



KEY PLAN

GROSS FLOOR AREA (BY-LAW 200-208)	
Level	Area
LEVEL Ground floor	789.8 m ²
LEVEL 2	1 033.9 m ²
LEVEL 3	1 727.5 m ²
LEVEL 4	1 727.5 m ²
LEVEL 5	1 727.5 m ²
LEVEL 6	1 727.5 m ²
LEVEL 7	1 727.5 m ²
AMENITY AREA	
Level	Area
COMMONAL INTERIOR	1164.4 m ²
LEVEL Ground floor	1164.4 m ²
LEVEL 2	000 SPA → 48.1 m ²
COMMONAL	→ 379.9 m ²
COMMONAL EXTERIOR	1942.9 m ²
LEVEL Ground floor	175.1 m ²
LEVEL 2	542.1 → 373.3 m ²
WEST	→ 494.1 m ²
COMMONAL TOTAL	1164.4 m ² + 1942.9 m ² = 3107.3 m ²
PRIVATE	
TERRACE (BALCONY)	1545.7 m ²
LOGGIA	
PRIVATE TOTAL	1545.7 m ²
GRAND TOTAL	2108.9 m ² + 1545.7 m ² = 3754.6 m ²
LANDSCAPE AREA (BY-LAW 200-208)	
Level	Area
Ground floor	159 m ²
Grand Total	33 028.4 m ²

ZONING MECHANISM	
MIN. LOT AREA & WIDTH	REQUIRED / PROPOSED / COMPLIANCE
MIN. LOT AREA & WIDTH	NO MIN. ON ALL SIDES
MIN. SETBACKS	A-0.00 m B-5.50 m C-7.50 m D-7.50 m E-8.04 m
BUILDING HT.	PER SCHEDULE 33 - 140 m → 155.1 m 150.7 m to 153.0 m

MIN. PARKING	
AREA 1 ON SCHEDULE 1A	REQUIRED / PROPOSED / COMPLIANCE
RESIDENTIAL 0	38
VISITOR 30 SPACES	0
COMMERCIAL 0	0
MAX. PARKING	879
PARKING SPACE DIMENSION	REFER TO PLANS
PERCENTAGE OF SMALL SPACES	24%
ACCESSIBLE PARKING REQUIREMENTS	REFER TO PLANS
DRIVEWAY WIDTH	REFER TO PLANS

ZONING MECHANISM	
ASBLE WIDTH	REQUIRED / PROPOSED / COMPLIANCE
ASBLE WIDTH	TWO-WAY MIN. 6m NOT IN PARKING LOT OR GARAGE 2.8m
BICYCLE PARKING	RESIDENTIAL 200 SPACES RETAIL 2 SPACES MAX. 140 VERTICAL
BICYCLE PARKING DIMENSIONS	HORIZONTAL: 0.9m (W/1.8L) VERTICAL: 3.0m (W/1.5L) MUST BE ACCESSED VIA AN ASBLE AT LEAST 1.5M
LOADING SPACE	NONE
LOADING SPACE DIMENSIONS	REFER TO PLANS
AMENITY AREA	3 516 m ² 1 758 m ² AS COMMONAL AREA
PERMITTED PROJECTIONS OVER THE HEIGHT LIMIT	NO PROJECTION

DEVELOPMENT INFORMATION	
DESCRIPTION	PROPOSED
TOTAL LOT AREA (PART 1 + PART 2)	8 910.7 m ²
GFA PART 1 (269 LAURIER)	28 057 m ²
GFA PART 2 (170 SLATER)	33 028.4 m ²
TOTAL GFA	61 085.4 m ²
MAXIMUM GFA PERMITTED	71 321.0 m ²

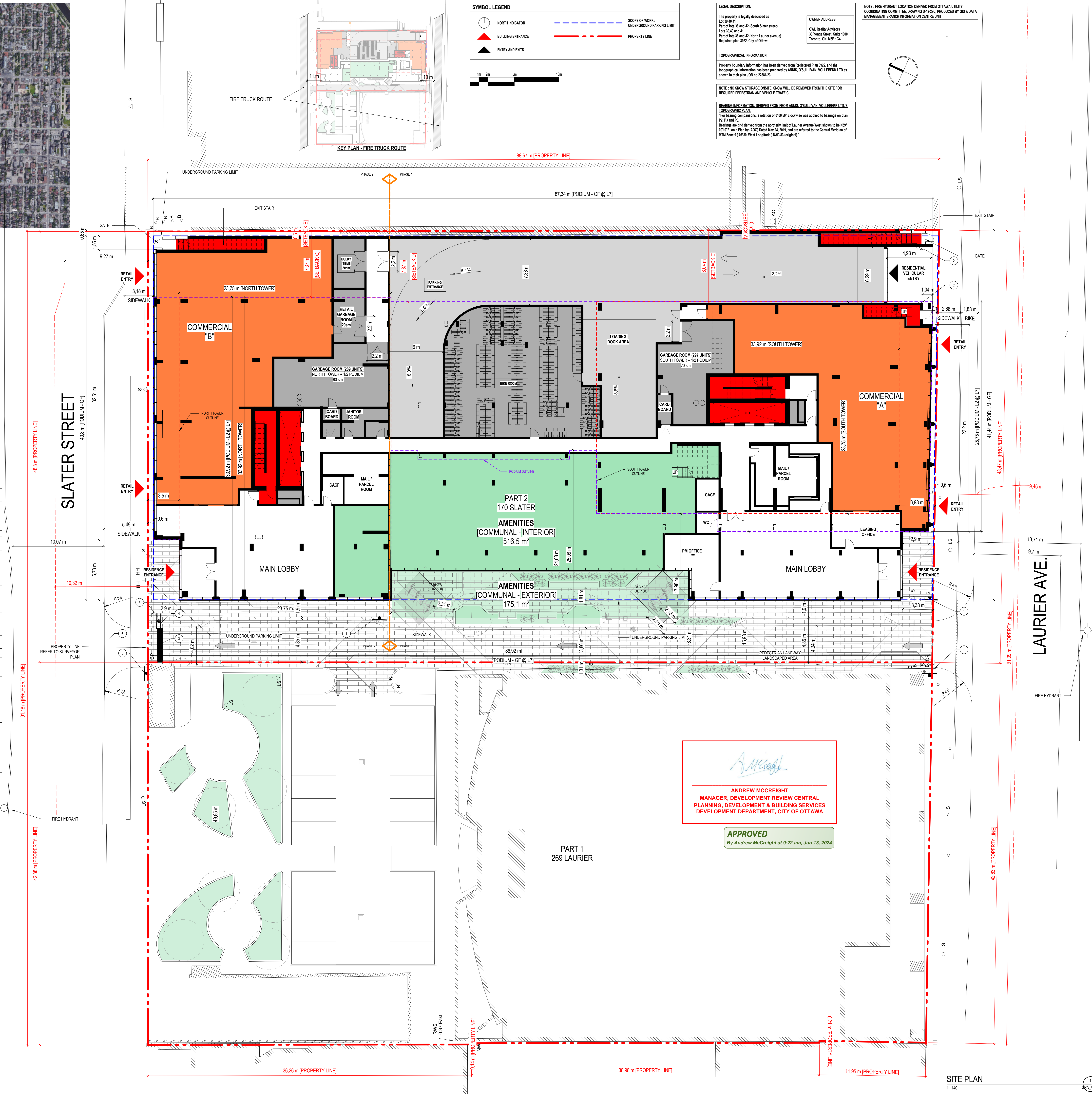
NO. OF RESIDENTIAL UNITS						
STUDIO	1BR	1BR+D	2BR	2BR-D	3BR	TOTAL
61	301	37	108	7	22	586

Number of suites required to be barrier-free: 586 units x 1% = 58.6 units have to be barrier-free. They will be distributed throughout the 26 floors.

1. floor area occupied by shared mechanical, service and electrical equipment that serves the building (By-law 200-208)
2. common hallway, corridors, stairwells, elevator shafts and other voids, stairs and landings (By-law 200-208) (By-law 2017-303)
3. bicycle parking, room without galling or loading facilities
4. common laundry, storage and washroom facilities that serve the building or tenants
5. common storage areas that are accessible to the principal use of the building (By-law 200-208)
6. common amenity and play areas accessory to a principal use on the lot and (By-law 200-208)
7. living quarters for a caretaker of the building (surplus de plancher hors oeuvre brute)

Footprint means the area of the ground floor of a building, measured from the exterior of the columned walls, including an attached garage but excluding any projections. (Footprint) (By-law 2016-336)

1. SIGNAGE ONE WAY
2. CONVEX MIRRORS
3. SIGNAGE 60cm SOLID WHITE STOP BAR
4. SIGNAGE STOP
5. SIGNAGE DO NOT ENTER
6. PROPOSED ACCESS (EXISTING CURB DEMO)



Andrew McCreight
ANDREW MCCREIGHT
 MANAGER, DEVELOPMENT REVIEW CENTRAL
 PLANNING, DEVELOPMENT & BUILDING SERVICES
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Andrew McCreight at 9:22 am, Jun 13, 2024

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- STRUCTURAL ENGINEER / INGENIEUR EN STRUCTURE**
Cleland Jardine Eng. Ltd.
 800 Terry Fox Blvd. Suite 100, Ottawa ON K2L 4K6
 613 951 1533 clelandjardine.com
- M/E/LEC ENGINEER / INGENIEUR M/E/LEC**
Goodkey Weedmark & Asso. Ltd.
 1000 Wellington Street, Ottawa ON K2P 2R6
 613 727 2111 goodkey.com
- LAND SURVEYOR / ARCHITECTURE DE GEOMETRIE**
Annis O'Sullivan Vollebek
 1250 Carleton Place, Suite 100, Ottawa ON K2L 1P9
 613 727 4362 anosullivan.com
- LANDSCAPE ARCHITECT / ARCHITECTURE DE PAYSAGE**
James B. Lennox & Associates Inc.
 1333 Carleton Place, Ottawa ON K2L 1A6
 613 722 2168
- CIVIL ENGINEER / INGENIEUR EN CIVIL**
NOVATECH
 2400 Bank Street, Suite 200, Ottawa ON K2P 1K9
 613 224 9643 novatech-eng.com
- ARCHITECTS / ARCHITECTES**
NEUF architect(e)s INC.
 400, Ave. Jean-Jacques, Ottawa, Ontario, Canada K2H 1S6
 T 613 847 1117 NEUF@neuf.com
- SEAL / SCAL**

ASSOCIATION of ARCHITECTS
NEUF ARCHITECTS INC.

NEUF ARCHITECTE(S)

NEUF ARCHITECTS INC.

GWL REALTY ADVISORS

PROJECT OVERAGE

170 SLATER

LOCATION / EMPLACEMENT: OTTAWA PROJECT NO. / NO. PROJET: 12980.00

NO.	REVISION / REVISION	DATE (yy-mm-dd) (aa-mm-jj)
0	FOR COMMENTS	2023.05.27
1	SITE PLAN APPROVAL - R1	2023.07.18
2	SITE PLAN APPROVAL - R1	2023.12.07
3	SITE PLAN APPROVAL - R2	2024.01.11
4	SITE PLAN APPROVAL - R3	2024.04.25

SITE PLAN

11-140

4 SPA A103

#19101
 D07-12-24-0026