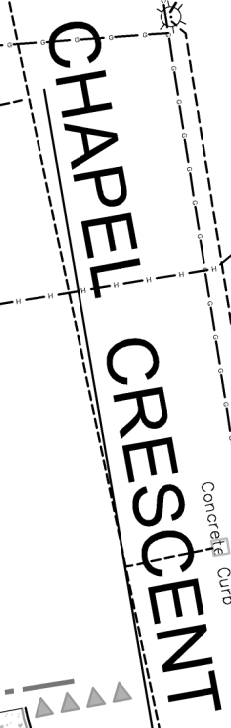


SANDY HILL
ARENA

APPROVED
By Andrew McCreight at 8:43 am, Jun 14, 2024



ZONING	TDZ (2745) S449	BUILDING HEIGHT - BUILDING A	28 STOREYS - 89.0m
SITE AREA	22,951.0 sq. m.	BUILDING HEIGHT - BUILDING B	32 STOREYS - 103.0m
	22,945.5 sq. m.	BUILDING HEIGHT - BUILDING C	32 STOREYS - 103.0m
	(247,043 sq. ft.)	BUILDING HEIGHT - BUILDING D	28 STOREYS - 89.0m
REQUIRED			
BUILDING HEIGHT (AS PER SCHEDULE S449)	103.0m	GRADE - BUILDING A (GROUND = 64.0m)	63.0m gnd. elev.
FRONT YARD SETBACK - LEES AVENUE	0.0m	GRADE - BUILDING B-C (GROUND = 67.5m)	65.5m gnd. elev.
FRONT YARD SETBACK - 11A ZONE	3.0m	GRADE - BUILDING D (GROUND = 65.0m)	64.0m gnd. elev.
INTERIOR YARD SETBACK - EAST	2.0m	DENSITY - TD3 LOT (1,440 UNITS)	627 units/ha
INTERIOR YARD SETBACK - WEST	12.0m	UNIT COUNT	1,539 units
REAR YARD SETBACK	17.0m	FRONT YARD SETBACK - TD3 ZONE	1.9m
AMENITY SPACE - PER UNIT	6.0 sq. m.	CORNER YARD SETBACK - TD3 ZONE	23.3m
EXTERIOR AMENITY SPACE - 2% LOT AREA	459.0 sq. m.	INTERIOR YARD SETBACK - TD3 ZONE	12.0m
VEHICLE PARKING - VISITOR ONLY	0.1 PER UNIT	INTERIOR YARD SETBACK ABOVE 6 STOREYS	12.0m
BICYCLE PARKING - RESIDENTIAL	0.5 PER UNIT	REAR YARD SETBACK - TD3 ZONE	18.5m
BICYCLE PARKING - COMMERCIAL	1 PER 250m ² GFA	VEHICLE PARKING - TOTAL	93.4

REQUIRED		8th - 26th FLOOR TOWER	
RESIDENCE	- Area "Z" NOT REQUIRED	0	
VISITOR	- 1 PER UNIT (MAXIMUM 30 PER BUILDING)	120	
COMMERCIAL	- Area "Z" NOT REQUIRED	0	
TOTAL		120	
PROVIDED			
RESIDENCE	- 0.53 PER UNIT (1,517 UNITS)	804	
VISITOR - INTERIOR	- 0.072 PER UNIT	109	
VISITOR - SURFACE	- 0.011 PER UNIT	17	
CAR SHARE		4	
	- 0.62 PER UNIT	934	
		8th - 26th FLOOR TOWER	
		19 x 63.63 sq. ft.	179,322 sq. ft.
		2 x 762 sq. ft.	1,504 sq. ft.
		2 x 8,096 sq. ft.	16,192 sq. ft.
		MECHANICAL LEVEL	3,220 sq. ft.
			3,444 sq. ft.
		TOTAL AREA	33,745 sq. m.
			363,201 sq. ft.
		TOWER FOOTPRINT	831.8 sq. m.
			8,953 sq. ft.
		UNIT COUNT	450
		VEHICLE PARKING	198
		BICYCLE PARKING	347

REQUIRED			BUILDING 'B' & 'C' STAGE 3 CONSTRUCTION		
RESIDENCE	- 0.5 PER UNIT (1,517 UNITS)	759	PARKING LEVEL		0.0 sq. m. 000 sq. ft.
COMMERCIAL	- 1 PER 250m ² GFA (2,518.7m ²)		STREET LEVEL		1,261.7 sq. m. 13,581 sq. ft.
		769			138.6 sq. m. 1,493 sq. ft.

EXISTING BUSH ALONG NORTH	= 2,200 sq. m.	6th FLOOR PODIUM - TOWER B	1,271.94 sq. m.
COURTYARD OF BUILDING A	= 500 sq. m.	13,039 sq. m.	
NORTH SIDE OF BUILDING D	= 1,600 sq. m.	6th FLOOR PODIUM - TOWER C	1,762.29 sq. m.
INTERNAL AVENUE - 1st LEVEL	= 1,000 sq. m.		12,690 sq. m.
COMMUNAL INTERNAL AVENUE - 7th LEVEL	= 1,000 sq. m.	7th FLOOR - TOWER B	588.09 sq. m.
COMMUNAL EXTERIOR PATIO - 7th LEVEL	= 1,200 sq. m.		6,339 sq. m.
PRIVATE BALCONIES	= 3,800 sq. m.	7th FLOOR - TOWER C	579.93 sq. m.
			6,242 sq. m.
TOTAL	= 11,300 sq. m.	23 x 662.58 sq. m.	15,248.03 sq. m.
TOTAL COMMUNAL	= 7,900 sq. m.	23 x 7,132 sq. m.	164,128 sq. m.
REQUIRED - 6.0M ² PER UNIT (1.571)	= 9,102 sq. m.	23 x 682.58 sq. m.	15,248.03 sq. m.
REQUIRED COMMUNAL @ 50%	= 4,551 sq. m.	23 x 588.09 sq. m.	164,128 sq. m.
		23 x 5,102.10 sq. m.	1,187,750 sq. m.
		2 x 5,031 sq. m.	11,934 sq. m.
		31st - 32nd FLOOR TOWER B	

BUILDING "A" -	6,070.6 sq. m.	26.45%	MECHANICAL LEVEL TOWER C	0.0 sq. ft.
BUILDING "B-C" -	7,011.4 sq. m.	30.55%		0.00 sq. ft.
BUILDING "D" -	7,569.8 sq. m.	32.56%	TOTAL AREA	46,007 sq. m.
PARKLAND -	2,296.2 sq. m.	10.01%		495,225 sq. ft.
TOTAL	2,294.8 sq. m.	100.00%	TOWER FOOTPRINT	831.8 sq. ft.
			UNIT COUNT - BUILDING B	369
			UNIT COUNT - BUILDING C	369
			VEHICLE PARKING	469
			BICYCLE PARKING	1,157
			COMMERCIAL AREA	1,292.7 sq. m.
				13,915 sq. ft.

SOLID WASTE		GROUND FLOOR	
BUILDING 'A' - 450 UNITS		2nd Floor	1,374.93 sq. m. 14,790.93 sq. m.
GARBAGE	0.10 YD ³ PER UNIT	3rd - 5th PODIUM	3 x 1,382.81 sq. m.
RECYCLING - GMP	0.018 YD ³ PER UNIT	6th FLOOR PODIUM	1,336.1 - 14,382 sq. m.
RECYCLING - FIBRE	0.038 YD ³ PER UNIT	7th FLOOR TOWER	585.9 sq. m. 6,307 sq. m.
ORGANICS	1 - 240 L B/L PER PER 50 UNITS	8th - 26th FLOOR TOWER	19 - 662.58 sq. m. 27 - 1,732 sq. m.
BUILDING 'B' - 369 UNITS		27th - 28th FLOOR	2 x 1,022.96 sq. m. 2 x 931.93 ft.
GARBAGE	0.110 YD ³ PER UNIT		11,882.82 sq. m.

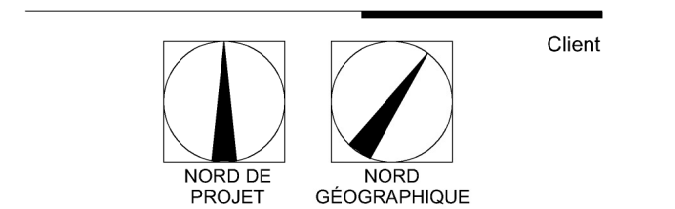
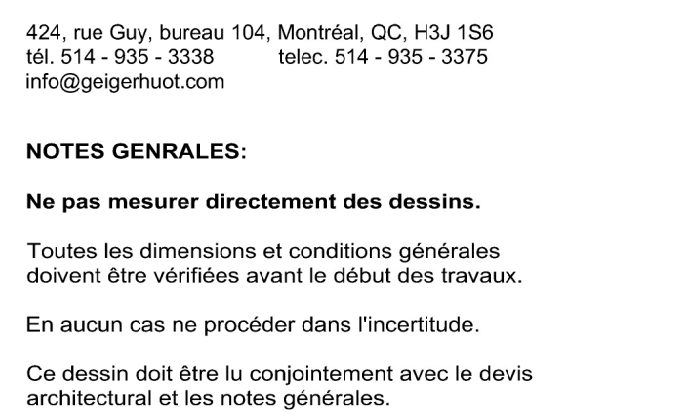
BUILDING 'C' - 369 UNITS		TOWER FOOTPRINT		831.8 sq. m.
GARBAGE	0.110 Y ³ PER UNIT	42 Y ³	UNIT COUNT	329
RECYCLING - GMP	0.018 Y ³ PER UNIT	7 Y ³	VEHICLE PARKING	286
RECYCLING - FIBRE	0.038 Y ³ PER UNIT	14 Y ³	BICYCLE PARKING	330
ORGANICS	1 - 240 L BIN PER PER 50 UNITS	8	UNIT MIX - 1,539 UNITS	
BUILDING 'D' - 346 UNITS		STUDIO UNIT		120
GARBAGE	0.110 Y ³ PER UNIT	37 Y ³	ONE BEDROOM UNIT	686
RECYCLING - GMP	0.018 Y ³ PER UNIT	6 Y ³	ONE BEDROOM + DEN UNIT	448
RECYCLING - FIBRE	0.038 Y ³ PER UNIT	13 Y ³	TWO BEDROOM UNIT	536
ORGANICS	1 - 240 L BIN PER PER 50 UNITS	7	TWO BEDROOM + DEN UNIT	76
			THREE BEDROOM UNIT	259
			TOTAL UNITS	1,539

BUILDING HEIGHT - BUILDING A	28 STOREYS - 89.0m
BUILDING HEIGHT - BUILDING B	32 STOREYS - 103.0m
BUILDING HEIGHT - BUILDING C	32 STOREYS - 103.0m
BUILDING HEIGHT - BUILDING D	28 STOREYS - 89.0m
GRADE - BUILDING A (GROUND = 64.0m)	63.0m geo. elev
GRADE - BUILDING B-C (GROUND = 67.5m)	65.5m geo. elev
GRADE - BUILDING D (GROUND = 65.0m)	64.0m geo. elev
DENSITY - TD3 LOT (1,440 UNITS)	627 units/ha
UNIT COUNT	1,539 units
FRONT YARD SETBACK - TD3 ZONE	1.9m
CORNER YARD SETBACK - TD3 ZONE	23.3m
INTERIOR YARD SETBACK - TD3 ZONE	12.0m
INTERIOR YARD SETBACK ABOVE 6 STOREYS	12.0m
REAR YARD SETBACK - TD3 ZONE	18.5m
VEHICLE PARKING - TOTAL	93.64
VEHICLE PARKING - RESIDENTIAL UNIT	814
VEHICLE PARKING - VISITOR	12
BICYCLE PARKING - RESIDENTIAL	1782
BICYCLE PARKING - COMMERCIAL	52
LOT COVERAGE	36.9%
EXTERIOR AMENITY SPACE	3,900.0 sq. m.
GROUND FLOOR TRANSPARENT GLAZING	60.0%
TOTAL PROJECT G.F.A.	92,364.5 sq. m.

BUILDING / AREA	STAGE 1 CONSTRUCTION	0.0 sq. m. 0.00 sq. ft.
PARKING LEVEL		2,630 sq. m. 28,309 sq. ft.
GROUND FLOOR		2,330 sq. m. 25,174 sq. ft.
2nd FLOOR		9,412 sq. m. 101,316 sq. ft.
3rd - 6th FLOOR	4 x 2,353 sq. m. 4 x 25,290 sq. ft.	877 sq. m. 9,444 sq. ft.
7th FLOOR		16,663 sq. m. 179,322 sq. ft.
8th - 26th FLOOR TOWER	19 x 877 sq. m. 19 x 9,538 sq. ft.	1,504 sq. m. 16,192 sq. ft.
27st - 28th FLOOR	2 x 752 sq. m. 2 x 8,096 sq. ft.	320 sq. m. 3,444 sq. ft.
MECHANICAL LEVEL		
TOTAL AREA		33,745 sq. m. 363,207 sq. ft.
TOWER FOOTPRINT		8,918 sq. m. 95,953 sq. ft.
UNIT COUNT		450
VEHICLE PARKING		198
BICYCLE PARKING		247
COMMERCIAL AREA		1,236 sq. m. 13,305 sq. ft.

PARKING LEVEL	0.00 sq. m.	0.00 sq. ft.
STREET LEVEL	13,581 sq. m.	13,581 sq. ft.
GROUND FLOOR	218.6 sq. m.	218.6 sq. ft.
2nd FLOOR - TOWER B	2,393 sq. ft.	2,393 sq. ft.
2nd FLOOR - TOWER C	1,211.4 sq. m.	1,211.4 sq. m.
3rd - 5th PODIUM - TOWER B	1,176.2 sq. m.	1,176.2 sq. m.
3rd - 5th PODIUM - TOWER C	3 x 1,211.4 sq. m.	3,634.1 sq. m.
3rd - 5th PODIUM - TOWER B	3 x 1,176.2 sq. m.	3,517.7 sq. m.
6th FLOOR PODIUM - TOWER B	3 x 1,260.0 sq. ft.	3,780.0 sq. ft.
6th FLOOR PODIUM - TOWER C	1,176.2 sq. m.	1,176.2 sq. m.
6th FLOOR PODIUM - TOWER C	1,260.0 sq. ft.	1,260.0 sq. ft.
7th FLOOR - TOWER B	588.9 sq. m.	588.9 sq. m.
7th FLOOR - TOWER C	6,339 sq. ft.	6,339 sq. ft.
8th - 30th FLOOR TOWER B	579.9 sq. m.	579.9 sq. m.
8th - 30th FLOOR TOWER C	6,242 sq. ft.	6,242 sq. ft.
8th - 30th FLOOR TOWER C	15,248.0 sq. m.	15,248.0 sq. m.
8th - 30th FLOOR TOWER C	164,128 sq. ft.	164,128 sq. ft.
31st - 32nd FLOOR TOWER B	15,248.0 sq. m.	15,248.0 sq. m.
31st - 32nd FLOOR TOWER C	164,128 sq. ft.	164,128 sq. ft.
31st - 32nd FLOOR TOWER B	2 x 551.0 sq. m.	1,102.0 sq. m.
31st - 32nd FLOOR TOWER C	2 x 5,831 sq. ft.	11,661 sq. ft.
31st - 32nd FLOOR TOWER C	2 x 551.0 sq. m.	1,102.0 sq. m.
31st - 32nd FLOOR TOWER C	2 x 5,831 sq. ft.	11,661 sq. ft.
MECHANICAL LEVEL TOWER B	0.0 sq. m.	0.0 sq. m.
MECHANICAL LEVEL TOWER C	0.0 sq. m.	0.0 sq. m.
TOTAL AREA	4,007.9 sq. m.	4,007.9 sq. m.
TOWER FOOTPRINT	495,225 sq. ft.	495,225 sq. ft.
UNIT COUNT - BUILDING B	831.8 sq. m.	831.8 sq. m.
UNIT COUNT - BUILDING C	8,953 sq. m.	8,953 sq. m.
VEHICLE PARKING	369	369
BICYCLE PARKING	450	450
COMMERCIAL AREA	1,157	1,157
	1,292.7 sq. m.	1,292.7 sq. m.
	13,915 sq. ft.	13,915 sq. ft.

PARKING LEVEL		000 sq. ft.
GROUND FLOOR		846.5 sq. m. 9,112 sq. ft.
2nd FLOOR		1,374 sq. m. 14,750 sq. ft.
3rd - 5th PODIUM	3 x 1,336.1 sq. m. 3 x 14,382 sq. ft.	4,008.4 sq. m. 43,146 sq. ft.
6th FLOOR PODIUM		1,336.1 sq. m. 14,382 sq. ft.
7th FLOOR TOWER		585.9 sq. m. 6,307 sq. ft.
8th - 28th FLOOR TOWER	19 x 662.58 sq. m. 19 x 7,132 sq. ft.	12,589.1 sq. m. 135,508 sq. ft.
27st - 28th FLOOR	2 x 551.0 sq. m. 2 x 5,931 sq. ft.	1,102.0 sq. m. 11,862 sq. ft.
MECHANICAL LEVEL		0.0 sq. m. 000 sq. ft.
TOTAL AREA		21,842.2 sq. m. 235,107 sq. ft.
TOWER FOOTPRINT		831.8 sq. m. 8,953 sq. ft.
UNIT COUNT		329
VEHICLE PARKING		286
BICYCLE PARKING		330
UNIT MIX - 1,539 UNITS		
STUDIO UNIT		120
ONE BEDROOM UNIT		686
ONE BEDROOM + DEN UNIT		436
TWO BEDROOM UNIT		536
TWO BEDROOM + DEN UNIT		76
THREE BEDROOM UNIT		259
TOTAL UNITS		1,539



**CLELAND
JARDINE**
ENGINEERING LTD.



SITE PLAN
BUILDING A

échelle : 1:300	dessiné par : CA	
date : 2024-01-17	approuvé par : EH	
dossier : 22-027	dessin :	A000 #18357

LANDSCAPE ARCHITECT FoTenn Consultants Inc. 396 Cooper Street, Suite 300, Ottawa, ON Canada, K2P 2H7 Tel.: (613) 730-5709 ext. 241 Fax: (613) 730-1136 E-Mail: abbasi@fotenn.com	URBAN PLANNER FoTenn Consultants Inc. 396 Cooper Street, Suite 300, Ottawa, ON Canada, K2P 2H7 Tel.: (613) 730-5709 Fax: (613) 730-1136 E-Mail: petryshyn@fotenn.com	PROJECT DEVELOPER <i>2 Robinson Property Limited Partnership.</i> 88 Albert Street Ottawa, Ontario K1P 5E9 Cell (416) 903-1377 Email: kwaugh@prncedev.com
WIND / SOUND ENGINEER Gradient Wind 127 Walgreen Road, Ottawa, ON, Canada K0A 1L0 Tel.: (613) 836-0934 ext. 116 Cell: (613) 256-5273 E-Mail: joshua.foster@gradientwind.com	CIVIL ENGINEER Novatech Eng. Consultants Ltd. 200 - 240 Michael Cowpland Drive Ottawa, Ontario, K2M 1P6 Tel: 613 254-9643 Fax: 613 254-5867 Email: f.hauvette@novatech-eng.com	LEGAL DESCRIPTION TOPOGRAPHICAL PLAN OF SURVEY OF PART OF LOT F CONCESSION D (RIDEAU FRONT) GEOGRAPHIC TOWNSHIP OF NEPEAN CITY OF OTTAWA Prepared by Annis, O'Sullivan, Vollebekk Ltd.
GEOTECHNICAL ENGINEER Paterson Group 154 Colonnade Road South Ottawa, Ontario, K2E 7J5 Tel: (613) 226-7381 Ext. 233 Fax: (613) E-Mail: MBeaudoin@patersongroup.ca	TRANSPORTATION ENGINEER Novatech Eng. Consultants Ltd. 200 - 240 Michael Cowpland Drive Ottawa, Ontario, K2M 1P6 Tel: 613 254-9643 Fax: 613 254-5867 Email: j.luong@novatech-eng.com	SURVEYOR Annis O'Sullivan Vollebekk Ltd. Ontario Land Surveyors 10 Concourse Gate, Suite 500, Nepean, Ontario K2E 7S6 Tel: (613) 727-0850 Fax: (613) 727-1079 E-Mail: AndyS@aovltd.com

 SOFT LANDSCAPE
 CONCRETE WALKING SURFACE
 ASPHALT PATH
 EXISTING WOODED AREA
 PROPOSED PARKLAND

1	PROPERTY LINE	23	CAR SHARE SPACE
2	HARD SURFACE PAVING, WIDTH AS NOTED	24	EXISTING TREE TO BE PRESERVED
3	CONCRETE SIDEWALK WITH DEPRESSED CURB	25	PROPOSED SERVICES
4	SOFT LANDSCAPING, SEE LANDSCAPE PLAN	26	EXISTING RETAINING WALL TO REMAIN
5	OUTLINE OF TOWER ABOVE	27	EXISTING STREET LIGHT POLE, RELOCATE AS REQUIRED
6	1 STOREY PODIUM LEVEL	28	BICYCLE RACK, SEE LANDSCAPE FOR DETAILS
7	6 STOREY PODIUM LEVEL	29	EXISTING 2.1m WIDE CITY SIDEWALK
8	OUTLINE OF PRIVATE TERRACE ABOVE	30	CATCH BASIN
9	PARKING GARAGE RAMP WITH DRENCH DRAIN IF REQUIRED	31	EXISTING RETAINING WALL TO BE REMOVED
10	OUTLINE OF BELOW GRADE PARKING GARAGE	32	FIRE HYDRANT
11	1.8m WIDE ASPHALT PEDESTRIAN PATH	33	SIAMESE CONNECTION
12	AT GRADE PRIVATE PATIO WITH LOW FENCE	34	PARKING GARAGE INTAKE / EXHAUST GRILL
13	AT GRADE COMMUNAL TERRACE	35	NATURAL GAS EQUIPMENT WITH BOLLARDS
14	3m WIDE ASPHALT PATH	36	PEDESTRIAN CROSS WALK WITH DEPRESS CURBS
15	EXISTING 1.8m WIDE ASPHALT PEDESTRIAN PATH	37	SITE FURNITURE - SEE LANDSCAPE FOR DETAILS
16	EXISTING BUILDINGS ON ADJACENT PROPERTY	38	MOUNTABLE CURB
17	EXISTING WOODED AREA TO REMAIN	39	SITE LIGHTING
18	RETAINING WALL WITH GUARD RAIL AS REQUIRED	40	NEW SIGNALIZED INTERSECTION
19	LOADING / SERVICE BAY / GARAGE PICK-UP	41	ACCESSIBLE PARKING SPACES
20	OUTLINE OF EXISTING BUILDING TO BE REMOVED	42	WALL MOUNT LIGHT FIXTURE
21	EXISTING CHAIN LINK FENCE TO BE REMOVED	43	PASSANGER LOADING ZONE (PLZ) - NO PARKING SIGN
22	EXISTING TREE TO BE REMOVED		

23	CAR SHARE SPACE
24	EXISTING TREE TO BE PRESERVED
25	PROPOSED SERVICES
26	EXISTING RETAINING WALL TO REMAIN
27	EXISTING STREET LIGHT POLE, RELOCATE AS REQUIRED
28	BICYCLE RACK, SEE LANDSCAPE FOR DETAILS
29	EXISTING 2.1m WIDE CITY SIDEWALK
30	CATCH BASIN
31	EXISTING RETAINING WALL TO BE REMOVED
32	FIRE HYDRANT
33	SIAMESE CONNECTION
34	PARKING GARAGE INTAKE / EXHAUST GRILL
35	NATURAL GAS EQUIPMENT WITH BOLLARDS
36	PEDESTRIAN CROSS WALK WITH DEPRESS CURBS
37	SITE FURNITURE - SEE LANDSCAPE FOR DETAILS
38	MOUNTABLE CURB
39	SITE LIGHTING
40	NEW SIGNALIZED INTERSECTION
41	ACCESSIBLE PARKING SPACES
42	WALL MOUNT LIGHT FIXTURE
43	PASSANGER LOADING ZONE (PLZ)- "NO PARKING" SIGN

BUILDING 'A' - 450 UNITS	
GARBAGE	0.110 Y ² PER UNIT
RECYCLING - GMP	0.018 Y ² PER UNIT
RECYCLING - FIBRE	0.038 Y ² PER UNIT
ORGANICS	1 - 240 L BIN PER PER 50 UNITS
BUILDING 'B' - 369 UNITS	
GARBAGE	0.110 Y ² PER UNIT
RECYCLING - GMP	0.018 Y ² PER UNIT
RECYCLING - FIBRE	0.038 Y ² PER UNIT
ORGANICS	1 - 240 L BIN PER PER 50 UNITS
BUILDING 'C' - 369 UNITS	
GARBAGE	0.110 Y ² PER UNIT
RECYCLING - GMP	0.018 Y ² PER UNIT
RECYCLING - FIBRE	0.038 Y ² PER UNIT
ORGANICS	1 - 240 L BIN PER PER 50 UNITS
BUILDING 'D' - 346 UNITS	
GARBAGE	0.110 Y ² PER UNIT
RECYCLING - GMP	0.018 Y ² PER UNIT
RECYCLING - FIBRE	0.038 Y ² PER UNIT
ORGANICS	1 - 240 L BIN PER PER 50 UNITS