

1 SUB-BASEMENT FLOOR PLAN
 A100 ÉCHELLE / SCALE: 1:100

- GENERAL NOTES**
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 - REFER TO A600 SERIES FOR KITCHEN AND VANITY TYPES AS LABELED ON THE PARTIAL PLANS.
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 NOT FOR
 CONSTRUCTION**

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 (Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer
 (Structure / Structure)

Client / Client

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Fig 2

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Notes

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Project / Project

**13 STOREY APARTMENT
 BUILDING CONVERSION**

130 SLATER ST
 OTTAWA, ON
 K1P 6E2

SUB-BASEMENT FLOOR PLAN

Dessiné par / Drawn by

No. projet / Project number
 2332

Vérifié par / Verified by

No. dessin / Drawing number

Revision / Revision

RC

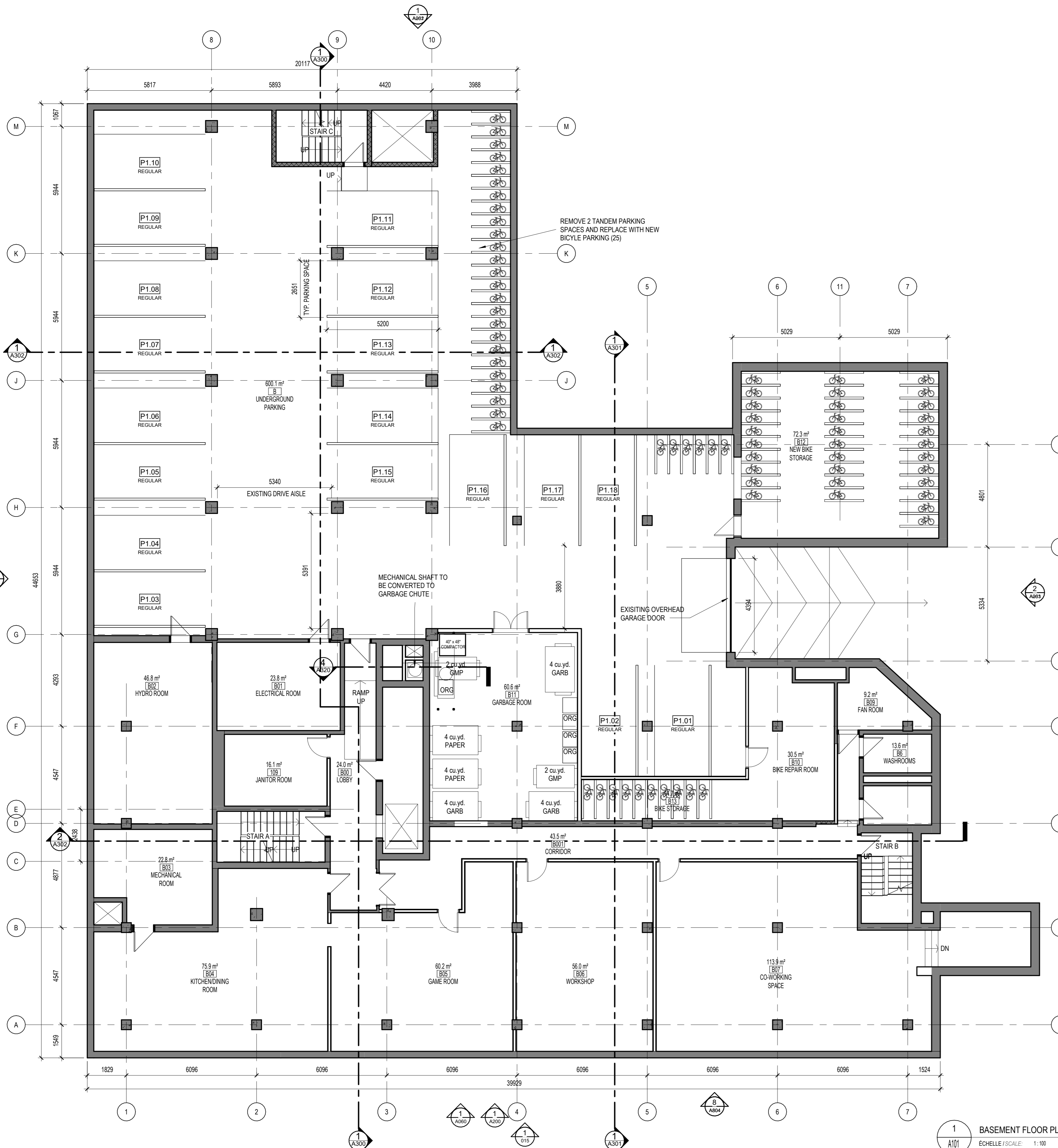
Échelle / Scale

As indicated

Date de création du dessin / Drawing creation date

11/22/24

A100



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Echelle / Scale: 1:100

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13 STOREY APARTMENT BUILDING CONVERSION

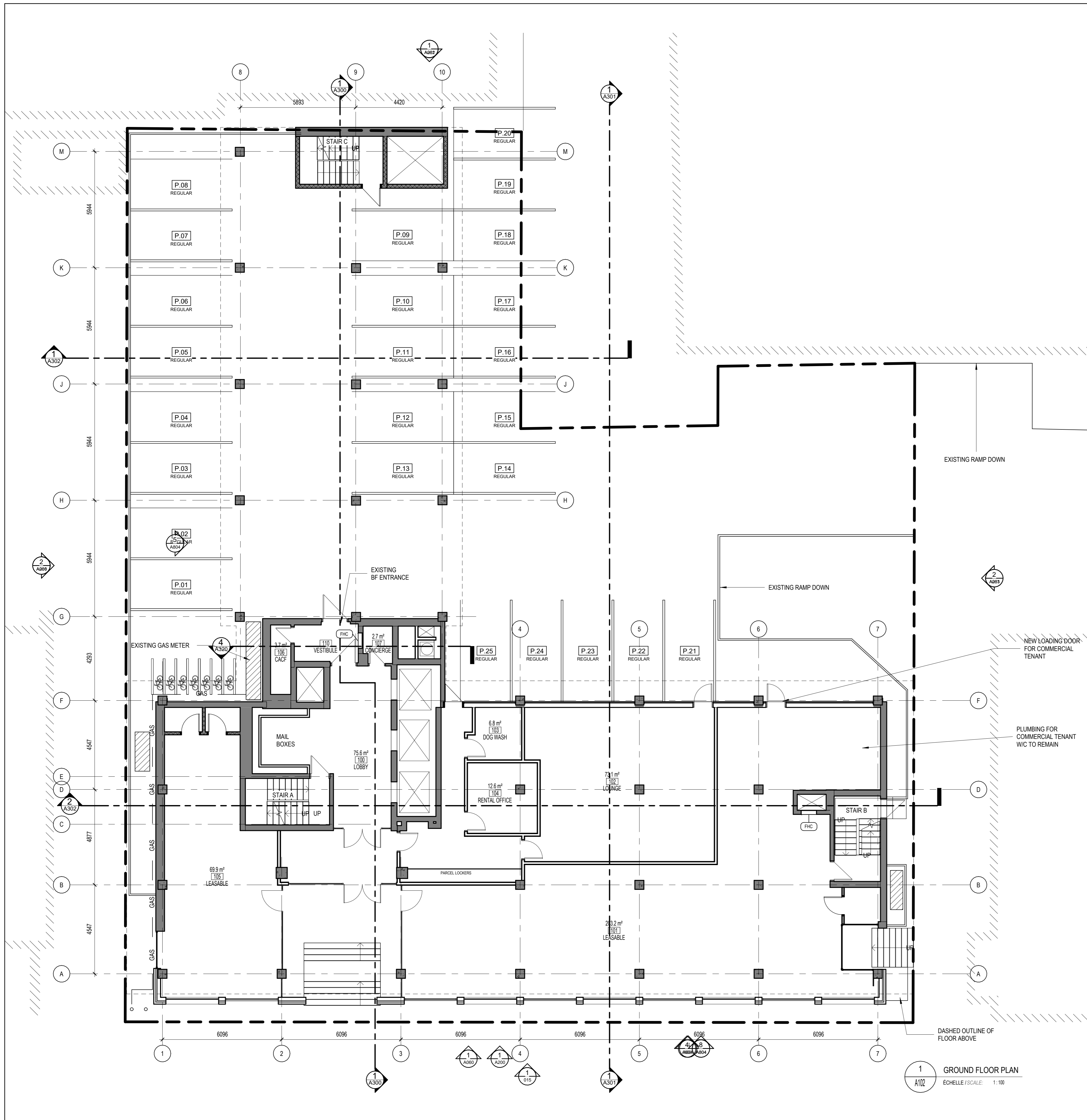
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BASEMENT FLOOR PLAN

Drawn by / Dessiné par: KJ, AM, SF
No. projet / Project number: 2332
Verified by / Vérifié par: RC
No. dessin / Drawing number: [blank]
Revision / Révision: [blank]

Echelle / Scale: As indicated
Date de création du dessin / Drawing creation date: 1/12/24

A101



1
A102
GROUND FLOOR PLAN
Echelle / Scale: 1:100

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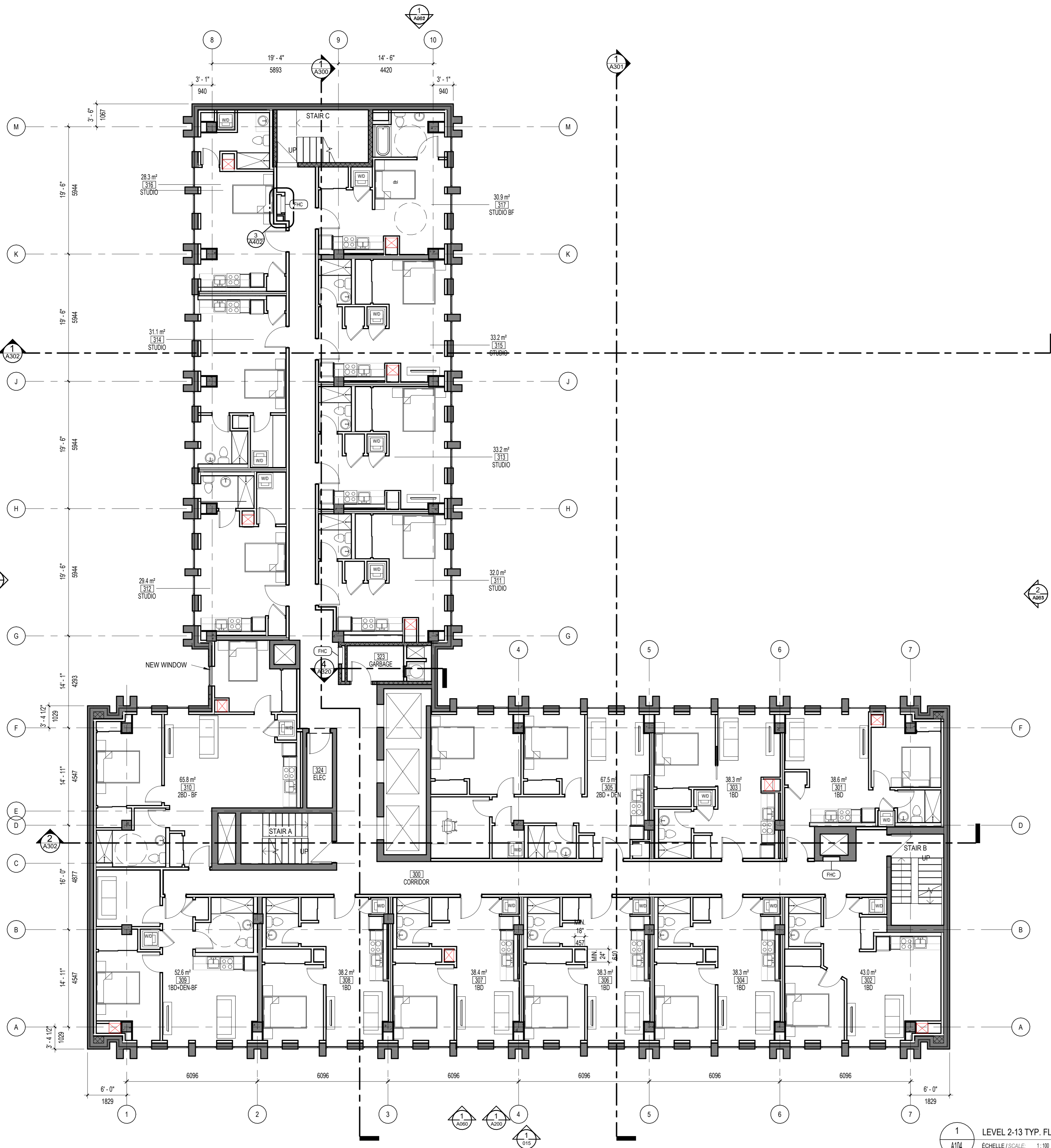
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Title / Titre
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Révision / Revision

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1/12/24
A102



1 LEVEL 2-13 TYP. FLOOR PLAN
A104 ÉCHELLE / SCALE: 1:100

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Project / Project

**13 STOREY APARTMENT
BUILDING CONVERSION**

130 SLATER ST
OTTAWA, ON
K1P 6E2

LEVEL 2-13 TYP. FLOOR PLAN

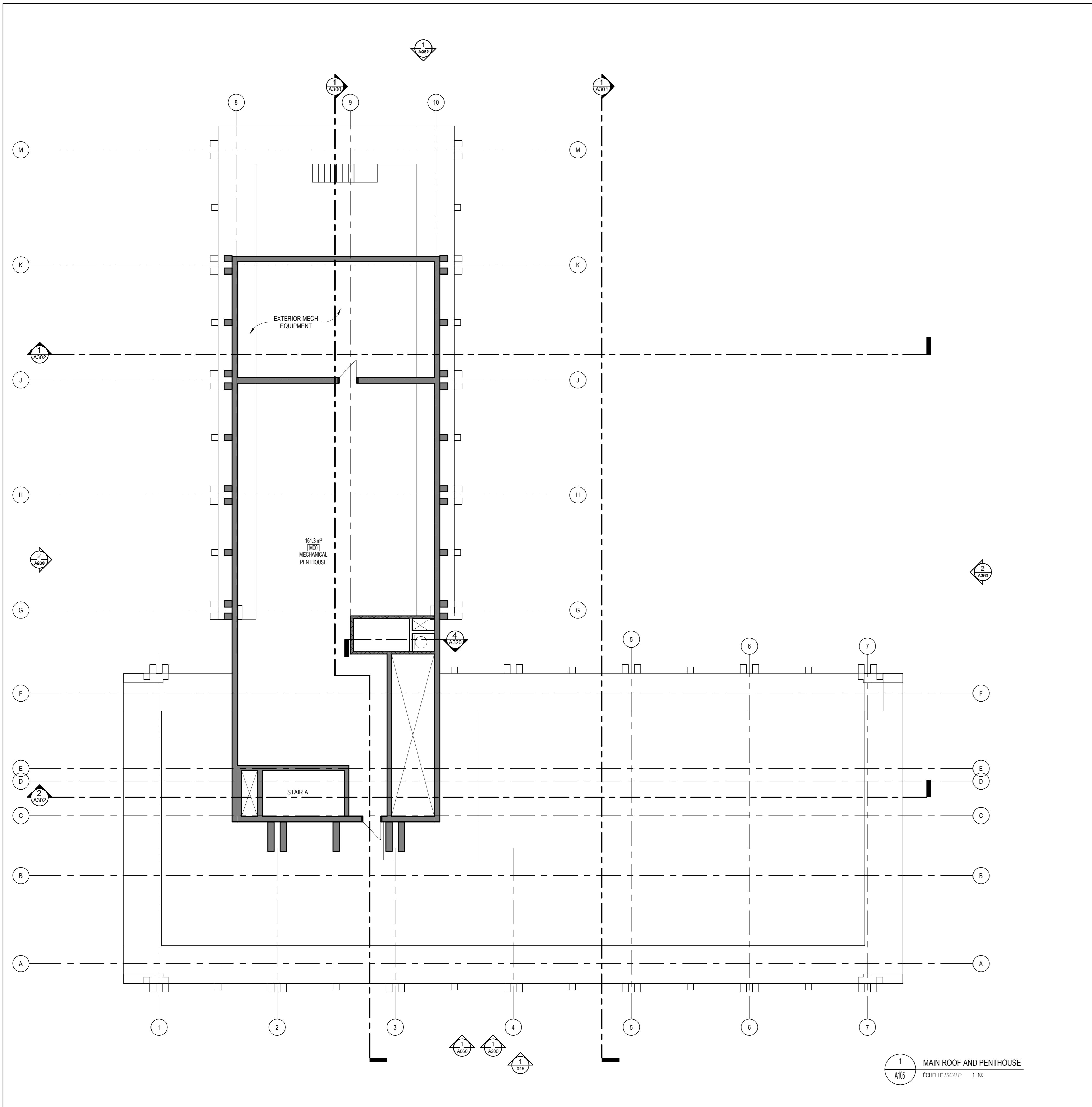
Dessiné par / Drawn by: KJ, AM, SF
No. projet / Project number: 2332

Vérifié par / Verified by: RC
No. dessin / Drawing number: 1
Révision / Revision: RC

Echelle / Scale: As indicated

Date de création du dessin / Drawing creation date: 1/12/24

A104



1 MAIN ROOF AND PENTHOUSE
Echelle / Scale: 1:100

- GENERAL NOTES**
- THE REFERENCE PLANS ARE MEANT TO PROVIDE AN OVERVIEW OF THE BUILDING LAYOUT IN ITS ENTIRETY. THESE ARE TO BE USED FOR GENERAL CONTEXT AND ARE NOT SCALED FOR CONSTRUCTION. ALWAYS REFER TO ENLARGED 1:50 SCALE PLANS FOR CONSTRUCTION INFORMATION. IN THE CASE OF A DISCREPANCY BETWEEN REFERENCE PLANS AND CONSTRUCTION PLANS, ALWAYS FOLLOW INFORMATION PROVIDED IN CONSTRUCTION PLANS.
- GENERAL CONTRACTOR MUST INFORM THE ARCHITECT OF ALL SPECIFIC CONDITIONS OF THE PROJECT THAT MAY AFFECT, HARM, OR IMPEDE THE EXECUTION OR COMPLETION OF THE WORK REQUIRED BY THE CONTRACT.
 - INCLUDE IN CONTRACT ALL WORK, SPECIFIED OR NOT ON THE PLANS AND SPECIFICATIONS, THAT IS GENERALLY INCLUDED IN STANDARD INDUSTRY PRACTICE AND IS REQUIRED FOR WORK CONNECTED TO THIS PROJECT.
 - ALL WORK SHALL BE DONE ACCORDING TO GOOD PRACTICE AND CONSTRUCTION INDUSTRY STANDARDS. THE WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF THE WORK. SUBSTANTIAL COMPLETION SHALL BE DETERMINED ACCORDING TO THE ACCEPTANCE OF THE WORK BY THE ARCHITECT.
 - EACH SUB-CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS & CONDITIONS ON THE JOB SITE & SHALL NOTIFY THE ARCHITECT OR OWNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS, NOTES, & FIELD CONDITIONS BEFORE COMMENCING ANY WORK. THE DIMENSIONS ON THESE DOCUMENTS MUST BE READ AND NOT MEASURED OR SCALED.
 - THE GENERAL CONTRACTOR SHALL SUPPLY ALL LABOUR AND MATERIALS NECESSARY TO COMPLETE THE WORK SPECIFIED ON THE ARCHITECTURAL PLANS AND WORK STEMMING FROM DIRECTIVES OF THE CLIENT AND OWNER.
 - THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO AVOID ANY DAMAGE TO PROPERTY AND PERSONS.
 - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STRUCTURAL SUPPORTS WHEREVER NECESSARY TO PROPERLY SUPPORT, BRACE, OR REINFORCE ALL FINISHES, FRAMES, OR EQUIPMENT, ETC.
 - THE GENERAL CONTRACTOR MUST CONCEAL NEW PIPING AND ELECTRICAL CONDUITS WITHIN NEW PARTITIONS, UNLESS OTHERWISE NOTED.
 - THE GENERAL CONTRACTOR SHALL INSTALL PAINTED STEEL LINTELS FOR ALL OPENINGS IN MASONRY WALLS. THE GENERAL CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE PROPERTY SURROUNDING THE SITE FROM DAMAGE OR DEBRIS RESULTING FROM WORK. ALL SECURITY DEVICES SHALL BE OF SOLID CONSTRUCTION TO PROVIDE THE PROTECTION NECESSARY. THE WORK AND ADJACENT PROPERTIES INCLUDE, BUT ARE NOT LIMITED TO, THE STRUCTURE, THE FINISHING, ALL ACCESSORIES, SITE BETTERMENT, ALL EQUIPMENT, AND HARDWARE.
 - ERECT ALL SHORING, CROSS-BRACING, AND OTHER SUPPORTS REQUIRED TO PREVENT SUBSIDENCE, MISALIGNMENTS AND MOVEMENT OF THE WORK SPECIFIED IN THE DRAWINGS NOT CORRESPOND TO THE THAT WHICH IS DESCRIBED IN THE SPECIFICATIONS, THE BETTER QUALITY MATERIAL SHALL BE SUPPLIED.
 - GENERAL CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING INCLUDING GRASS AND OTHER PLANTS FOR 30 DAYS AFTER INSTALLATION, AND MUST REPLACE ALL ELEMENTS THAT HAVE NOT ADAPTED BY THE END OF THIS PERIOD.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL MEASUREMENTS OF EXISTING CONDITIONS ON SITE WITHIN THE SCOPE OF WORK OF THE PROJECT, AND ALL POSSIBLE IMPLICATIONS ELSEWHERE.
 - FOR ALL ENGINEERING ASPECTS, STRUCTURE, MECHANICAL, OR ELECTRICAL, THE GENERAL CONTRACTOR MUST REFER TO ENGINEERING DOCUMENTS.
 - ALL SUITE DOORS TO BE 5" (127mm) OFF ADJACENT WALL FACE UNO. ALL SWING DOORS WITHIN SUITE TO BE 4" (102mm) OFF ADJACENT WALL FACE, AND ALL LAUNDRY CLOSET DOORS TO BE CENTERED ON INTERIOR WALLS OF CLOSET UNO.
 - REFER TO FINISH PLANS FOR ALL FINISH INFORMATION.
 - REFER TO A600 SERIES FOR KITCHEN AND VANITY TYPES AS LABELED ON THE PARTIAL PLANS.
 - DIMENSIONS ARE GENERALLY TO FACE OF DRYWALL.

LEGEND

| | |
|--|--|
| | ALIGN DESIGNATED SURFACES |
| | INDICATED CLEAR DIMENSION REQUIRED BETWEEN FINISHED SURFACES |
| | FLOOR DRAIN (REFER TO MECH.) |
| | ROOF DRAIN (REFER TO MECH.) |
| | ELECTRICAL PANEL (REFER TO ELEC.) |
| | TACTILE ATTENTION INDICATOR AS PER OBC 3.8.3.18 |
| | BARRIER-FREE OPERATOR - REFER TO ELEC. |
| | FIRE DEPARTMENT CONNECTION COORD w/ MECH |
| | FIRE HOSE CABINET. COORD w/ MECH |
| | CONCRETE REFER TO STRUCTURE |
| | NEW WALL |
| | EXISTING WALL |
| | PARTITION WALL |
| | CONCRETE BLOCK WALL |
| | TYPE WALL |
| | NUMBER OF WALL TYPE FIRE RATING |
| | NUMBER AND CEILING HEIGHT |
| | ROOF TYPE |
| | NUMBER AND ROOM NAME |
| | NUMBER WINDOW |
| | REVISION NUMBER |
| | CENTRE LINE |
| | SCUPPER |
| | DUAL STACKED BIKE PARKING STALL 1500mm x 900mm |
| | BIKE PARKING STALL 1800mm x 600mm |

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NOT FOR
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Ingenieur / Engineer
(Mécanique & Électrique / Mechanical & Electrical)

Ingenieur / Engineer
(Structure / Structure)

Client / Client

KTS
PROPERTIES

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Projet / Project

**13 STOREY APARTMENT
BUILDING CONVERSION**

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PENTHOUSE FLOOR PLAN

Dessiné par / Drawn by

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A105