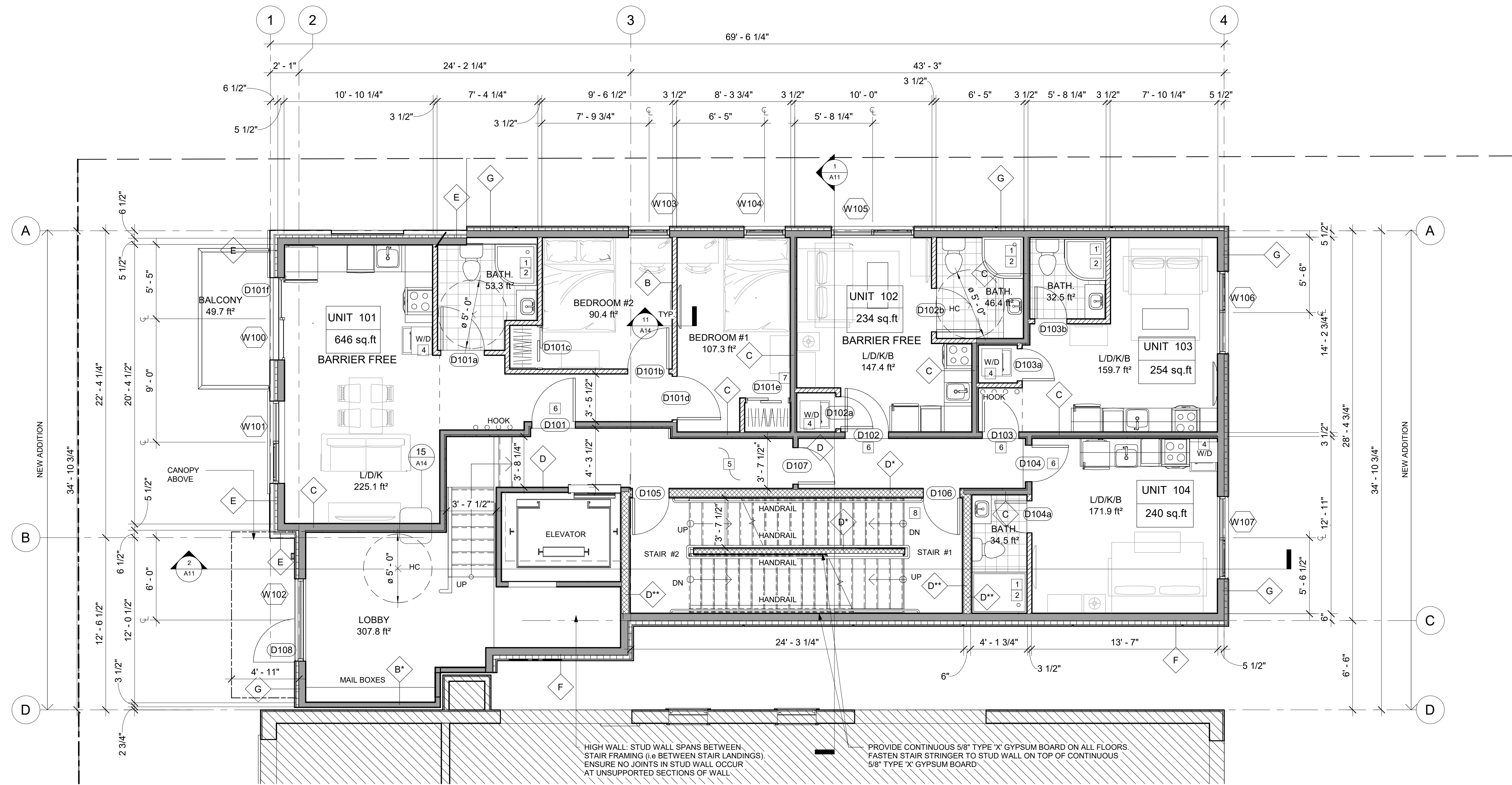
**1** Basement.  
 3/16" = 1'-0"



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GENERAL NOTES:

**280 LAURIER AVE. E.**  
NEW ADDITION TO  
EXISTING 6 STOREY BUILDING



**1** Ground Floor  
1/4" = 1'-0"

- WALL LEGEND**
- 1.5 HR FRR NONCOMBUSTIBLE WALL
  - 1HR FRR WALL
  - NON FIRE RATED WALL

- DIM\*** PROVIDE MIN. 1100mm CLEAR WIDTH BETWEEN FINISHED WALL SURFACES (PUBLIC CORRIDORS)
- ROUGH OPENINGS FOR WINDOWS, SEE WINDOW SHOP DRAWINGS
- PLAN NOTES, SEE PLAN CONST. LEGEND /A1

ALL BEAMS ARE FLUSH TO THE FLOOR JOIST UNLESS NOTED AS "DROPPED"  
IF STEEL / WOOD POSTS AND BEAMS ARE UNPROTECTED, WRAP WITH 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.

CONSULTANTS		
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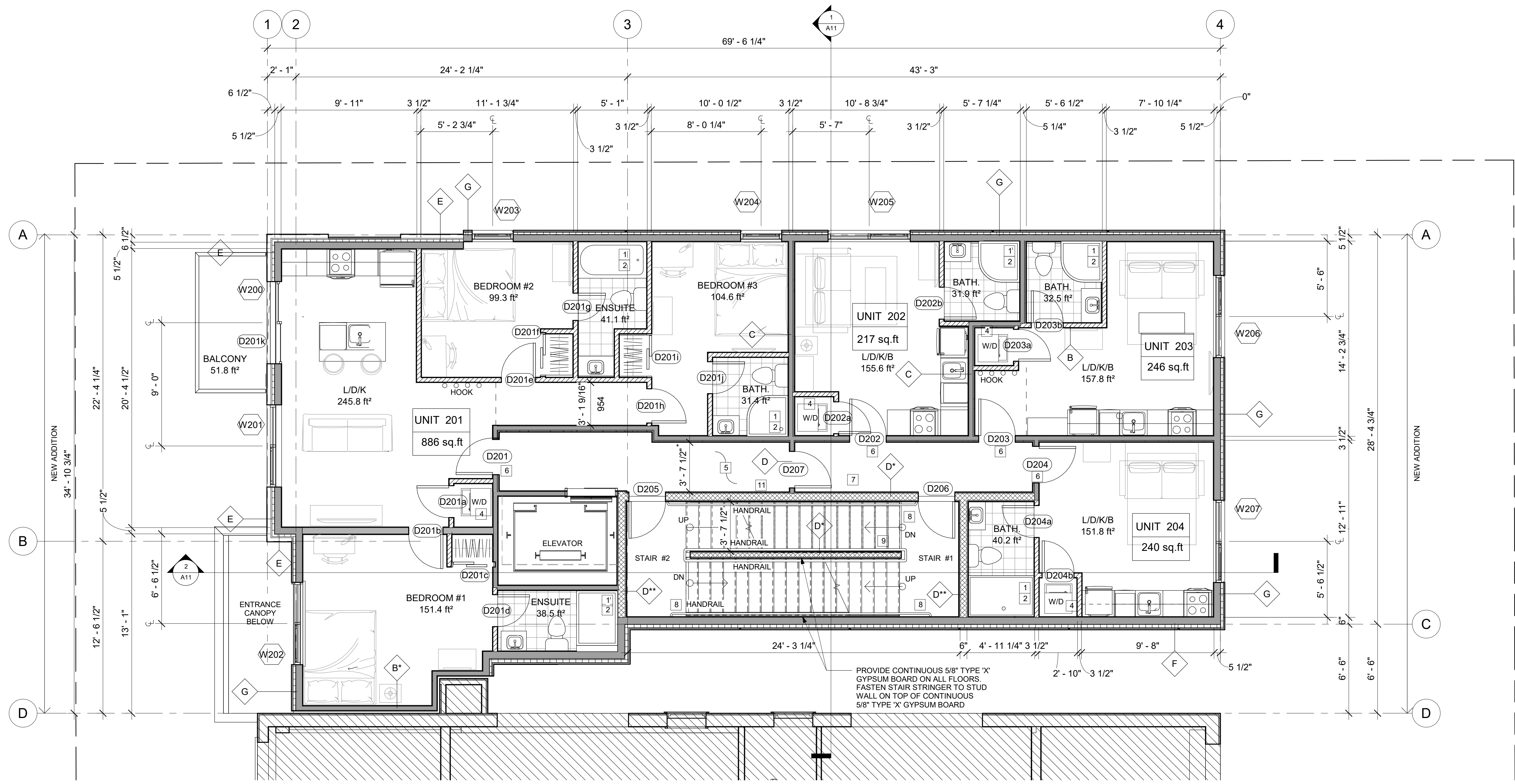
PROJECT: 280 LAURIER AVE. E.  
NEW ADDITION TO EXISTING 6 STOREY BUILDING  
280 LAURIER AVE. E.  
OTTAWA, ON K1N 6P7

FLOOR PLANS

DRAWN BY: DATE: MARCH 29, 2021 SCALE: AS NOTED SHEET: **A3**

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GENERAL NOTES:



**1 Second Floor**  
 1/4" = 1'-0"

**WALL LEGEND**

- 1.5 HR FRR NONCOMBUSTIBLE WALL
- 1HR FRR WALL
- NON FIRE RATED WALL

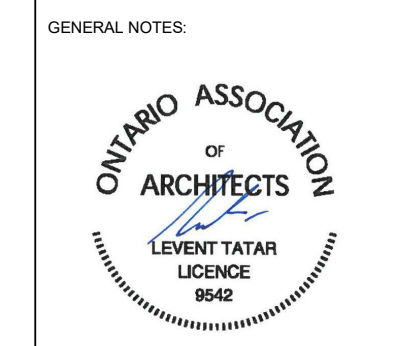
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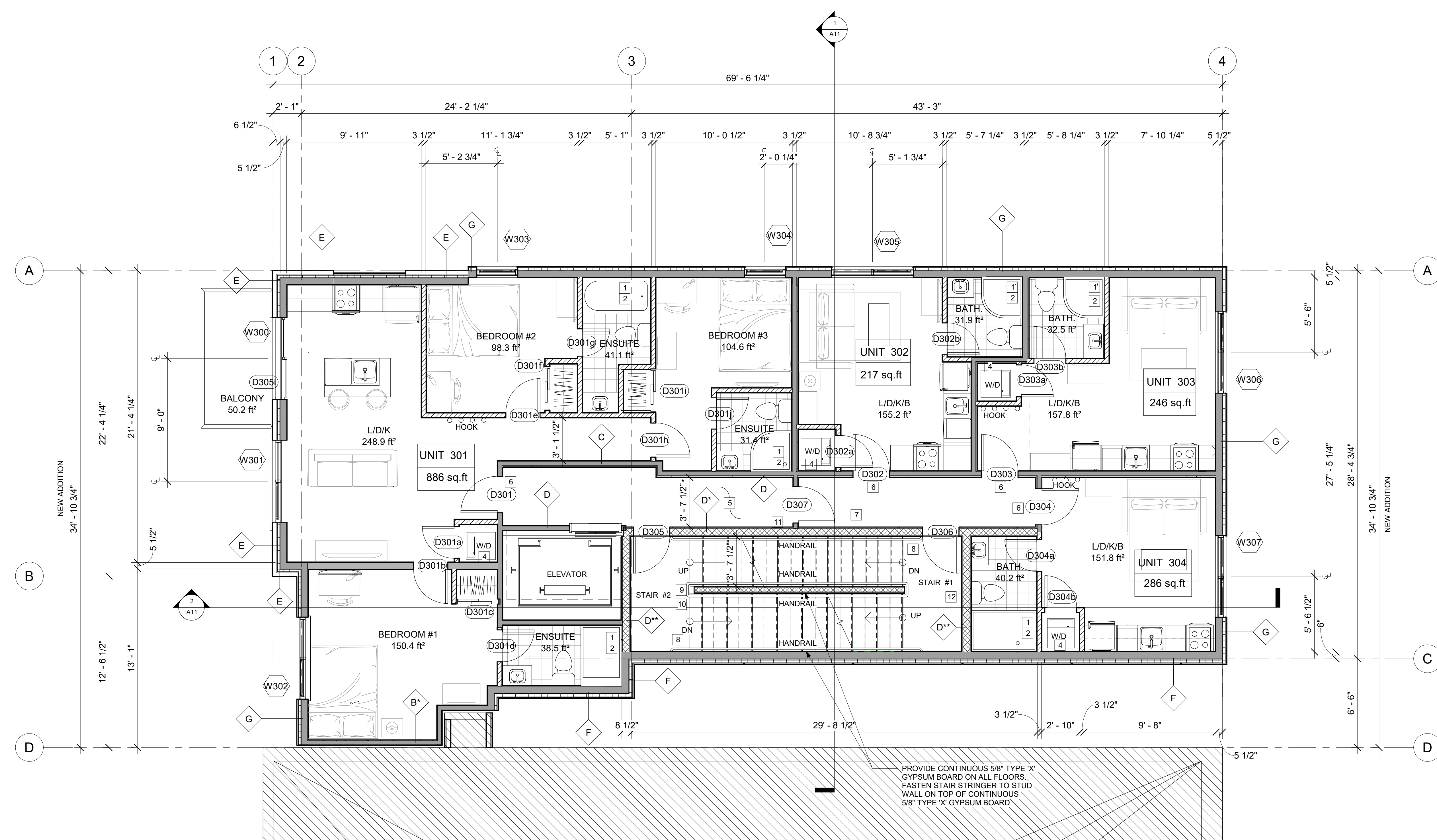
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PROJECT: 282 LAURIER AVE. E. NEW ADDITION TO EXISTING 6 STOREY BUILDING 282 LAURIER AVE. E. OTTAWA, ON K1N 6P7		
FLOOR PLANS		
DRAWN BY:	SHEET:	
DATE: MARCH 29, 2021		<b>A4</b>
SCALE: AS NOTED		



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**280 LAURIER AVE. E.**  
 NEW ADDITION TO  
 EXISTING 6 STOREY BUILDING



**1** Third Floor.  
 1/4" = 1'-0"

- WALL LEGEND**
- 1.5 HR FRR NONCOMBUSTIBLE WALL
  - 1HR FRR WALL
  - NON FIRE RATED WALL

- DIM\*** PROVIDE MIN. 1100mm CLEAR WIDTH BETWEEN FINISHED WALL SURFACES (PUBLIC CORRIDORS)
- ROUGH OPENINGS FOR WINDOWS, SEE WINDOW SHOP DRAWINGS
- PLAN NOTES, SEE PLAN CONST. LEGEND /A1

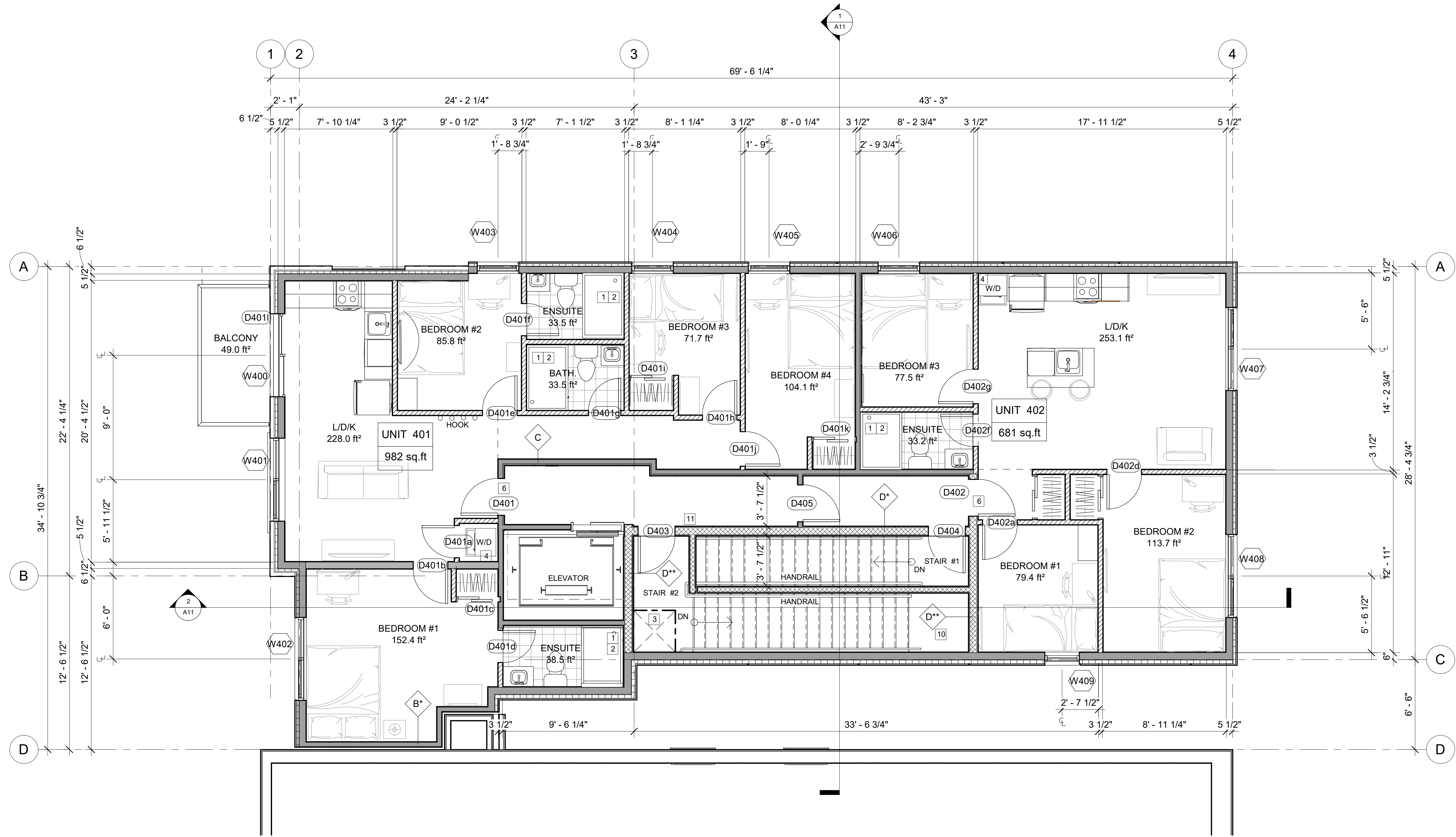
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**IF STEEL / WOOD POSTS AND BEAMS ARE UNPROTECTED, WRAP WITH 2 LAYERS OF 5/8" TYPE "X" GYPSUM BOARD.**

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PROJECT:	
280 LAURIER AVE. E. NEW ADDITION TO EXISTING 6 STOREY BUILDING 280 LAURIER AVE. E. OTTAWA, ON K1N 6P7	
FLOOR PLANS	
DRAWN BY:	SHEET:
DATE: MARCH 29, 2021	<b>A5</b>
SCALE: AS NOTED	

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GENERAL NOTES:

**280 LAURIER AVE. E.**  
NEW ADDITION TO  
EXISTING 6 STOREY BUILDING



**1** Fourth Floor  
1/4" = 1'-0"

- WALL LEGEND**
- 1.5 HR FRR NONCOMBUSTIBLE WALL
  - 1HR FRR WALL
  - NON FIRE RATED WALL

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- PLAN NOTES, SEE PLAN CONST. LEGEND /A1**

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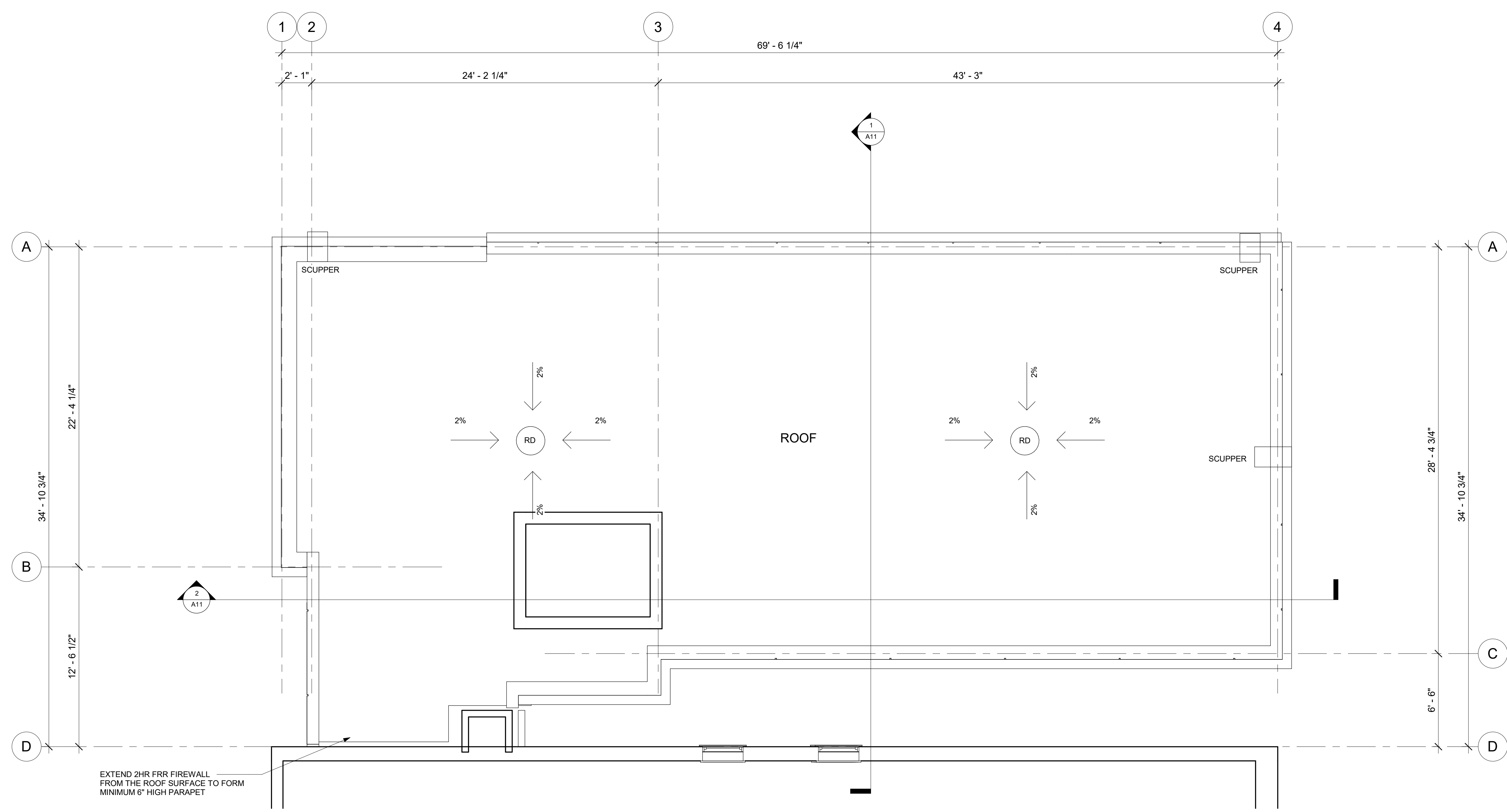
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PROJECT: **280 LAURIER AVE. E.**  
NEW ADDITION TO  
EXISTING 6 STOREY BUILDING  
280 LAURIER AVE. E.  
OTTAWA, ON K1N 6P7

FLOOR PLANS

DRAWN BY: SHEET: **A6**  
DATE: MARCH 29, 2021  
SCALE: AS NOTED

**280 LAURIER AVE. E.**  
 NEW ADDITION TO  
 EXISTING 6 STOREY BUILDING



**3** Roof  
 1/4" = 1'-0"

**WALL LEGEND**

	1.5 HR FRR NONCOMBUSTIBLE WALL
	1HR FRR WALL
	NON FIRE RATED WALL

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**CONSULTANTS**

STRUCTURAL	
MECHANICAL	
ELECTRICAL	

NO. REVISION/ISSUE DATE

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PROJECT: **280 LAURIER AVE. E.**  
 NEW ADDITION TO  
 EXISTING 6 STOREY BUILDING  
 280 LAURIER AVE. E.  
 OTTAWA, ON K1N 6P7

FLOOR PLANS

DRAWN BY: \_\_\_\_\_ SHEET: \_\_\_\_\_  
 DATE: MARCH 29, 2021  
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**MATERIAL LEGEND & NOTES**

- 1 BRICK VENEER
- 2 CEMENT BOARD



1 Front (North) Elevation  
3/16" = 1'-0"

**280 LAURIER AVE. E.**  
NEW 4 STOREY ADDITION TO  
EXISTING 6 STOREY BUILDING

**OWNER:**  
280 LAURIER AVE EAST HOLDINGS INC.  
226 ARGYLE AVE.  
OTTAWA, ON K2P 1B9

**DEVELOPER:**  
SMART LIVING PROPERTIES  
226 ARGYLE AVE.  
OTTAWA, ON K2P 1B9

**ARCHITECT:**  
REDLINE ARCHITECTURE INC.

**CIVIL ENGINEER:**  
J.L. RICHARDS & ASSOCIATES LIMITED  
TOWER II, 343 PRESTON ST.  
SUITE 1000  
OTTAWA, ON K1S 1M4

**LANDSCAPING:**  
JAMES B. LENNOX & ASSOCIATES INC.  
3352 CARLING AVE.  
OTTAWA, ON K2H 5A9

**SURVEYOR:**  
ACU LTD.  
14 CONCOURSE GATE, SUITE 500  
OTTAWA, ON K2E 7S8

**STRUCTURAL ENGINEER:**  
D&H STRUCTURAL LTD.  
333 PRESTON ST SUITE 110,  
OTTAWA, ON K1S 5M4

**MECHANICAL & ELECTRICAL ENGINEER:**  
JAN CONSULTANTS  
7465 EAST DANBRO CRESCENT  
MISSISSAUGA, ON L5N 6P6

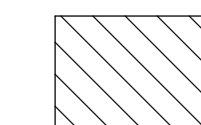
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2	ISSUED FOR REVISION	02/23/24
1	ISSUED FOR SPA	08/11/23

PROJECT:  
**280 LAURIER AVE. E.**  
NEW ADDITION TO  
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280 LAURIER AVE. E.  
OTTAWA, ON K1N 6P7



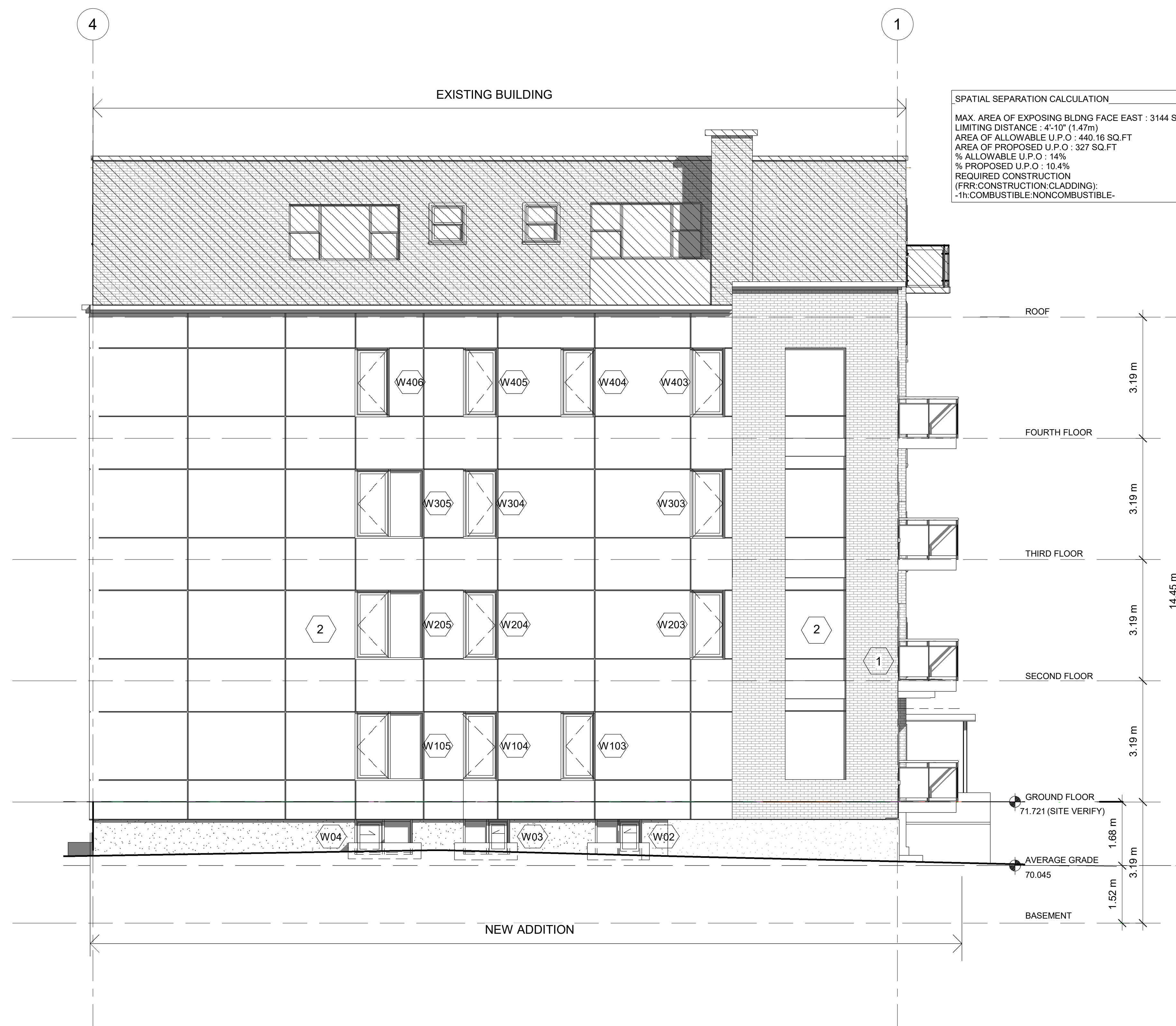
MATERIAL LEGEND & NOTES

- 1 BRICK VENEER
- 2 CEMENT BOARD



EXISTING BUILDING TO REMAIN

**SPATIAL SEPARATION CALCULATION**  
 MAX. AREA OF EXPOSING BLDG FACE EAST : 3144 SQ.FT  
 LIMITING DISTANCE : 4'-10" (1.47m)  
 AREA OF ALLOWABLE U.P.O : 440.16 SQ.FT  
 AREA OF PROPOSED U.P.O : 327 SQ.FT  
 % ALLOWABLE U.P.O : 14%  
 % PROPOSED U.P.O : 10.4%  
 REQUIRED CONSTRUCTION (FRR-CONSTRUCTION-CLADDING):  
 -1h-COMBUSTIBLE-NONCOMBUSTIBLE-



1 Side ( East) Elevation  
3/16" = 1'-0"

**RESPONSIBILITIES:**  
 DO NOT SCALE DRAWINGS  
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 1917  
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER  
 THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT  
 COPYRIGHT RESERVED



**280 LAURIER AVE. E.**  
 NEW 4 STOREY ADDITION TO  
 EXISTING 6 STOREY BUILDING

**OWNER:**  
280 LAURIER AVE EAST HOLDINGS INC.  
226 ARGYLE AVE.  
OTTAWA, ON K2P 1B9

**DEVELOPER:**  
SMART LIVING PROPERTIES  
226 ARGYLE AVE.  
OTTAWA, ON K2P 1B9

**ARCHITECT:**  
REDLINE ARCHITECTURE INC.

**CIVIL ENGINEER:**  
J.L. RICHARDS & ASSOCIATES LIMITED  
TOWER B, 343 PRESTON ST.  
SUITE 1000  
OTTAWA, ON K1S 1M4

**LANDSCAPING:**  
JAMES B. LENNOX & ASSOCIATES INC.  
3352 CARLING AVE.  
OTTAWA, ON K2H 5A9

**SURVEYOR:**  
ACU LTD.  
14 CONCOURSE GATE, SUITE 500  
OTTAWA, ON K2E 7S8

**STRUCTURAL ENGINEER:**  
D&H STRUCTURAL LTD  
333 PRESTON ST SUITE 110,  
OTTAWA, ON K1S 5M4

**MECHANICAL & ELECTRICAL ENGINEER:**  
JAN CONSULTANTS  
7465 EAST DANFORD CRESCENT  
MISSISSAUGA, ON L5N 6P6

NO.	REVISION/ISSUE	DATE
9		
8		
7		
6		
5		
4		
3		
2	ISSUED FOR REVISION	02/23/24
1	ISSUED FOR SPA	08/11/23

PROJECT:  
**280 LAURIER AVE. E.**  
 NEW ADDITION TO  
 EXISTING 6 STOREY BUILDING  
 280 LAURIER AVE. E.  
 OTTAWA, ON K1N 6P7



MATERIAL LEGEND & NOTES

- 1 BRICK VENEER
- 2 CEMENT BOARD

 EXISTING BUILDING TO REMAIN

**RESPONSIBILITIES:**  
 DO NOT SCALE DRAWINGS  
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2015  
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
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**280 LAURIER AVE. E.**  
 NEW 4 STOREY ADDITION TO EXISTING 6 STOREY BUILDING

**OWNER:**  
 280 LAURIER AVE EAST HOLDINGS INC.  
 226 ARGYLE AVE.  
 OTTAWA, ON K2P 1B9

**DEVELOPER:**  
 SMART LIVING PROPERTIES  
 226 ARGYLE AVE.  
 OTTAWA, ON K2P 1B9

**ARCHITECT:**  
 REDLINE ARCHITECTURE INC.  
 J.L. RICHARDS & ASSOCIATES LIMITED  
 TOWER B, 343 PRESTON ST.  
 SUITE 1000  
 OTTAWA, ON K1S 1M4

**LANDSCAPING:**  
 JAMES B. LENNOX & ASSOCIATES INC.  
 3352 CARLING AVE.  
 OTTAWA, ON K2H 5A9

**SURVEYOR:**  
 ACQU LTD.  
 14 CONCOURSE GATE, SUITE 500  
 OTTAWA, ON K2E 7S8

**STRUCTURAL ENGINEER:**  
 D&H STRUCTURAL LTD.  
 333 PRESTON ST SUITE 110,  
 OTTAWA, ON K1S 9K4

**MECHANICAL & ELECTRICAL ENGINEER:**  
 JAY CONSULTANTS  
 7465 EAST DANBRO CRESCENT  
 MISSISSAUGA, ON L5N 6P6

NO.	REVISION/ISSUE	DATE
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8		
7		
6		
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2	ISSUED FOR REVISION	02/23/24
1	ISSUED FOR SPA	08/11/23

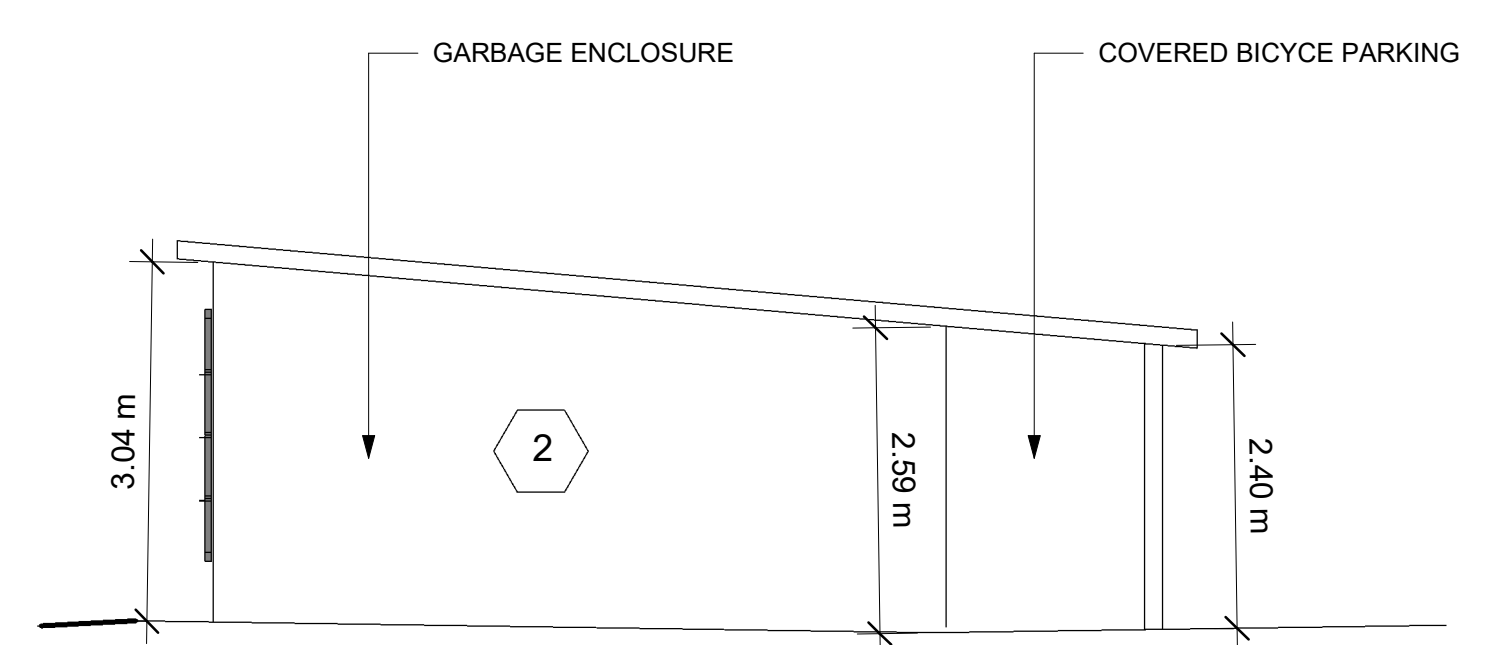
PROJECT:  
**280 LAURIER AVE. E.**  
 NEW ADDITION TO EXISTING 6 STOREY BUILDING  
 280 LAURIER AVE. E.  
 OTTAWA, ON K1N 6P7

**SOUTH ELEVATION**

DRAWN BY: \_\_\_\_\_ SHEET: **A9**  
 DATE: MARCH 21, 2021  
 SCALE: AS NOTED



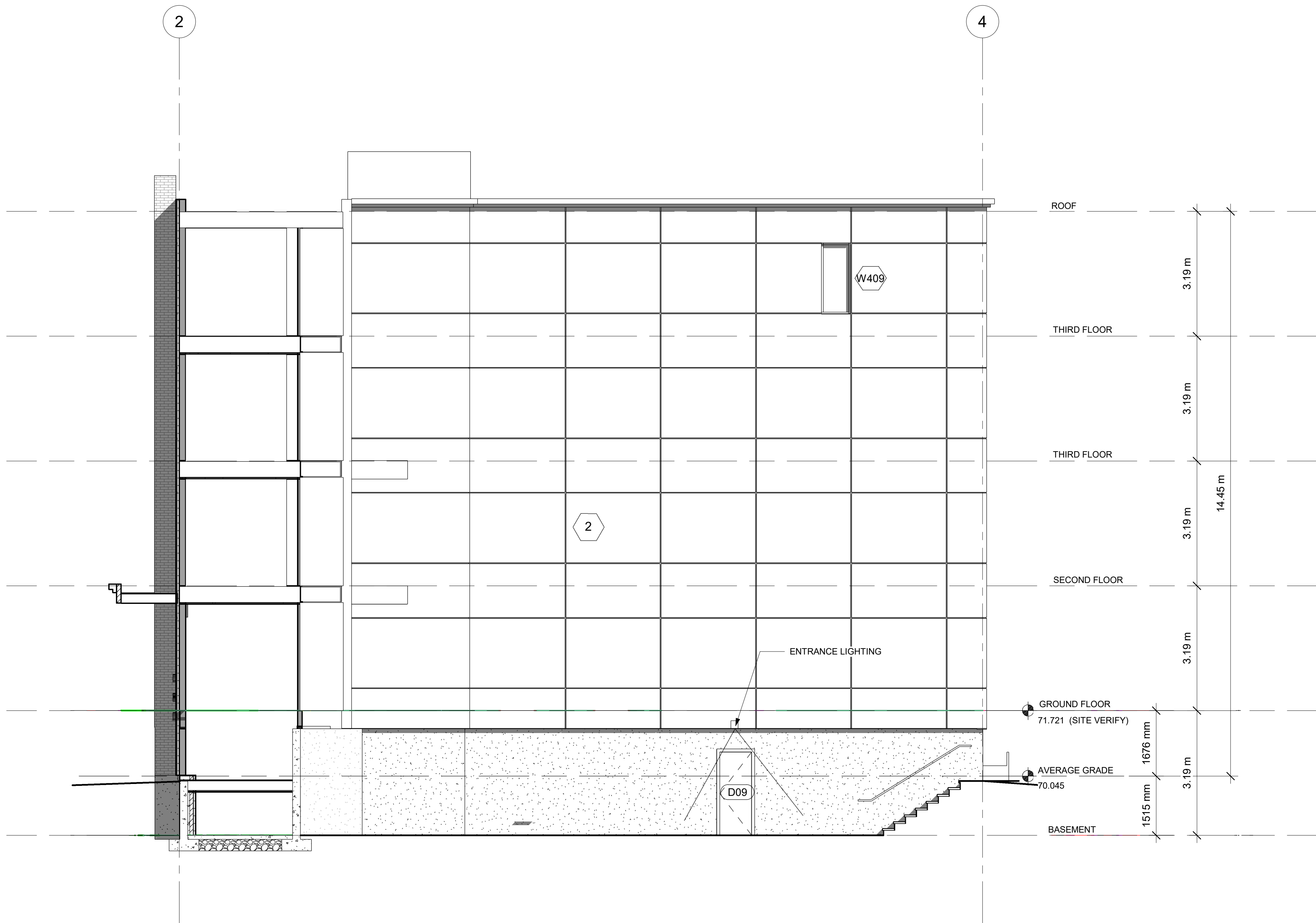
1 Rear ( South) Elevation  
 3/16" = 1'-0"



2 South Elevation-Garbage and Bicycle Enclosure  
 3/16" = 1'-0"



- MATERIAL LEGEND & NOTES**
- 1 BRICK VENEER
  - 2 CEMENT BOARD



1 Side (West) Elevation  
3/16" = 1'-0"

**RESPONSIBILITIES:**  
DO NOT SCALE DRAWINGS  
ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012  
ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
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226 ARGYLE AVE.  
OTTAWA, ON, K2P 1B9

**DEVELOPER:**  
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**ARCHITECT:**  
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PROJECT:  
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OTTAWA, ON K1N 6P7

WEST ELEVATION

DRAWN BY: SHEET:  
DATE: MARCH 21, 2021  
SCALE: AS NOTED

**A10**