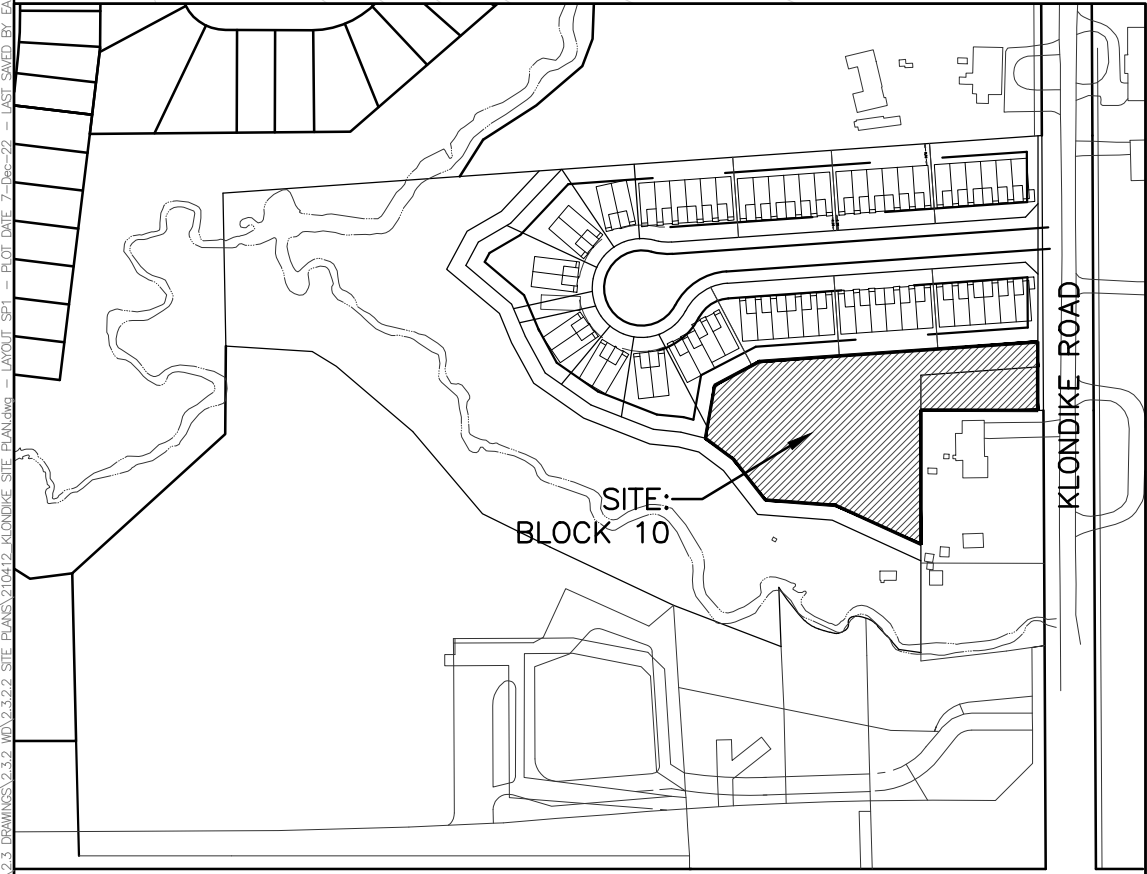
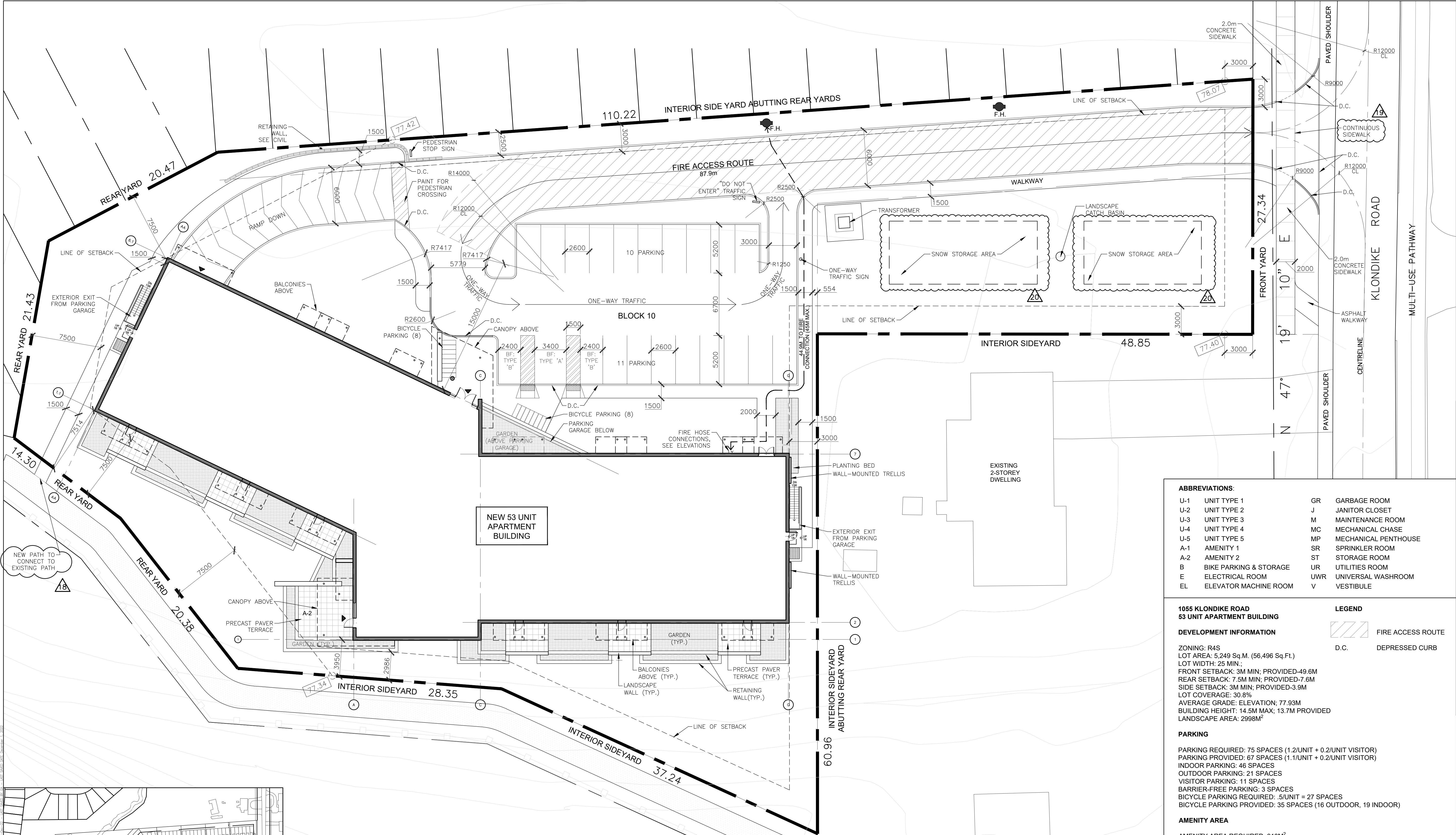


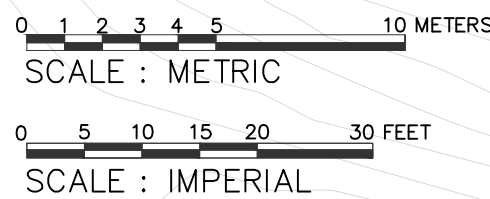


LOCATION PLAN

APPROVED
By Kersten Nitsche at 11:55 am, Jul 16, 2024

Kersten Nitsche

KERSTEN NITSCHKE, MCIP RPP
MANAGER (A), DEVELOPMENT REVIEW WEST
PLANNING, DEVELOPMENT AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA



1 SITE PLAN
1 : 200

ABBREVIATIONS:			
U-1	UNIT TYPE 1	GR	GARBAGE ROOM
U-2	UNIT TYPE 2	J	JANITOR CLOSET
U-3	UNIT TYPE 3	M	MAINTENANCE ROOM
U-4	UNIT TYPE 4	MC	MECHANICAL CHASE
U-5	UNIT TYPE 5	MP	MECHANICAL PENTHOUSE
A-1	AMENITY 1	SR	SPRINKLER ROOM
A-2	AMENITY 2	ST	STORAGE ROOM
B	BIKE PARKING & STORAGE	UR	UTILITIES ROOM
E	ELECTRICAL ROOM	UWR	UNIVERSAL WASHROOM
EL	ELEVATOR MACHINE ROOM	V	VESTIBULE

1055 KLONDIKE ROAD 53 UNIT APARTMENT BUILDING		LEGEND	
DEVELOPMENT INFORMATION			FIRE ACCESS ROUTE
ZONING: R4S LOT AREA: 5,249 Sq.M. (56,496 Sq.Ft.) LOT WIDTH: 25 MIN.; FRONT SETBACK: 3M MIN; PROVIDED-49.6M REAR SETBACK: 7.5M MIN; PROVIDED-7.6M SIDE SETBACK: 3M MIN; PROVIDED-3.9M LOT COVERAGE: 30.8% AVERAGE GRADE: ELEVATION: 77.93M BUILDING HEIGHT: 14.5M MAX; 13.7M PROVIDED LANDSCAPE AREA: 2998M ²		D.C.	DEPRESSED CURB
PARKING			
PARKING REQUIRED: 75 SPACES (1.2/UNIT + 0.2/UNIT VISITOR) PARKING PROVIDED: 67 SPACES (1.1/UNIT + 0.2/UNIT VISITOR) INDOOR PARKING: 46 SPACES OUTDOOR PARKING: 21 SPACES VISITOR PARKING: 11 SPACES BARRIER-FREE PARKING: 3 SPACES BICYCLE PARKING REQUIRED: .5/UNIT = 27 SPACES BICYCLE PARKING PROVIDED: 35 SPACES (16 OUTDOOR, 19 INDOOR)			
AMENITY AREA			
AMENITY AREA REQUIRED: 318M ² AMENITY AREA PROVIDED: 461M ² COMMUNAL AMENITY AREA INDOOR (A1): 107M ² COMMUNAL AMENITY AREA OUTDOOR (A2): 37.1M ² INDIVIDUAL AMENITY AREA(BALCONIES): 246.7M ² (31 BALCONIES) INDIVIDUAL AMENITY AREA (AT-GRADE TERRACES): 83.6M ² (6 AT-GRADE TERRACES)			
PROGRAM			
BUILDING AREA (GROSS) : 5755M ² UNIT AREA (GROSS) : 4267M ² CIRCULATION/ COMMON/ SERVICE AREAS (GROSS): 1396M ² UNDERGROUND GARAGE : 1477M ² GROSS AREA (AS PER BY-LAW) : 5868M ² + 1500M ² (GARAGE FLOOR)			
UNIT BREAKDOWN			
UNIT TYPE	# OF BEDROOMS	# OF UNITS	Sq.METRES (Ft ²)
UNIT 1	2	21	83.9 M ² (904 Ft ²)
UNIT 1 BF	2	7	83.9 M ² (904 Ft ²)
UNIT 2	2	7	91.7 M ² (987 Ft ²)
UNIT 3	2	12	77.8 M ² (838 Ft ²)
UNIT 4	1 + DEN	3	67.0 M ² (721 Ft ²)
UNIT 5	1 + DEN	2	77.6 M ² (835 Ft ²)
UNIT 5 BF	1 + DEN	1	77.6 M ² (835 Ft ²)
TOTAL		53	4359 M ² (46,920 Ft ²)

GENERAL NOTES
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND OMISSIONS TO THE ARCHITECT. ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. DO NOT SCALE DRAWINGS. THESE DRAWINGS MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF COLIZZA BRUNI ARCHITECTURE INCORPORATED. COPYRIGHT RESERVED.

NO.	REV DATE	REV DESCRIPTION
1	MAY 21, 2021	ISSUED FOR SITE PLAN CONTROL
2	NOV 26, 2021	ISSUED FOR BUILDING PERMIT
3	DEC 08, 2021	FOR SPC COORDINATION
4	DEC 16, 2021	ISSUED FOR LANDSCAPE COORDINATION
5	12/23/21	PRE TENDER COORD. 1
6	01/13/22	LANDSCAPE COORD.
7	01/13/22	SITE PLAN COORD
8	01/17/22	SPC RESPONSE 1
9	01/27/22	CIVIL COORDINATION
10	01/28/22	INTERNAL CHECK SET
11	01/31/22	LANDSCAPE COORD
12	02/15/22	REVISED TRANSFORMER LOC.
13	02/15/22	REVISED TRANSFORMER LOC. 2
14	03/11/22	REVISED FOR PERMIT
15	05/02/22	CONSULTANT COORDINATION
16	05/17/22	TO MENARD
17	06/06/22	REVISED FOR PERMIT
18	08/05/22	SPC RESPONSE 2
19	08/11/22	SPC RESPONSE 2 (R1)
20	12/07/22	SPC RESPONSE 3

DEVELOPER/OWNER:
MAPLE LEAF CUSTOM HOMES
144 CONSTANCE CREEK DR
DUNROBIN, ON
K0A 1T0

ARCHITECT:
COLIZZA BRUNI ARCHITECTURE INC.
76 CHAMBERLAIN AVE.
OTTAWA, ON.
K1S 1V9

SURVEYOR:
ANNIS O'SULLIVAN VOLLEBEKK LTD
14 CONCOURSE GATE, SUITE 500
OTTAWA, ON
K2E 7S6

CIVIL ENGINEER:
NOVATECH ENGINEERING CONSULTANTS
240 MICHAEL COWPLAND DR.
KANATA, ON.
K2M 1P6

LANDSCAPE ARCHITECT:
NOVATECH ENGINEERING CONSULTANTS
240 MICHAEL COWPLAND DR.
KANATA, ON.
K2M 1P6

PLANNER:
Q9 PLANNING + DESIGN
24 KIRKSTALL AVE,
NEPEAN, ON.
K2G3M5

COLIZZA BRUNI
architecture

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PROJECT NAME

**1055 KLONDIKE ROAD
53 UNIT APARTMENT
BUILDING**

OTTAWA, ON

DRAWING TITLE
SITE PLAN

SCALE
AS NOTED
DRAWN BY
EA
DATE
12/1/22
PROJECT NO.
02920

SP1