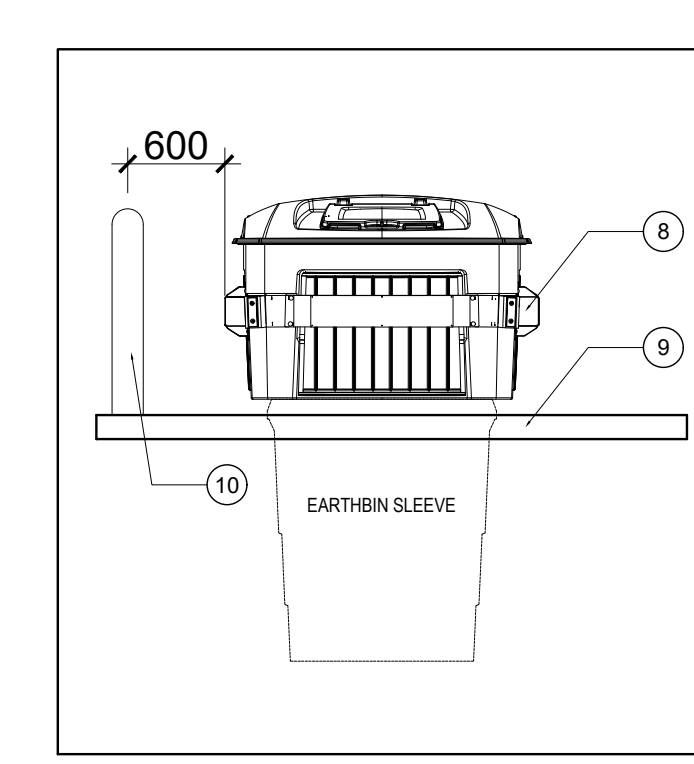
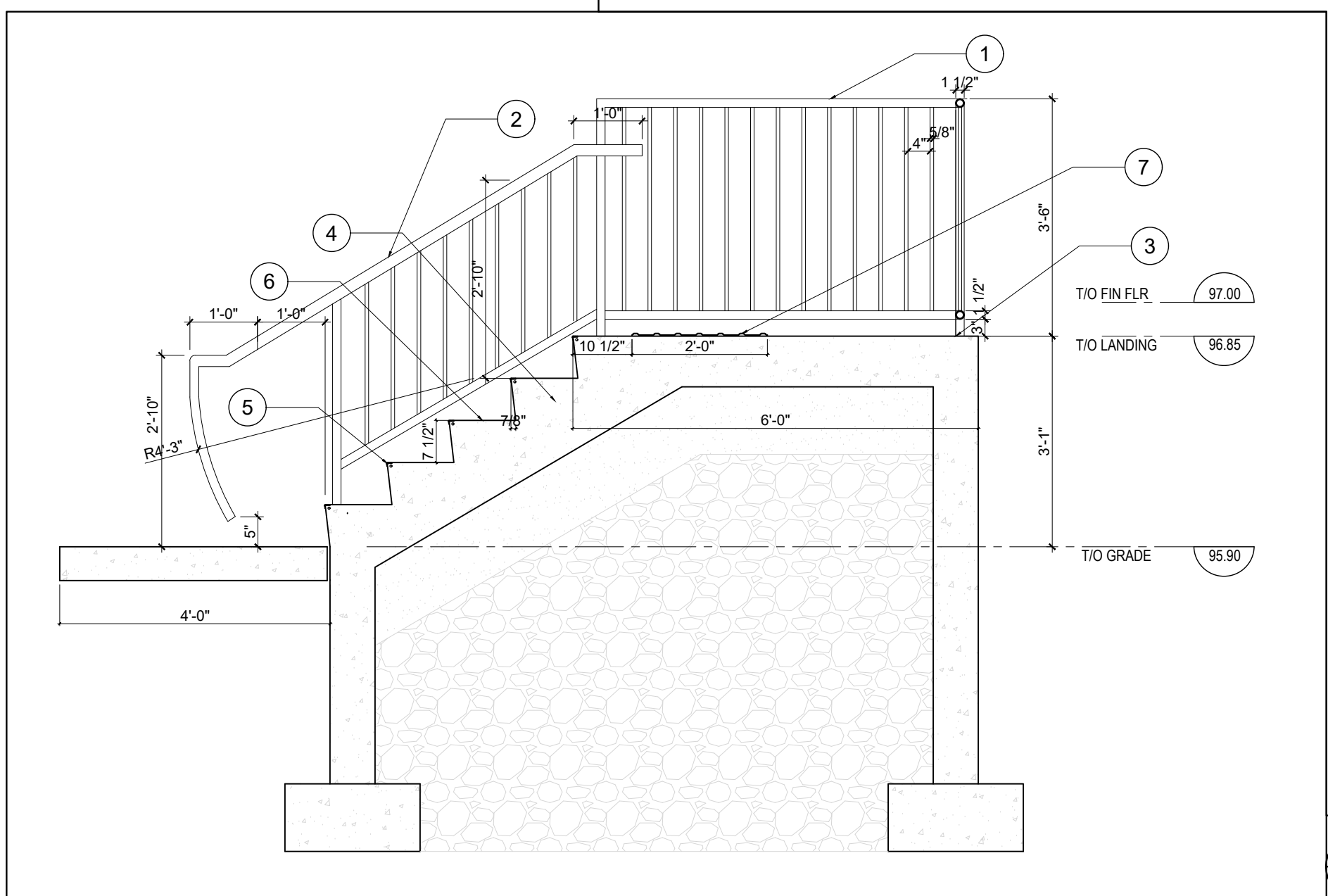


**1 SITE PLAN**  
SCALE = 1/200 (1/16" = 1'-0")



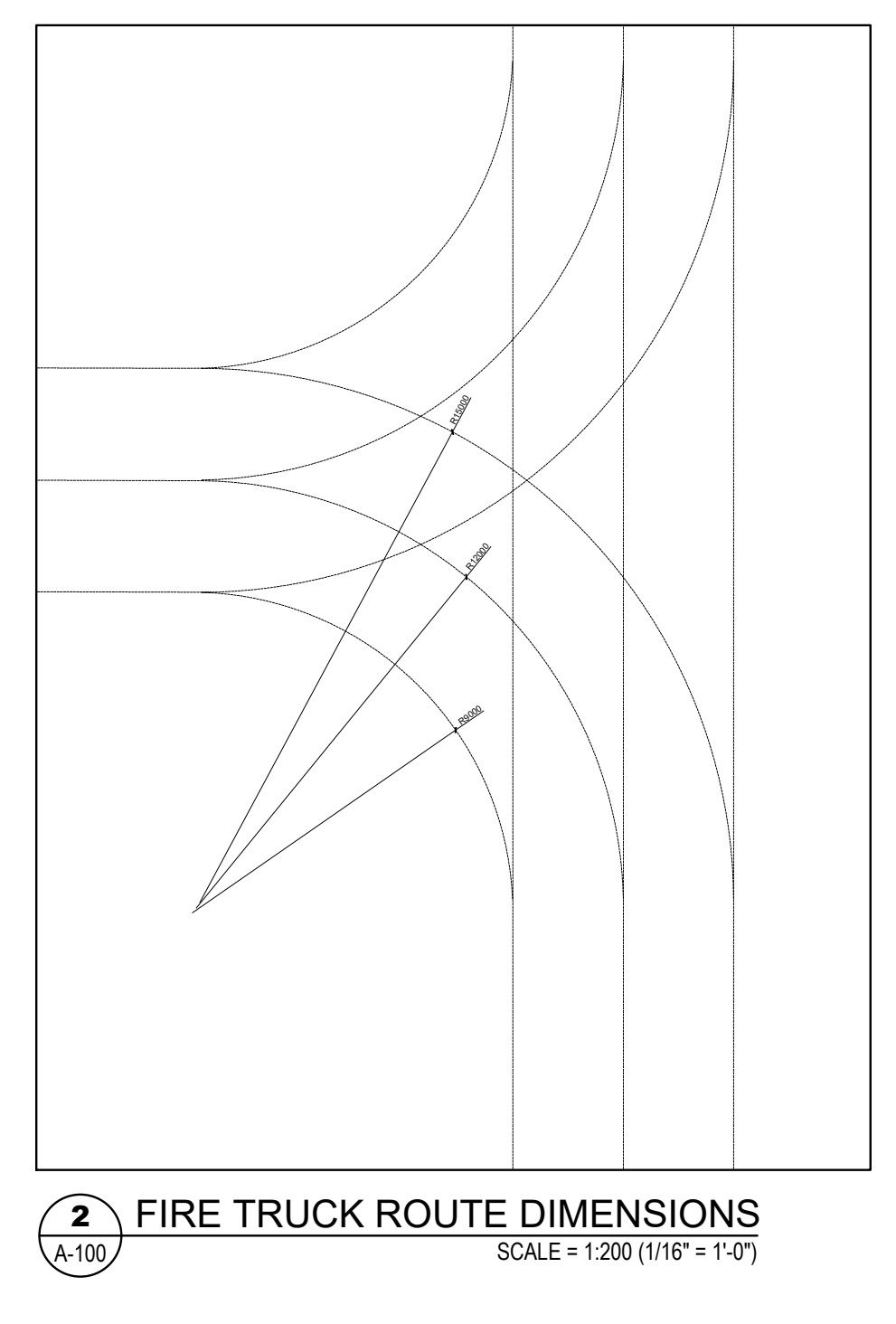
**5 IN-GROUND WASTE CONTAINER**  
SCALE = 1/50 (1/4" = 1'-0")

- SPECIFIC NOTES:**
- 1 GALVANIZED CONTINUOUS STEEL GUARDRAIL - REFER TO SPECS
  - 2 GALVANIZED CONTINUOUS STEEL BEAMS WITH PICKETS AT MAXIMUM 4' CENTRES - REFER TO SPECS
  - 3 ANCHOR GUARDRAILS TO MEET CODE REQUIREMENTS - PROVIDE STAMPED SHOP DRAWINGS
  - 4 NEW EXTERIOR CONCRETE STAIR AND LANDING - REFER TO STRUCTURAL
  - 5 FULL ABRASIVE SAFETY TREAD NOSING TO DEMARKATE LEADING EDGE OF TREADS AND LANDINGS - REFER TO SPECS
  - 6 SLIP-RESISTANT TREAD FINISH
  - 7 TACTILE ATTENTION INDICATOR, MINIMUM 300MM STARTING @ FULL TREAD DEPTH FOR STAIR NOSING - REFER TO SPECS
  - 8 NEW IN-GROUND WASTE CONTAINER - REFER TO SPECS
  - 9 NEW CAST-IN-PLACE CONCRETE SLAB - REFER TO STRUCTURAL
  - 10 NEW BOLLARDS - REFER TO SPECS



**4 EXTERIOR STAIR SECTION**  
SCALE = 1/25 (1/2" = 1'-0")

**3 GARBAGE TRUCK ROUTE DIMENSIONS**  
SCALE = 1/200 (1/16" = 1'-0")



**2 FIRE TRUCK ROUTE DIMENSIONS**  
SCALE = 1/200 (1/16" = 1'-0")

**PROJECT INFORMATION**  
PROJECT: NEW MEDICAL CLINIC BUILDING  
MUNICIPAL ADDRESS: 1545A MERIVALE RD, OTTAWA, ONTARIO  
PIN: O4G7B-0004  
ZONING USE: AM10 - ARTERIAL MAINSTREET ZONE, MEDICAL FACILITY  
PROPOSED CONSTRUCTION: NEW 1 - STOREY BUILDING  
PROPOSED USE: MEDICAL CLINIC  
BUILDING HEIGHT: ± 6.858m (± 22'-4")  
GROSS FLOOR AREA: 27,620 SQ FT (2,566 m<sup>2</sup>)  
SITE AREA: 74,293.150m<sup>2</sup>

**PARKING STATISTICS:**  
STANDARD PARKING:  
50 SPACES OF 2.4m W x 5.2m L (8' - 7" W x 17' - 0" L)  
COMPACT CAR PARKING:  
13 SPACES OF 2.4m W x 5.2m L  
ACCESSIBLE PARKING:  
3 SPACES OF 3.66m W x 5.2m L (12'-0" W x 17'-0" L)  
TOTAL PARKING SPACES:  
AT GRADE: 53  
UNDERGROUND: 57  
TOTAL: 110

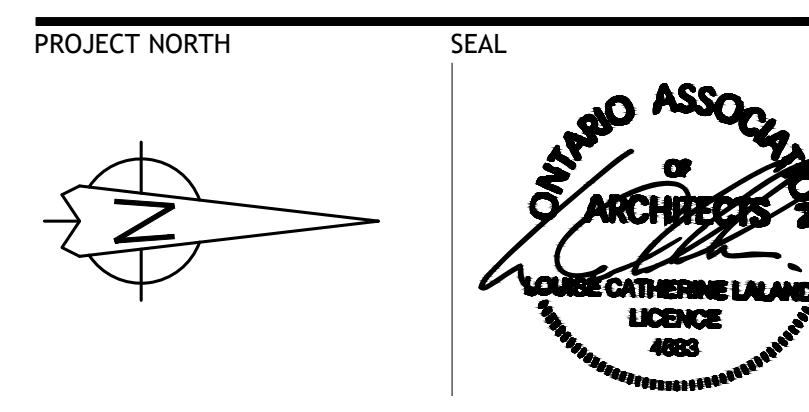
**BICYCLE PARKING:**  
ABOVE GROUND: 5 SPACES  
BELOW GROUND: 22 SPACES

**LANDSCAPING:**  
REQUIRED 15% OF PARKING AREA  
TOTAL PARKING AREA: 3,633 m<sup>2</sup>  
15% LANDSCAPING REQUIRED: 545m<sup>2</sup>  
TOTAL LANDSCAPED AREAS PROVIDED: 1,136.25 m<sup>2</sup>

**GENERAL NOTES:**

1. REFER TO SURVEY BY FARLEY, SMITH AND DENIS SURVEYING LTD.
2. ALL GRADES TO MATCH EXISTING UNLESS OTHERWISE INDICATED ON SITE PLAN. NEW GRADES TO FIT INTO EXISTING GRADES.
3. CURBS AND LANDSCAPING SHOWN OUTSIDE OF PROPERTY LINE AND IN EXISTING NATURAL ZONE ARE SHOWN FOR INFORMATION PURPOSES ONLY. SITE VERIFICATION OF ALL CONDITIONS REQUIRED.
4. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR NEW LANDSCAPING AND TREE PRESERVATION.
5. REFER TO ENGINEERING DRAWINGS FOR EXTENT OF NEW ROAD DEVELOPMENT, SITE LIGHTING, AND MASTER SITE PLAN.
6. ALL NOTES ARE AS PER CITY/PROVINCIAL STANDARDS, GUIDELINES, BY LAWS AND DETAIL DRAWINGS.

ZONE MECHANISM	ZONE PROVISION DEVELOPMENT	PROPOSED	IN COMPLIANCE (YES/NO)
MINIMUM LOT AREA (SQ FT)	NO MINIMUM	6,855 SQ FT	YES
MINIMUM LOT WIDTH	NO MINIMUM	4.7M	YES
MINIMUM FRONT YARD SETBACK (TO MERIVALE ROAD)	0.9M	7.9M	YES
MINIMUM PERCENTAGE OF FRONTSETBACK ALONG FRONT LOT LINE TO BE OCCUPIED BY BUILDING WALL LOCATED WITHIN 1.5M OF THE LOT LINE	10%	0%	NO*
MINIMUM CORNER SIDE YARD SETBACK (NOT APPLICABLE)	0M	N/A	N/A
MINIMUM REAR YARD SETBACK	7.5M	15.5M	YES
MINIMUM REAR SIDE YARD SETBACK (AUFUTING NON-RESIDENTIAL)	NO MINIMUM	12.5 M (TO 1545 MERIVALE ROAD) 1.68 M (TO 1545 MERIVALE ROAD)	YES
MINIMUM BUILDING HEIGHT	3.0M	6.7M	YES
MINIMUM FLOOR SPACE INDEX	NONE	0.36	YES
MINIMUM WIDTH OF LANDSCAPED AREA (PROVIDE PARKING LOT SECTION 210)	1.5M	NONE	NO
MINIMUM PARKING (SECTION 203)	4 PER 100 SQ FT OF GFA (200 REQUIRED)	137 SPACES	YES
MINIMUM BICYCLE PARKING (SECTION 111)	1 PER 1000 OF GFA (22 REQUIRED)	5 OUTDOOR 22 INDOOR	YES



**(L+D)**  
LALANDE + DOYLE ARCHITECTS INC.  
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Fax: 613.233.1008  
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OTTAWA, ONTARIO K1V 0Y2

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**APPROVED**  
By Kersten Nitsche at 10:11 am, Jul 08, 2024

*Kersten Nitsche*

**KERSTEN NITSCHKE, MCP P RP  
MANAGER (A) DEVELOPMENT REVIEW WEST  
PLANNING, DEVELOPMENT AND BUILDING SERVICES  
DEPARTMENT, CITY OF OTTAWA**

DATE	DESCRIPTION	ISSUE REV.
17/04/2024	REVISION FOR SPA	07
01/04/2024	REVISION FOR PERMIT	06
31/01/2024	REVISION FOR PERMIT	05
16/01/2024	REVISION FOR PERMIT	04
30/11/2023	ISSUES FOR PERMIT	03
20/11/2023	ISSUES FOR TENDER	02
10/08/2023	REVISION FOR SITE PLAN APPROVAL	01

**PROJECT NAME**  
MERIVALE MEDICAL IMAGING CLINIC

1545A Merivale Rd. Ottawa, On. K2G 3J1  
DRAWING TITLE

**SITE PLAN - REVISED  
NEW CONSTRUCTION**

**DATE** 2022/09/20  
**SCALE** AS NOTED  
**DRAWN BY** MD  
**REVIEWED BY** LCL

**PROJECT NO.** 20-021  
**DRAWING NO.** A-100