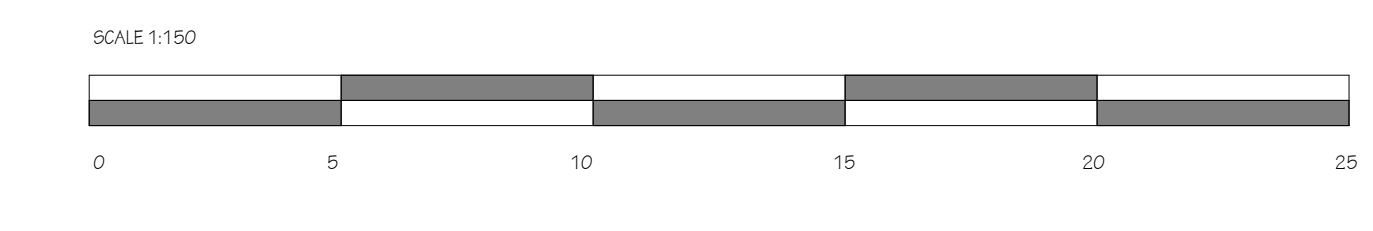


- LEGEND**
- PROPOSED FIRE ROUTE
  - PROPOSED BUILDING
  - BUILDING TO BE DEMOLISHED
  - EXISTING MAN HOLE
  - EXISTING FIRE HYDRANT
  - EXISTING CATCH BASIN
  - EXISTING UTILITY POLE
  - FIRE DEPARTMENT CONNECTION
  - AREA IMPACTED BY ROAD WIDENING EASEMENT
  - EDGE OF SIDEWALK
  - PROPERTY LINE
  - SET BACK
  - DEPRESSED CURB TO CITY OF OTTAWA STANDARD SC-7
  - CONCRETE CURB DETAIL TO CITY OF OTTAWA STANDARD SC-7
  - CONCRETE CURB TO BE REBUILT
  - PARKING GARAGE BELOW
  - ROAD WIDENING EASEMENT
  - PROPOSED WALL MOUNTED LIGHT
  - PROPOSED LIGHT STANDARD



**ZONING NOTES**

CURRENT ZONING: WEST PARCEL L1, EAST PARCEL M(100)

TOTAL LOT AREA: 6,586m<sup>2</sup>  
 LOT AREA DEDICATED TO PARKLAND: 683m<sup>2</sup>  
 LOT AREA TO BE RETAINED: 5,903m<sup>2</sup>

DEVELOPMENT DATA PHASE 1 + PHASE 2

	REQUIRED	PROPOSED
LOT WIDTH (LOT 62)	101.4m	101.4m
LOT DEPTH (LOT 62)	79.3m	79.3m
FRONT YARD SETBACK (SCOTT STREET)	3m	VARIES 2.7m - 7.4m
FRONT YARD SETBACK (ATHLONE AVE)	7.5m	VARIES 6.4m - 18.1m
SIDE YARD SETBACK (ATHLONE AVE)	5m	5.0m
INTERIOR SIDE YARD SETBACK	7.5m	VARIES 6.0m - 11.3m

AMENITY SPACE REQUIREMENTS  
 REQUIRED AMENITY SPACE: 6m<sup>2</sup> REQUIRED PER UNIT  
 856 UNITS 6m<sup>2</sup> = 5,136m<sup>2</sup> TOTAL AMENITY REQUIRED  
 REQUIRED AMENITY SPACE TO BE COMMON: 2,568m<sup>2</sup>  
 PROVIDED AMENITY SPACE TO BE COMMON: 2,568m<sup>2</sup>

**BUILDING A (WEST BUILDING) - PHASE 2**

	REQUIRED	PROPOSED
NO. OF STOREYS	40	40
BUILDING HEIGHT	120m	120m
FRONT YARD SETBACK (SCOTT STREET)	VARIES 2.7 - 7.4m	VARIES 2.7 - 7.4m
FRONT YARD SETBACK (ATHLONE AVE)	7.5m	VARIES 6.4 - 18.1m
INTERIOR SIDE YARD SETBACK	5.0m	5.0m
INTERIOR SIDE YARD SETBACK (ADJACENT TO PARKING GARAGE)	12.2m	12.2m

**BUILDING A (EAST BUILDING) - PHASE 1**

	REQUIRED	PROPOSED
NO. OF STOREYS	40	40
BUILDING HEIGHT	120m	120m
FRONT YARD SETBACK (SCOTT STREET)	VARIES 2.7 - 7.4m	VARIES 2.7 - 7.4m
FRONT YARD SETBACK (ATHLONE AVE)	7.5m	VARIES 6.4 - 18.1m
INTERIOR SIDE YARD SETBACK	5.0m	5.0m
INTERIOR SIDE YARD SETBACK (ADJACENT TO PARKING GARAGE)	12.2m	12.2m

NOTE: ALL EXISTING SITE INFORMATION AND PER TOPOGRAPHICAL SURVEY PLAN DATED MARCH 1, 2022, PREPARED BY SYNTAC GEOMATICS LTD.  
 PART OF LOT 60 AND ALL OF LOTS 61 & 62 REGISTERED PLAN 238 AND PART OF LOT 51 CONCESSION 1 (OTTAWA FRONT), (GEOGRAPHIC TOWNSHIP OF NEPEAN)

**WEST BUILDING - PHASE 2**

	REQUIRED	PROPOSED
TOTAL UNIT COUNT	464	464
STUDIOS	38	17%
1 BEDROOM	157	42%
1 BEDROOM + DEN	17	4%
2 BEDROOM (INTERNAL)	50	2%
2 BEDROOM	147	32%
2 BEDROOM + DEN	8	2%
3 BEDROOM + DEN	7	2%

MAXIMUM HEIGHT: 120m  
 NUMBER OF STOREYS: 40  
 AREA - BUILDING AREA: 1689 SQ.M.  
 AREA - TYPICAL PODIUM: 1008 SQ.M.  
 AREA - TYPICAL FLOOR: 648 SQ.M.  
 AREA - TOTAL GROSS FLOOR AREA (GFA) - CITY DEFINITION: +/- 34,569 SQ.M.  
 AREA - TOTAL GROSS FLOOR AREA (GFA) - CITY DEFINITION: +/- 31,293 SQ.M.

**EAST BUILDING - PHASE 1**

	REQUIRED	PROPOSED
TOTAL UNIT COUNT	392	392
STUDIOS	88	21%
1 BEDROOM	150	38%
1 BEDROOM + DEN	5	1%
2 BEDROOM (INTERNAL)	8	2%
2 BEDROOM	150	38%
2 BEDROOM + DEN	0	0%
3 BEDROOM + DEN	0	0%

MAXIMUM HEIGHT: 120m  
 NUMBER OF STOREYS: 40  
 AREA - BUILDING AREA: 1361 SQ.M.  
 AREA - TYPICAL PODIUM: 1361 SQ.M.  
 AREA - TYPICAL FLOOR: 730 SQ.M.  
 AREA - TOTAL GROSS FLOOR AREA (GFA) - CITY DEFINITION: +/- 34,569 SQ.M.  
 AREA - TOTAL GROSS FLOOR AREA (GFA) - CITY DEFINITION: +/- 27,286 SQ.M.

BUILDING A - BUILDING B (COMBINED) PARKING REQUIREMENTS: MAXIMUM PARKING = 0.8 PER DWELLING UNIT = 856 x 0.8 = 685 PARKING SPACES MAXIMUM  
 PROVIDED RESIDENTIAL VEHICLE PARKING: 373 RESIDENTIAL PARKING SPACES PROVIDED FOR 856 UNITS (0.57 UNIT)  
 PROVIDED VISITOR PARKING: 60 VISITOR PARKING SPACES PROVIDED FOR 856 UNITS (0.07 UNIT) - MAX. 30 SPACES PER BUILDING - \*LOCATED IN PARKING GARAGE  
 TOTAL PARKING PROVIDED: 373 TOTAL PARKING SPACES PROVIDED (ALL BELOW GRADE)

BUILDING A - BUILDING B (COMBINED) BIKE PARKING REQUIREMENTS: 856 UNITS \* 0.5 = 428  
 PROVIDED BIKE PARKING: 876.44% VERTICAL + 470 HORIZONTAL BIKE PARKING SPACES PROVIDED FOR 81 UNITS (1.07 UNIT) - \*LOCATED IN UNDERGROUND PARKING GARAGE AT GROUND LEVEL (INT. WEST BUILDING)

NOT FOR CONSTRUCTION

NO.	DATE	REVISION
1	240625	ISSUED FOR SITE PLAN CONTROL
2	240412	ISSUED FOR SITE PLAN CONTROL
3	240301	ISSUED FOR SITE PLAN CONTROL
4	240105	ISSUED FOR 30% DRAWING REVIEW

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS.

THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL ISSUED.

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**PROJECT**  
 2026 SCOTT ST  
 2026 SCOTT ST  
**DRAWING TITLE**  
 SITE PLAN

DRAWN	DATE	SCALE
Author	12/21/23	As Indicated

**PROJECT**  
 1997.02  
**DRAWING NO.**  
 A1.00  
**REVISION NO.**  
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