1050 TAWADINA ROAD

SITE PLAN CONTROL RESPONSE 4

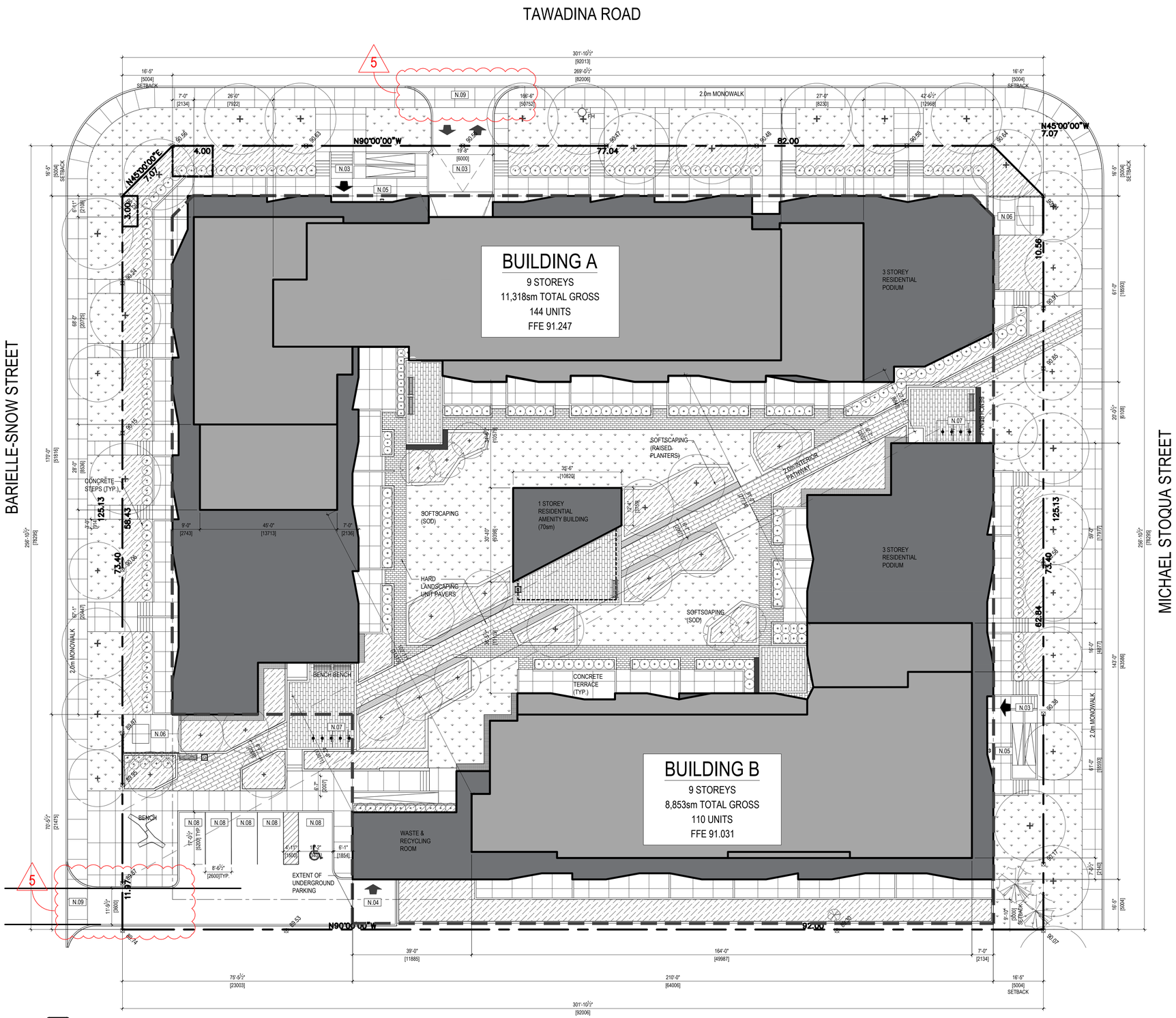
MAY 31, 2024

DRAWING LIST:

SPC.000	COVER
SPC.100	SITE PLAN
SPC.P01	PARKADE 1 PLAN
SPC.101	MAIN FLOOR PLAN
SPC.102	SECOND FLOOR PLAN
SPC.103	THIRD FLOOR PLAN
SPC.104	FOURTH FLOOR PLAN
SPC.105	FIFTH FLOOR PLAN
SPC.106	SIXTH FLOOR PLAN
SPC.107	SEVENTH FLOOR PLAN
SPC.108	EIGHT FLOOR PLAN
SPC.109	NINTH FLOOR PLAN
SPC.110	ROOFPLAN
SPC.111	PATIO DETAIL
SPC.200	BUILDING SECTION
SPC.201	BUILDING SECTION
SPC.300	ELEVATIONS - BUILDING A
SPC.301	ELEVATIONS - BUILDING A
SPC.302	ELEVATIONS - BUILDING B
SPC.303	ELEVATIONS - BUILDING B

FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO



1 SITE PLAN
DP.100 1/16" - 1'-0"

LOCATION PLAN

GENERAL NOTES

A. ALL EXISTING STRUCTURES, RETAINING WALLS AND LANDSCAPING TO BE REMOVED WITHIN COMBINED DEVELOPMENT PARCELS.

B. REFER TO LANDSCAPE PLANS FOR ALL PLANTING AND GROUND COVER INFORMATION & DETAILS.

C. REFER TO WATERIDGE VILLAGE AT ROCKCLIFFE PHASE 2B ISSUED FOR CONSTRUCTION DRAWINGS AS PREPARED BY IBI GROUP 2019.09.10 FOR ALL DESIGN GEODETIC ELEVATIONS ADJACENT TO DEVELOPMENT PERIMETER.

D. ALL EXISTING SITE INFORMATION AS PER TOPOGRAPHICAL SURVEY PLAN DATED APRIL 5th, 2022 PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD.

E. ALL SITE REHABILITATION OF SIDEWALKS, BUS ZONE APRONS, AND PAVED LANES ARE TO BE COMPLETED AT THE OWNER'S EXPENSE

F. ANY SNOW ACCUMULATED IN SURFACE PARKING AREAS IS TO BE TRUCKED OFF SITE.

G. WASTE & RECYCLING BINS TO BE ROLLED OUT TO BAREILLE-SNOW STREET FOR CURBSIDE COLLECTION

SHEET NOTES

N.01	PROPOSED ELECTRICAL TRANSFORMER LOCATION.
N.02	PARKADE ENTRY RAMP.
N.03	MAIN BUILDING ENTRY
N.04	GARBAGE AND RECYCLING ACCESS
N.05	FIRE DEPARTMENT CONNECTION
N.06	TRANSFORMER
N.07	BIKE PARKING STALLS
N.08	VISITOR PARKING STALLS
N.09	DEPRESSED CURB

ZONING NOTES

CURRENT ZONING: **GM31 H(30)**

TOTAL DEVELOPMENT STATS

LOT OF AREA	7,179 sm
LOT WIDTH	50m
LOT DEPTH	78.3m

	REQUIRED	PROPOSED
SETBACK ALONG TAWADINA ROAD (SIDEYARD)	5m	5m
SETBACK ALONG MICHAEL STOQUA STREET (CORNER/FRONT)	5m	5m
SETBACK ALONG BARIELLE-SNOW STREET (CORNER/FRONT)	5m	5m
INTERIOR SIDEYARD SETBACK (GM31 H(30))	5m	5m
MAXIMUM HEIGHT**	30m	29.5m
MINIMUM NUMBER OF STOREYS	2	9
***At least half of the total land area of each block will have a maximum building height of 20m (as per Wateridge Village Guide)*		
MAXIMUM FLOOR PLATE AREA ABOVE 20m	750sm	677sm-742sm
TOTAL BUILDING AREA	20,171sm	
TOTAL UNITS	254 UNITS	

BUILDING A - DEVELOPMENT STATS
NUMBER OF STOREYS **9**
TOTAL UNITS **144**

FLOOR	GROSS AREA
MAIN	1,922sm
2 FLR	1,977sm
3 FLR	1,977sm
4 FLR	1,201sm
5 FLR	1,105sm
6 FLR	1,105sm
7 FLR	677sm
8 FLR	677sm
9 FLR	677sm
TOTAL	**11,318sm**

BUILDING B - DEVELOPMENT STATS
NUMBER OF STOREYS **9**
TOTAL UNITS **110**

FLOOR	GROSS AREA
MAIN	1,423sm
2 FLR	1,331sm
3 FLR	1,331sm
4 FLR	900sm
5 FLR	900sm
6 FLR	742sm
7 FLR	742sm
8 FLR	742sm
9 FLR	742sm
TOTAL	**8,853sm**

VEHICULAR PARKING
MIN. 0.5 RESIDENTIAL STALLS/ RESIDENCE UNIT
- FIRST 12 SPACES/ BUILDING
(254 -(2*12))*0.5 =115 REQUIRED

MAX. 40% COMPACT = 76 PROPOSED
MAX. 5% MOTORCYCLE = 5 PROPOSED
STANDARD = 85 PROPOSED
TOTAL RESIDENTIAL STALLS* **= 166 PROPOSED***
**Located in underground parking garage*

MIN. 0.1 VISITOR STALLS/ RESIDENCE UNIT
-FIRST 12 SPACES/LOT
(254-12)*0.1 =25 REQUIRED
=25 PROPOSED**
*** 5 Stall provided at-grade and 20 in underground parking garage*

TOTAL PARKING PROVIDED **= 191 STALLS**

** Note 5 of the 195 stalls are proposed as barrier free*

BICYCLE PARKING
REQUIRED:
MIN. 0.5 STALLS/ RESIDENCE UNIT =127 SPACES

PROPOSED:
UNDERGROUND =138 SPACES
EXTERIOR =18 SPACES
TOTAL =156 SPACES

AMENITY SPACE REQUIREMENTS:
REQUIRED AMENITY SPACE = 6sm/ RESIDENCE UNIT
254 UNITS x 6sm = 1524sm TOTAL AMENITY REQUIRED
MIN. 50% REQUIRED TO BE COMMUNAL = 762sm
PROVIDED COMMUNAL AMENITY SPACE = 1830sm
PROVIDED PRIVATE AMENITY = 654sm
TOTAL PROVIDED AMENITY SPACE = 2484sm

FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO

PROJECT TEAM

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ENVIRONMENTAL
ENGLOBE
ANDREW NAOUM
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RELEASES

NO.	DESCRIPTION	DATE
05	SPC RESPONSE 4	05.30.24
04	SPC RESPONSE 3	04.09.24
03	SPC RESPONSE	01.19.24
02	ISSUED FOR SPC	02.28.23
01	ISSUED FOR CLC	10.24.22

PROJECT NAME
1050 TAWADINA RD
WATERIDGE

MUNICIPAL ADDRESS
1050 TAWADINA RD
OTTAWA, ON

LEGAL ADDRESS
PART OF BLOCK 11
REGISTERED PLAN 4M-1651
CITY OF OTTAWA
ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 2022

PROJECT NO.
22.01.W.U.

DRAWN:	CHECKED:
LB	JA

DATE	SCALE
24.01.19	AS NOTED

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
SPC.100

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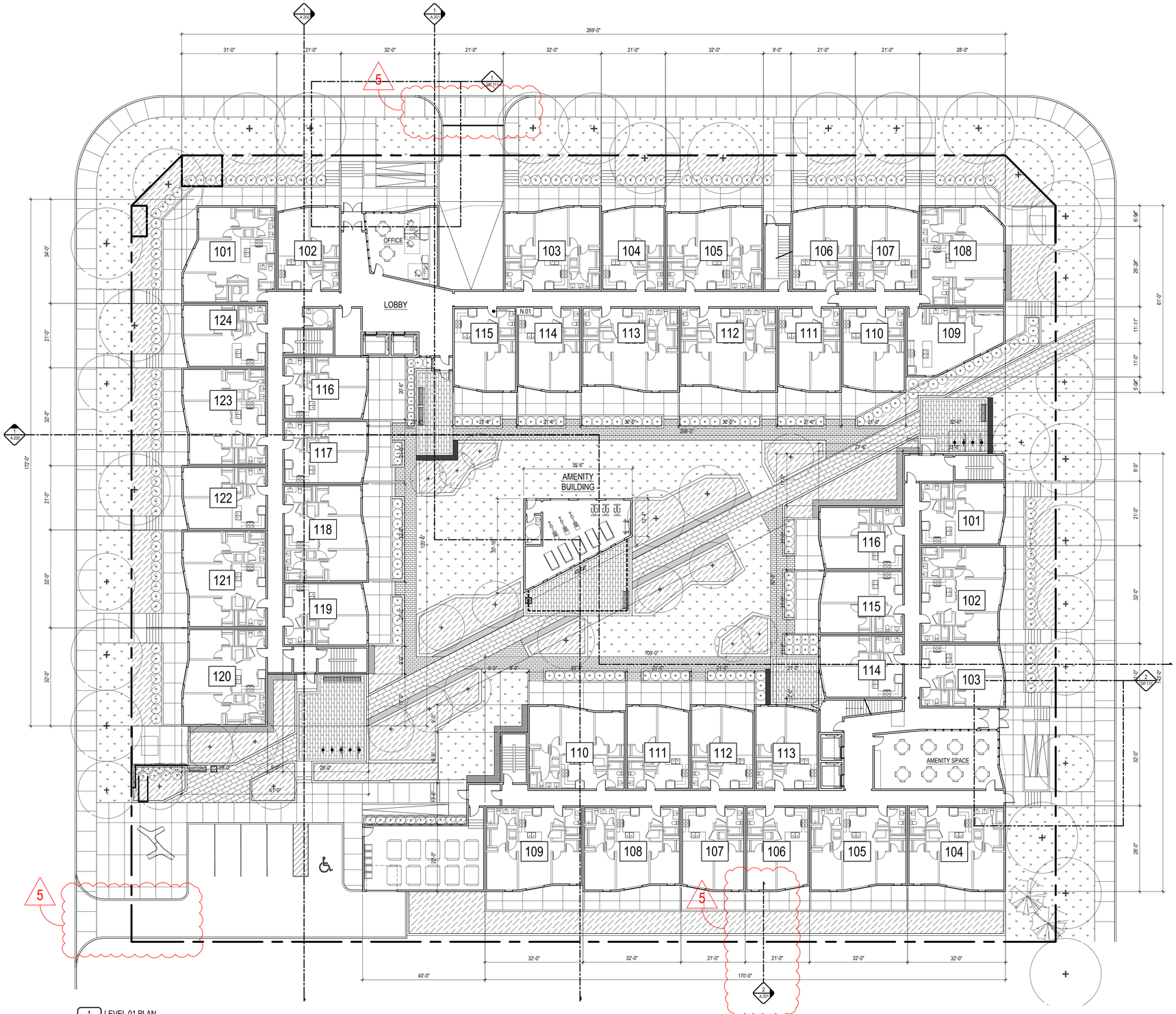
#18332



1 LEVEL 01 PLAN
DP.101 1/16" - 1'-0"

FAAS

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PROJECT NO.
22.01.W.U.

DRAWN: LB
CHECKED: JA

DATE: 24.01.19
SCALE: AS NOTED

DRAWING TITLE
LEVEL 01 PLAN

DRAWING NUMBER
SPC.101

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SD7.0 (1X36X24)
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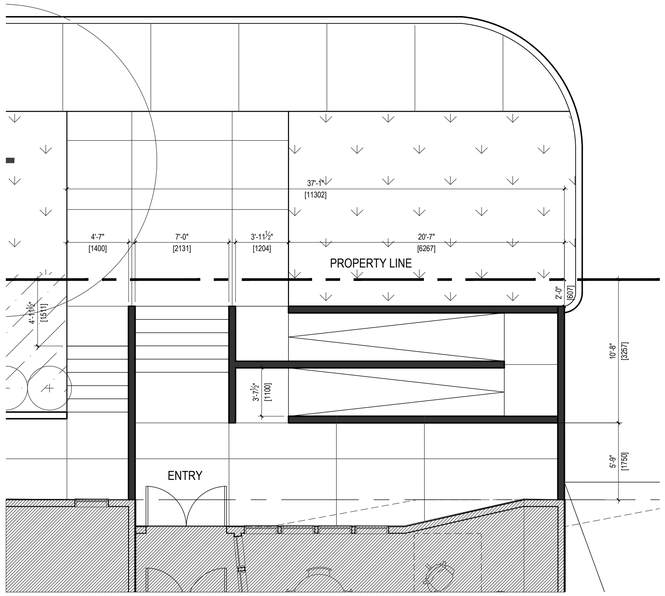
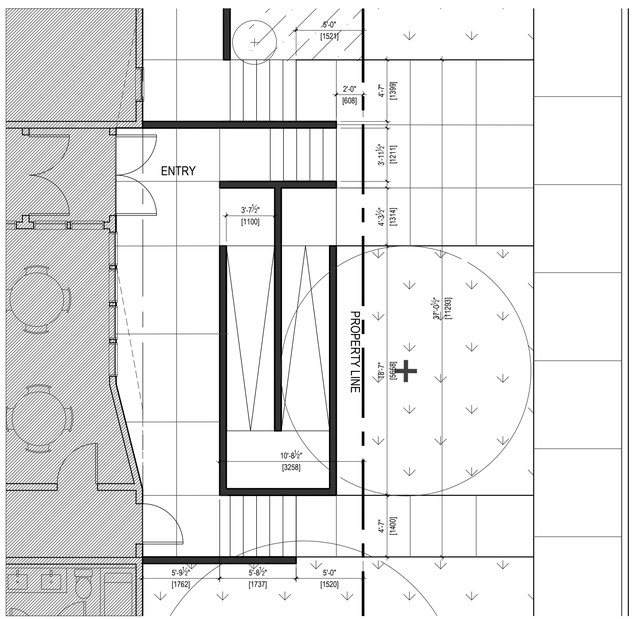
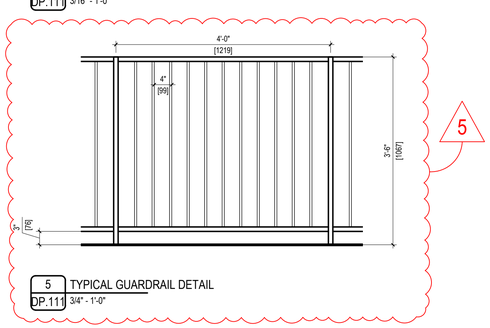
TAWADINA ROAD



1 BUILDING A ENTRANCE
DP.111 3/16" - 1'-0"



2 BUILDING B ENTRANCE
DP.111 3/16" - 1'-0"



5 TYPICAL GUARDRAIL DETAIL
DP.111 3/4" - 1'-0"

MICHAEL STOQUA STREET

3 TYPICAL PATIO
DP.111 NTS

4 PARKADE ENTRANCE
DP.111 NTS

FAAS

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 2022

PROJECT NO.
22.01.W.U.

DRAWN	CHECKED
LB	JA

DATE	SCALE
24.01.19	AS NOTED

DRAWING TITLE
PATIO DETAIL

DRAWING NUMBER
SPC.111

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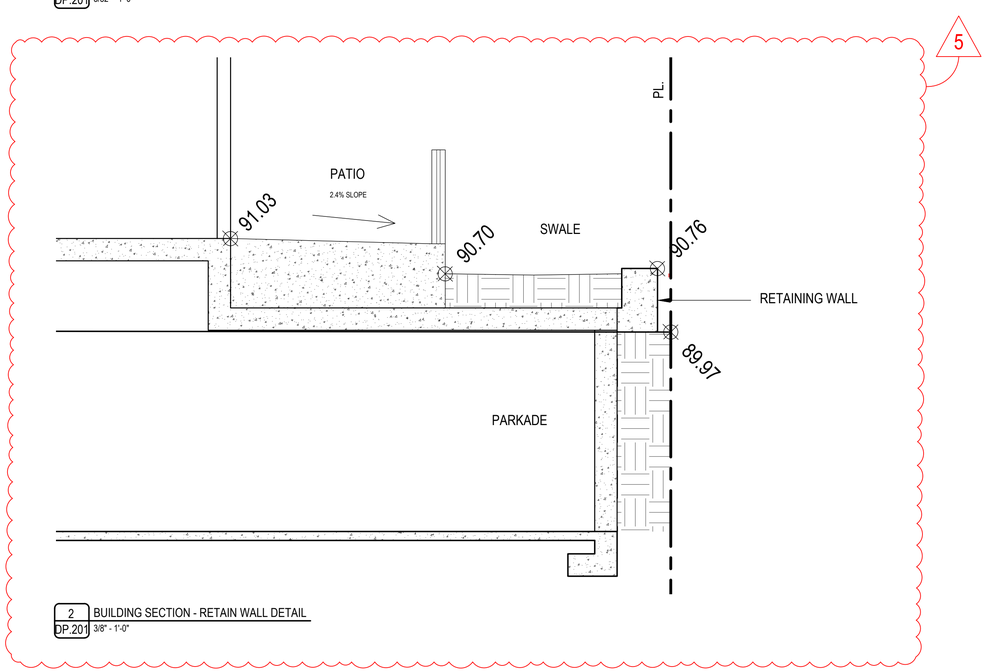
SPC-V3-X-1083
#18332

1 DP.201 BUILDING SECTION NO.2
3/32" - 1'-0"



2 DP.201 BUILDING SECTION - RETAIN WALL DETAIL
3/8" - 1'-0"

SHEET NOTES

N.01	PLANTER BOX, 4'-0" HEIGHT

FAAS

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CITY OF OTTAWA
ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 2022

PROJECT NO.
22.01.W.U.

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LB	JA

DATE	SCALE
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DRAWING TITLE
BUILDING SECTION 02

DRAWING NUMBER
SPC.201

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SPC 13.3.5(3)(C)

#18332

1 BUILDING B - SOUTH ELEVATION
DP.302 3/32" - 1'-0"

2 BUILDING B - EAST ELEVATION
DP.302 3/32" - 1'-0"

FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO

EXTERIOR FINISHES LEGEND

A -BRICK

A1 BRICK VENEER - TAN

B - CEMENTITIOUS PANEL

B1 CEMENTITIOUS LAPSIDING WITH EZ TRIM: DARK GREY

B2 CEMENTITIOUS PANEL - WHITE

B3 CEMENTITIOUS LAPSIDING WITH EZ TRIM: WOOD GRAIN

C - METAL

C1 METAL ALUMINUM GUARDRAIL - BLACK

D - GLAZING

D1 GLASS GUARD RAIL

SHEET NOTES

N.01 ALL TRANSLUCENT BALCONY GUARDRAILS TO BE OBSCURED TEXTURE

PROJECT TEAM

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DRAWING TITLE
BUILDING B
ELEVATIONS

DRAWING NUMBER
SPC.302

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SD-3.12.0003
#18303

1 DP.303 BUILDING B - WEST ELEVATION
3/32" - 1'-0"

2 DP.303 BUILDING B - NORTH ELEVATION
3/32" - 1'-0"

FAAS

FORMED ALLIANCE ARCHITECTURE STUDIO

EXTERIOR FINISHES LEGEND

A -BRICK

A1 BRICK VENEER - TAN

B - CEMENTITIOUS PANEL

B1 CEMENTITIOUS LAPSIDING WITH EZ TRIM: DARK GREY

B2 CEMENTITIOUS PANEL - WHITE

B3 CEMENTITIOUS LAPSIDING WITH EZ TRIM: WOOD GRAIN

C - METAL

C1 METAL ALUMINUM GUARDRAIL - BLACK

D - GLAZING

D1 GLASS GUARD RAIL

SHEET NOTES

N.01 ALL TRANSLUCENT BALCONY GUARDRAILS TO BE OBSCURED TEXTURE

PROJECT TEAM

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ANNIS, O'SULLIVAN, VOLLEBEKK LTD. 2022

PROJECT NO.
22.01.W.U.

DRAWN:	CHECKED:
LB	JA

DATE:	SCALE:
24.01.19	AS NOTED

DRAWING TITLE

BUILDING B
ELEVATIONS

DRAWING NUMBER

SPC.303

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SPC 23 LA303

#18332