

RE-ISSUED FOR SITE PLAN APPROVAL
2024.06.04

APPROVED
By Lily Xu at 3:23 pm, Jun 12, 2024



LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA

THE NUKK
652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN
OC2553461
CITY OF OTTAWA, ON.

OWNER	NUKK Developments																																																																																																															
NAME OF PROJECT:	The NUKK																																																																																																															
LOCATION:	652 Flagstaff Drive																																																																																																															
ITEM	BUILDING CODE DATA MATRIX										Ontario OBC REFERENCE References are to Division B unless noted [A] for Division A or [C] for Division C.																																																																																																					
1	Project Description:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration									PART 3																																																																																																					
2	Major Occupancy(s)	GROUP E									3.1.2.1.(1)																																																																																																					
3	Gross Building Area (m2)	Existing:	---	m ²	New:	1,347	m ²	Total:	1,347	m ²	1.1.3.2																																																																																																					
4	Net Area (m2)	Existing:	---	m ²	New:	1,185	m ²	Total:	1,185	m ²	1.1.3.2																																																																																																					
5	Number of Storeys Above Grade:	1									3.2.1.1 & 1.1.3.2																																																																																																					
5b	Building Height:	11.5m									3.1.1.10 & 3.2.5.5																																																																																																					
6	Number of Streets Building is Facing:	2									3.2.2.62																																																																																																					
6b	Number of Fire Fighter Access Lanes:	2									3.2.1.5 3.2.2.20-83 3.2.2.17 3.2.9 3.2.4 3.2.6 3.2.2.20-83																																																																																																					
7	Building Classification:	GROUP D, E									3.2.1.1(3)-(8)																																																																																																					
8	Sprinkler System Proposed:	<input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Basement Only <input type="checkbox"/> Not Required									3.2.2.20-83 & 3.2.1.4																																																																																																					
9	Standpipe & Hose Required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No									3.8																																																																																																					
10	Fire Alarm Required:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No									3.3.1.2.(1) & 3.3.1.19.(1)																																																																																																					
11	Water Service/Supply is Adequate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No									3.2.10-83 & 3.2.1.4																																																																																																					
12	High Building:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																																																																																																														
13	Construction Restrictions:	<input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both																																																																																																														
14	Actual Construction:	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both																																																																																																														
14	Mezzanine(s):	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Mezzanine(s) Area (m2)																																																																																																														
15	Occupant load based on:	DESIGN OF BUILDING - ALTERATION																																																																																																														
		Occupancy	# of Bedrooms	Persons/Room	Occupant Load																																																																																																											
	Basement	N/A	N/A	N/A	N/A																																																																																																											
	1st Floor	D, E	N/A	N/A	360																																																																																																											
	2nd Floor	N/A	N/A	N/A	N/A																																																																																																											
	Total:	N/A	N/A	N/A	360																																																																																																											
16	Barrier-Free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)																																																																																																														
17	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																																																																																																														
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Listed Design No. or Description (SG-2) Floors: N/A Roof: N/A Mezzanine: N/A FRR of Supporting Members (Hours) Listed Design No. or Description (SG-2) Floors: N/A Roof: N/A Mezzanine: N/A																																																																																																														
19	Spatial Separation - Construction of Exterior Walls	<table border="1"> <thead> <tr> <th>BUILDING 1</th> <th>Area of EBF (m2)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>Permitted Max. % of Openings</th> <th>Proposed Max. % of Openings</th> <th>MIN. FRR (Hours)</th> <th>Listed Design or Description</th> <th>Type of Construction Required</th> <th>Type of Cladding Required</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>111.6m2</td> <td>1m</td> <td>15.3/7.3</td> <td>8%</td> <td>0%</td> <td>2h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>EAST</td> <td>327 m2</td> <td>64m</td> <td>44.6/7.3</td> <td>100%</td> <td>48.9%</td> <td>1h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>SOUTH</td> <td>117.5m2</td> <td>16m</td> <td>44.6/7.3</td> <td>100%</td> <td>16.3%</td> <td>2h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>WEST</td> <td>327m2</td> <td>27m</td> <td>15.3/7.3</td> <td>100%</td> <td>32.1%</td> <td>1h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>BUILDING 2</td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>NORTH</td> <td>321.2m2</td> <td>35.8m</td> <td>44.2/7.3</td> <td>100%</td> <td>44%</td> <td>1h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>EAST</td> <td>110.23 m2</td> <td>14m</td> <td>15.9/7.3</td> <td>92%</td> <td>0%</td> <td>1h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>SOUTH</td> <td>321.2m2</td> <td>16m</td> <td>44.2/7.3</td> <td>100%</td> <td>32%</td> <td>1h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible combustible</td> </tr> <tr> <td>WEST</td> <td>110.23m2</td> <td>6m</td> <td>15.3/7.3</td> <td>33%</td> <td>0%</td> <td>1h</td> <td>---</td> <td>Non combustible combustible</td> <td>Non combustible</td> </tr> </tbody> </table>										BUILDING 1	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed Max. % of Openings	MIN. FRR (Hours)	Listed Design or Description	Type of Construction Required	Type of Cladding Required	NORTH	111.6m2	1m	15.3/7.3	8%	0%	2h	---	Non combustible combustible	Non combustible combustible	EAST	327 m2	64m	44.6/7.3	100%	48.9%	1h	---	Non combustible combustible	Non combustible combustible	SOUTH	117.5m2	16m	44.6/7.3	100%	16.3%	2h	---	Non combustible combustible	Non combustible combustible	WEST	327m2	27m	15.3/7.3	100%	32.1%	1h	---	Non combustible combustible	Non combustible combustible	BUILDING 2										NORTH	321.2m2	35.8m	44.2/7.3	100%	44%	1h	---	Non combustible combustible	Non combustible combustible	EAST	110.23 m2	14m	15.9/7.3	92%	0%	1h	---	Non combustible combustible	Non combustible combustible	SOUTH	321.2m2	16m	44.2/7.3	100%	32%	1h	---	Non combustible combustible	Non combustible combustible	WEST	110.23m2	6m	15.3/7.3	33%	0%	1h	---	Non combustible combustible	Non combustible	3.2.3
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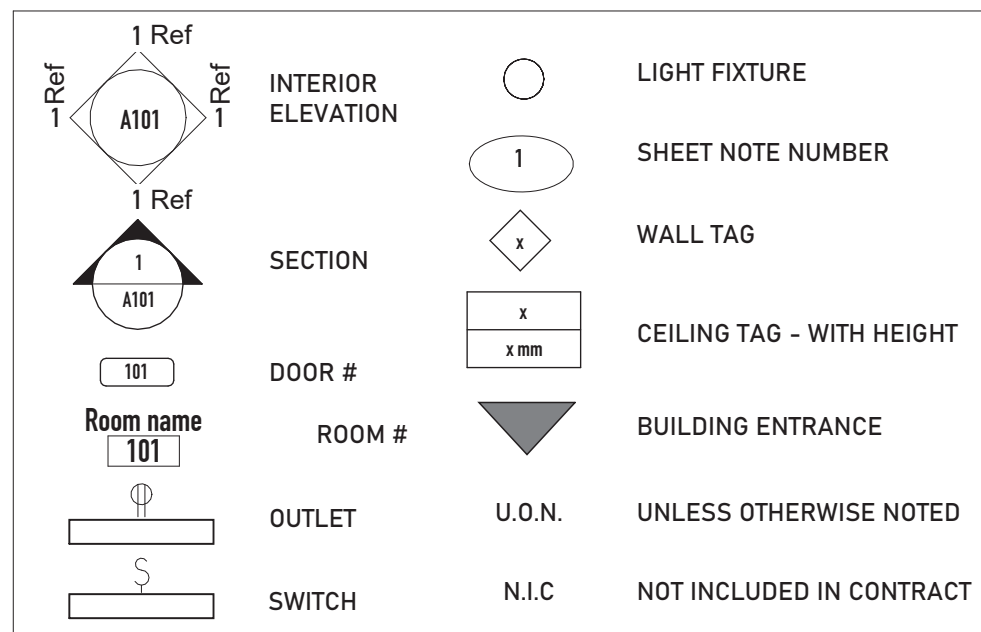
ARCHITECTURAL DRAWINGS

- A302 Unnamed
- SP01 SITE PLAN(Szp-01)
- SP02 SITE PLAN_DETAILS
- A001 GENERAL NOTES
- A100 LEVEL 100 PLAN
- A101 ROOF PLAN
- A200 ELEVATIONS
- A201 ELEVATIONS
- A301 SECTIONS

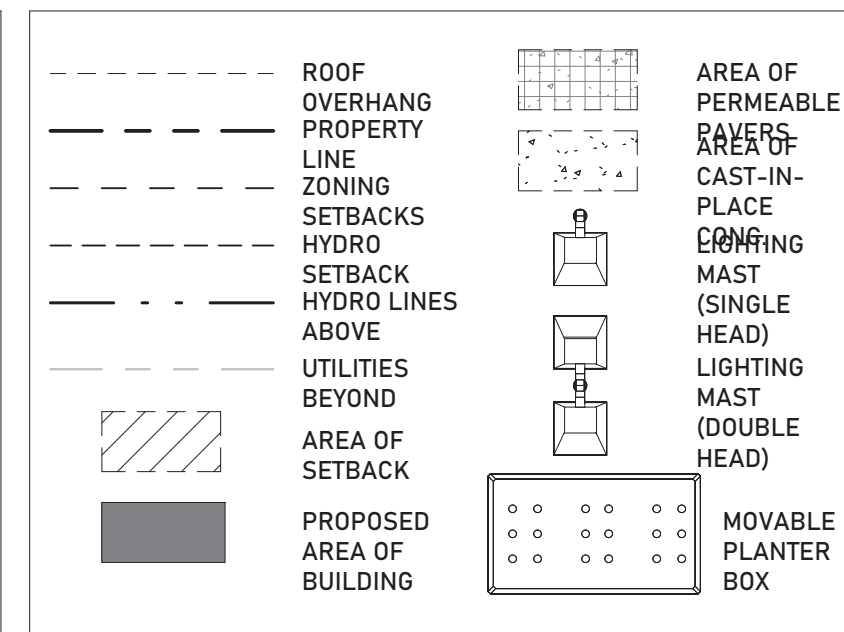
PLANNER FOTENI PLANNING + DESIGN 316 Cooper St. Suite 300, Ottawa, ON K2P 2H7, (613) 730-5709	GEOTECHNICAL ENGINEER LRL ENGINEERING 5430 Carleton Road, Ottawa, ON K1J 9E2 (613) 842-3434	TRANSPORTATION CGH TRANSPORTATION 13 Markham Avenue, Ottawa, ON K2G 3Z1	LANDSCAPE ARCHITECT RUHLAND & ASSOCIATES LTD. 1750 Courtwood Crescent, Suite 200, Ottawa, ON K2C 2B5 (613) 224-4744	WIND + SOUND ENGINEER GRADIENT WIND 127 Waldgreen Road Ottawa, Ontario K0A 1L0 (613) 836-0934	STRUCTURAL ENGINEER DESIGN & SYSTEMS INC. 2378 Holly Lane, Suite 251, Ottawa, ON K1V 1P1 (613) 739-7345
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DRAWING LEGEND



SITE PLAN LEGEND



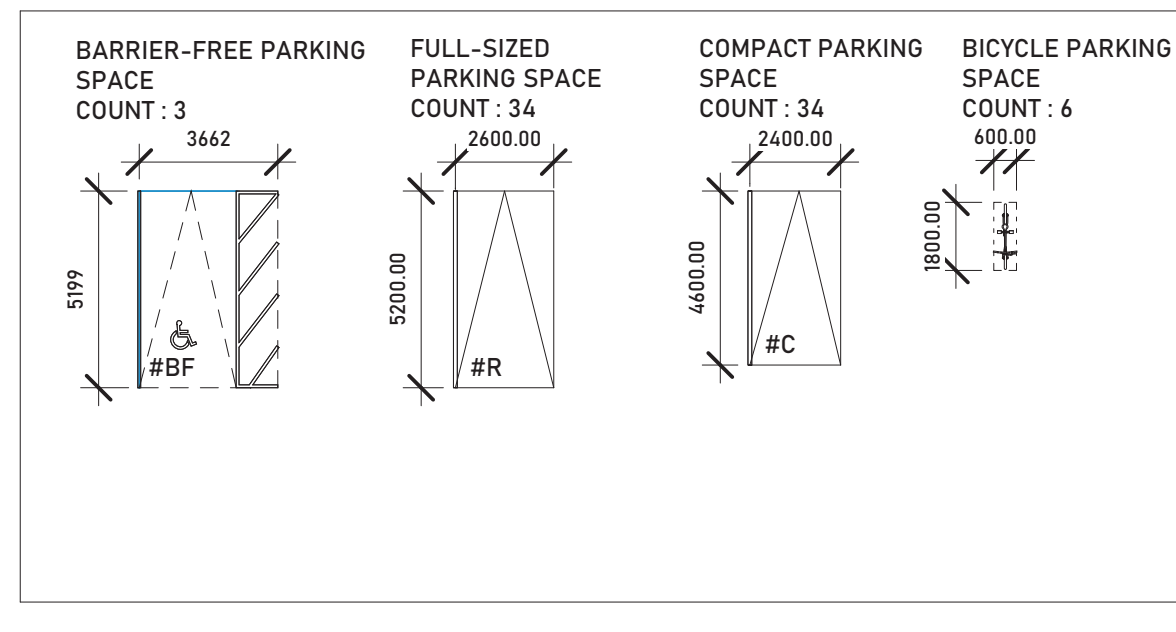
ZONING STATISTICS

ZONE: LC7 [694]	TYPE: LOCAL COMMERCIAL ZONE	REQUIRED	PROVIDED
MIN. LOT WIDTH:	NO MIN.		
MIN. LOT AREA:	NO MIN.	47,248 m ² / 4.72	
MIN. FRONT YARD SETBACK:	3 m	3 m	3 m
MIN. CORNER SIDE YARD SETBACK:	3 m	3 m	3 m
MIN. INTERIOR SIDE YARD SETBACK:	5 m	5 m	5 m
MIN. REAR YARD SETBACK:	NO MINIMUM	5 m	
MIN. LANDSCAPE AREA FRONT YARD:	3 m buffer	3 m buffer	
MAX. BUILDING HEIGHT:	12.5 m	6.97 m	
MAX. FLOOR SPACE INDEX:	NO MAX.	31%	

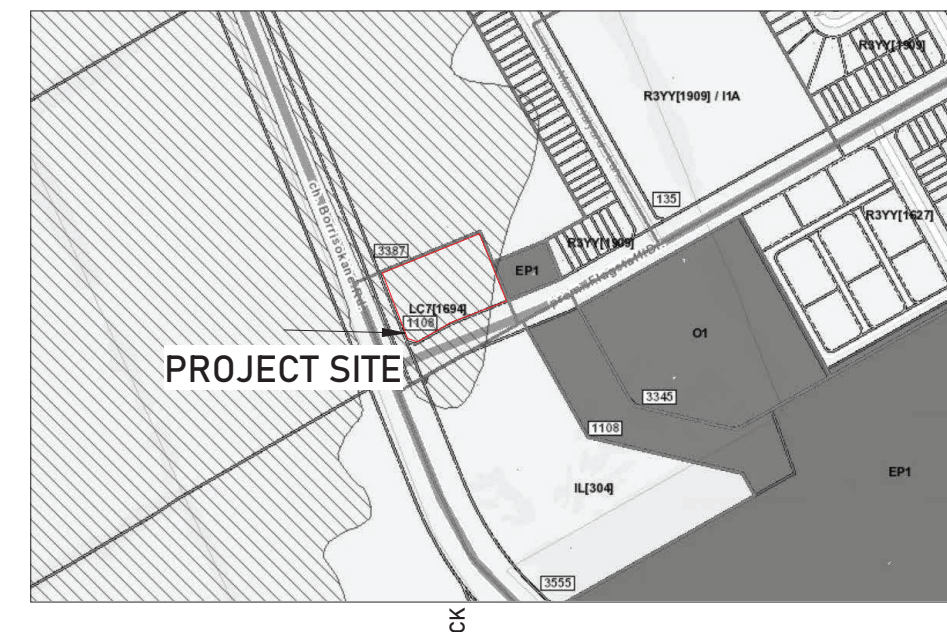
PARKING STATISTICS

ZONE: LC7 [694]	TYPE: LOCAL COMMERCIAL ZONE	REQUIRED	PROVIDED
FULL-SIZED PARKING SPACES (5.2m D x 2.6m W)	3.4 per 100 m ² of gross leasable floor area = 44		33
COMPACT-SIZED PARKING SPACES (4.8m D x 2.4m W)	Max. 50% of Regular sized parking spaces = 35		31
BIKE PARKING SPOTS	1 Space for 20-99 vehicle parking spaces		3
BIKE PARKING SPOTS	1 per 250 m ² of gross floor area = 6		6
MIN. DRIVE AISLE WIDTH	6.7 m	6.7 m	

PARKING SPACE LEGEND

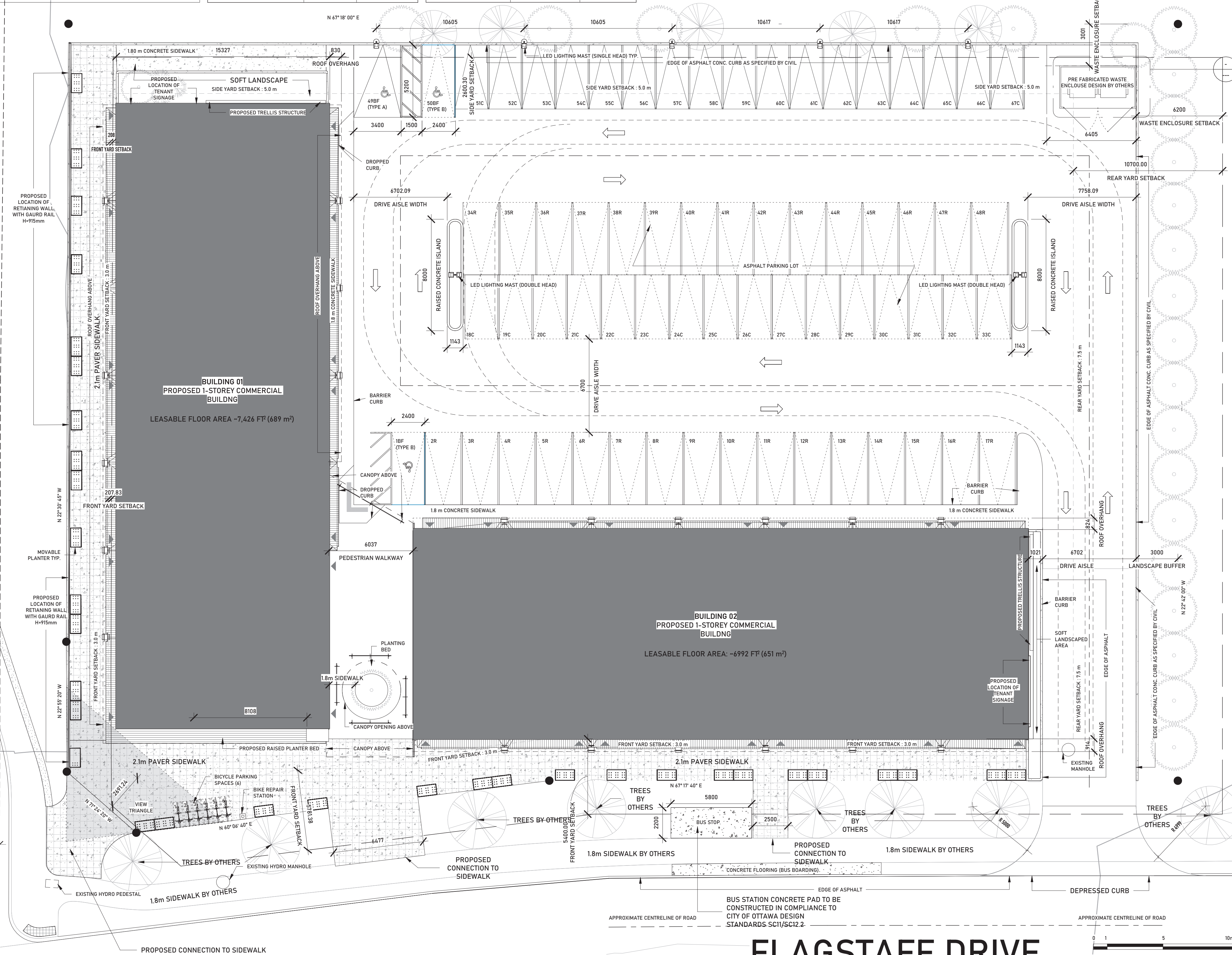


CONTEXT PLAN



NOTE:
 1. SITE PLAN BASED ON TOPOGRAPHIC SURVEY PROVIDED BY: J.D. Barnes Limited, Suite 103, 42 Steacie Drive, Ottawa, ON K2K 2A7, Tel: 613-731-7244, DATE: March 30, 2023
 2. ALL SNOW IS TO BE REMOVED FROM SITE.
 3. ALL PLANTING/LANDSCAPING IN THIS PLAN IS FOR GRAPHICAL PURPOSES ONLY. FOR EXACT SPECIFICATIONS OF PLANT SPECIES, REFER TO LANDSCAPE DRAWINGS.

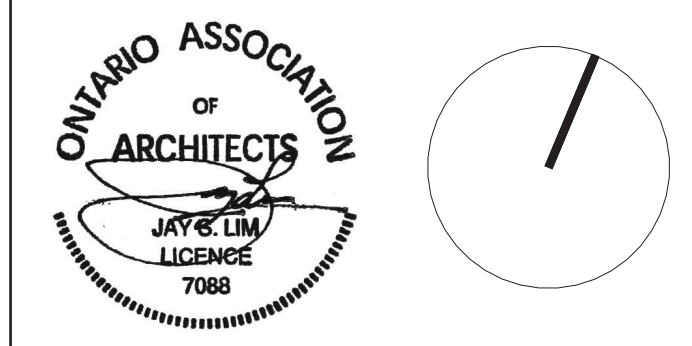
BORRISOKANE ROAD



APPROVED
 By Lily Xu at 3:24 pm, Jun 12, 2024

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, DEVELOPMENT, AND BUILDING SERVICES
 DEPARTMENT, CITY OF OTTAWA

1 SITE PLAN
 1:150



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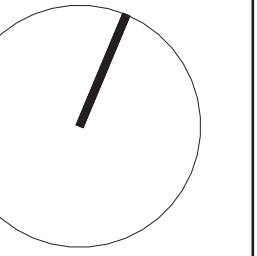
No.	Description	Date
1	ISSUED FOR PRE-DESIGN MEETING	2022.10.19
2	ISSUED FOR CLIENT COORDINATION	2022.11.22
3	ISSUED FOR 75% SK PRESENTATION	2023.02.10
4	ISSUED FOR COORDINATION	2023.03.22
5	ISSUED FOR CIVIL COORDINATION	2023.04.05
6	ISSUED FOR MARKETING PLANS	2023.04.25
7	ISSUED FOR PLANNER COORDINATION	2023.04.24
8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
9	RE-ISSUED FOR COORDINATION	2023.05.26
10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
11	ISSUED FOR 50% DD	2023.06.21
12	ISSUED FOR COORDINATION	2023.07.14
13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23
16	ISSUED FOR PLANNING RESUBMISSION	2024.02.09
17	ISSUED FOR SPA	2024.03.28
18	ISSEUD FOR SPA	2024.6.04

THE NUKK
 652 FLAGSTAFF DRIVE
 BLOCK 66, PLAN 4M1705
 SUBJECT TO AN EASEMENT AS IN OC2553461
 CITY OF OTTAWA, ON.

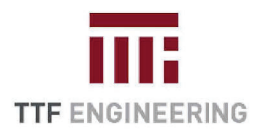
SITE PLAN(Szp-01)

File No.	D07-12-24-0019
Plan No.	# 19106
Project number	22021
Date	2024.06.04
Drawn by	GLM
Checked by	JSL
SP01	
Scale	As indicated

2024-06-05 11:43:22 AM



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No.	Description	Date
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16	ISSUED FOR SPA	2024.6.04

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SITE PLAN_DETAILS

File No. D07-12-24-0019
 Plan No. # 19106

Project number 22021

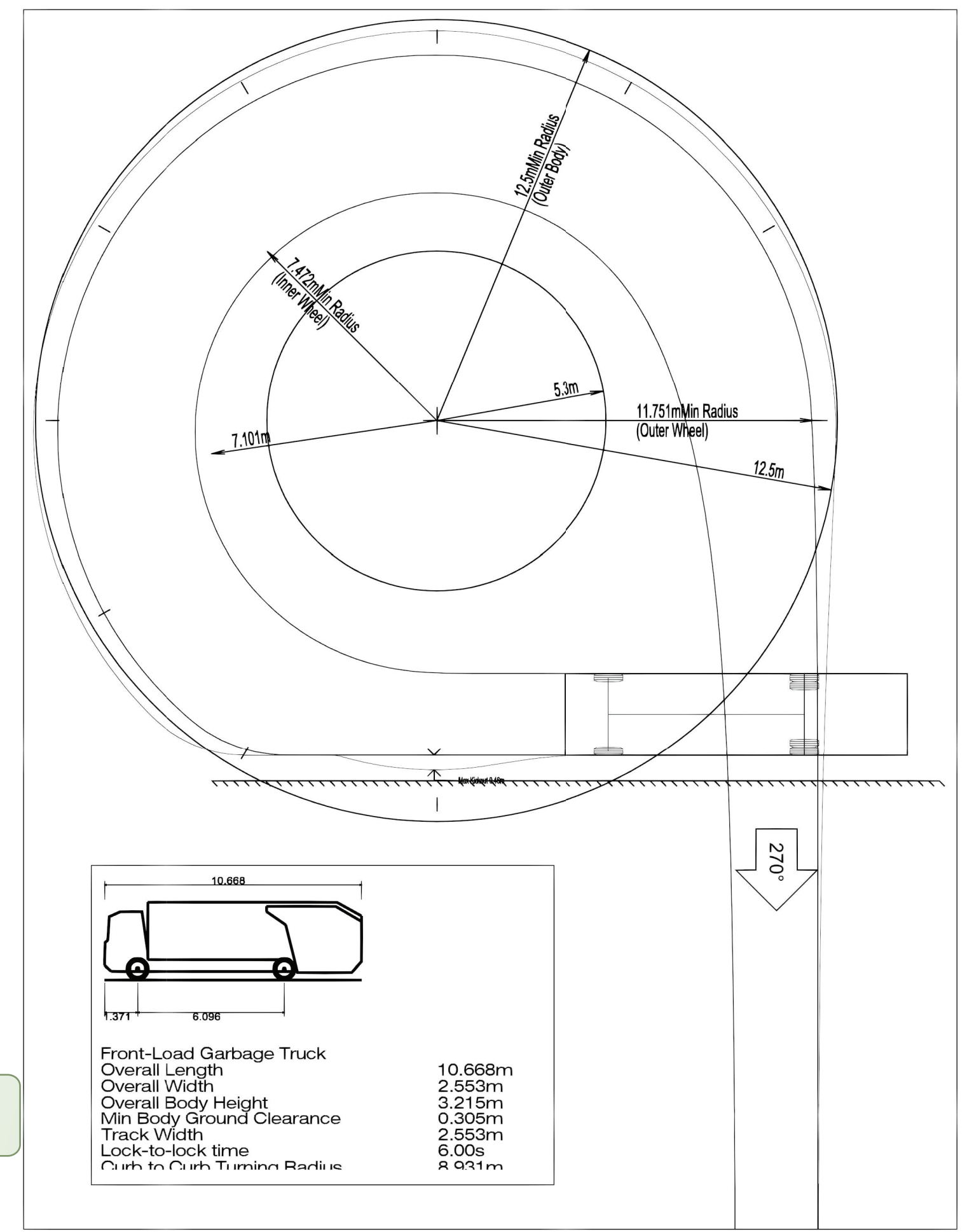
Date 2024.06.04

Drawn by GLM

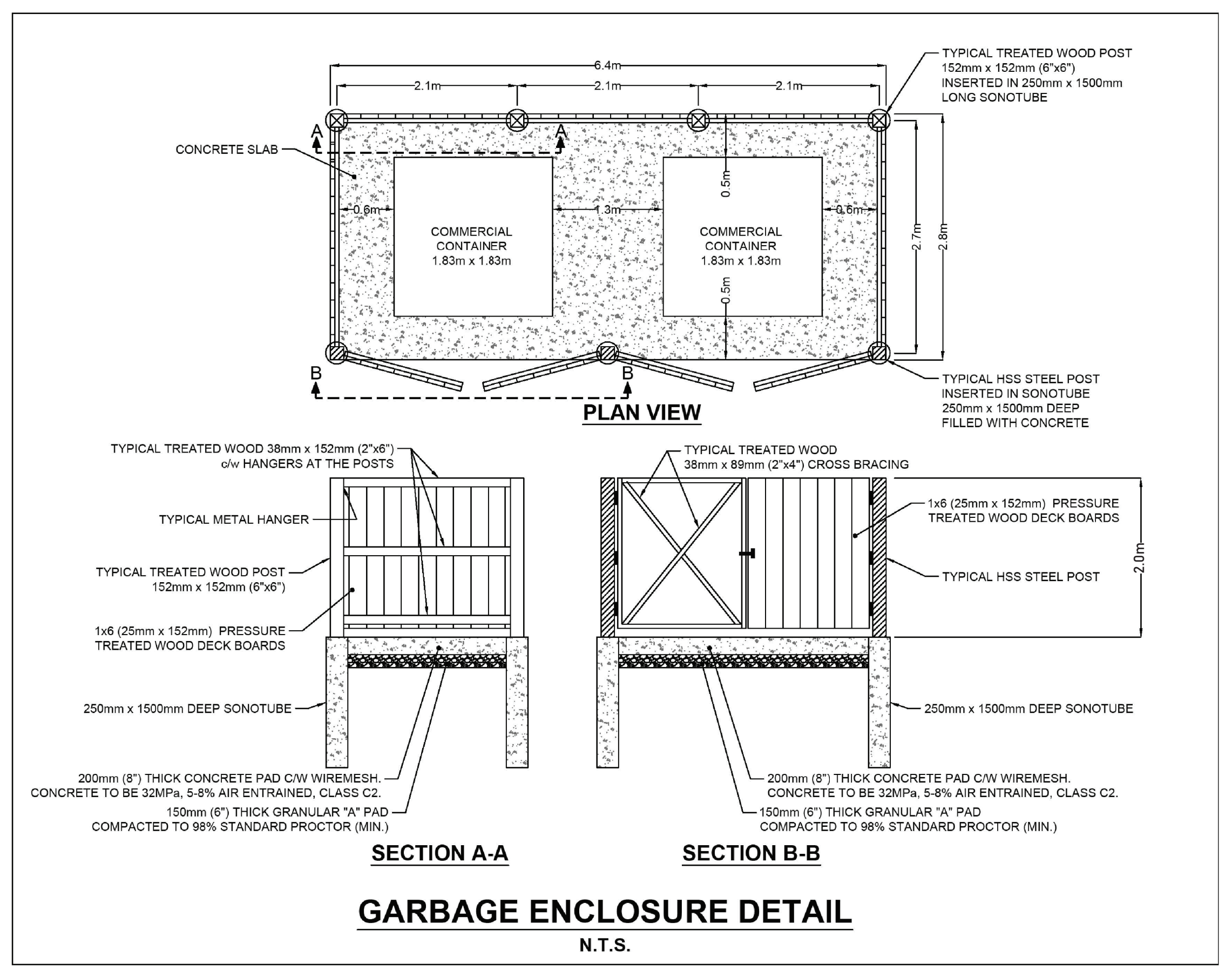
Checked by JSL

SP02

Scale 1 : 100



2 TURNING TEMPLATE_GARBAGE
 1 : 100

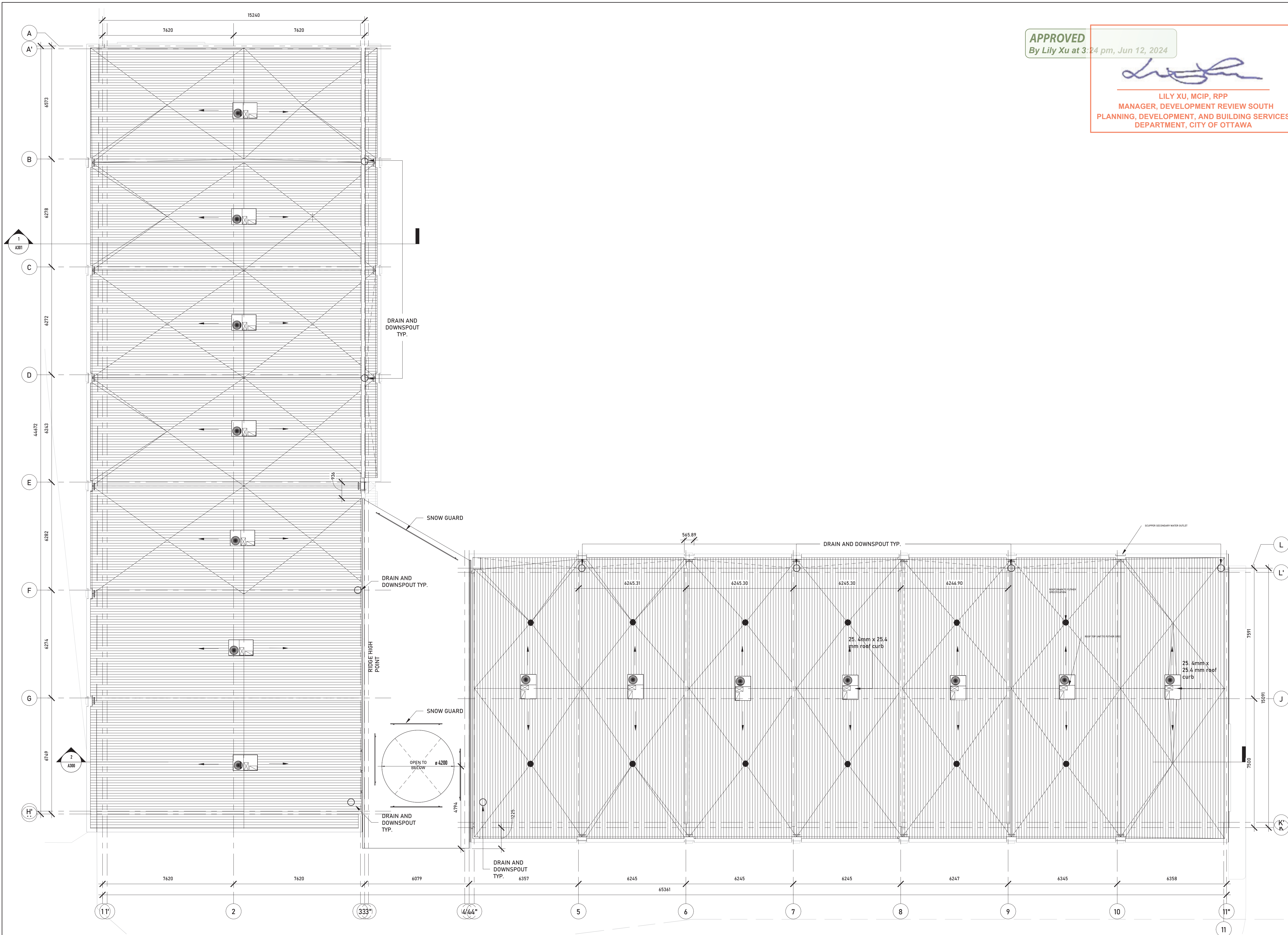


1 GARBAGE ENCLOSE DETAIL
 N.T.S.

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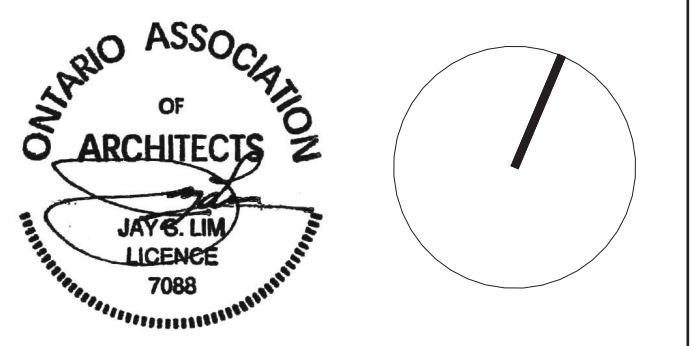
Lily Xu

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1	ISSUED FOR PLANNING RESUBMISSION	2024.02.09
2	ISSUED FOR SPA	2024.03.28
3	ISSUED FOR SPA	2024.04.04

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ROOF PLAN

File No.	D07-12-24-0019
Plan No.	# 19106
Project number	22021
Date	2024.06.04
Drawn by	MB
Checked by	JSL

A101

Scale 1 : 100

1 T/O CANOPY ROOF
1 : 100



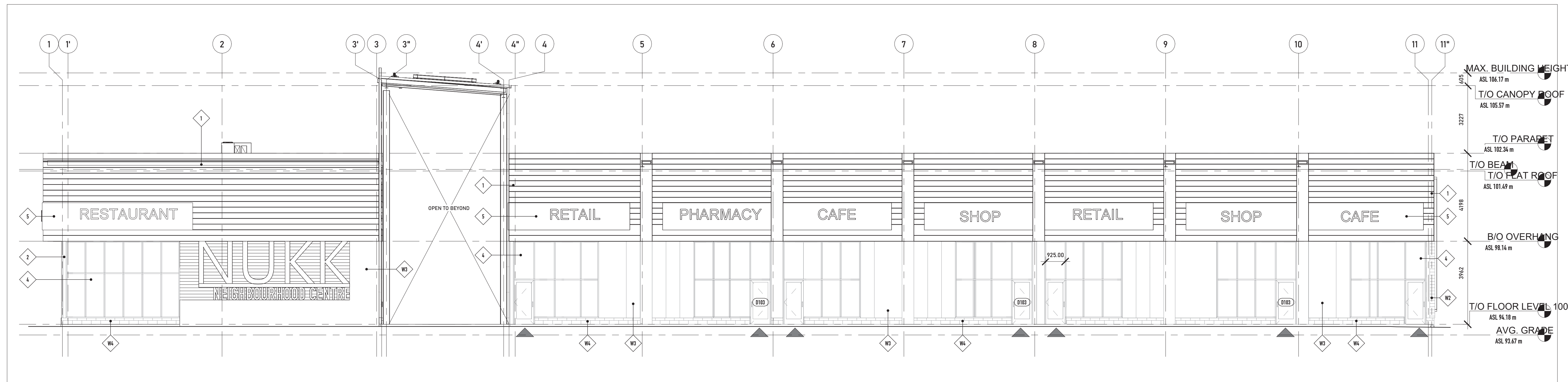
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- LEGEND**
- 1 HORIZONTAL METAL SIDING - CHARCOAL
 - 2 FLATSTOCK METAL SIDING - CHARCOAL
 - 3 FLATSTOCK METAL SIDING - ORANGE
 - 4 EXTERIOR GLAZING - BLACK, ANODIZED
 - 5 LED BACKLIT SIGNAGE
 - 6 FIBRE CEMENT PANELS - ORANGE
 - 7 CONC. BLOCK SKIRTING



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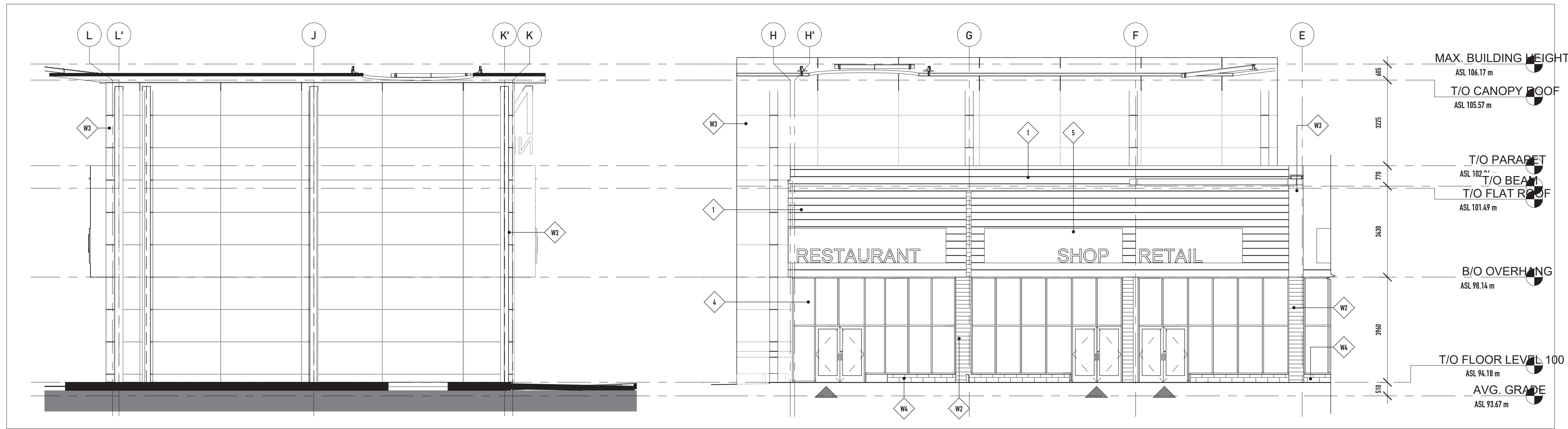
ELEVATIONS

File No.	D07-12-24-0019
Plan No.	# 19106
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Drawn by	MB
Checked by	JSL
A200	
Scale	As indicated

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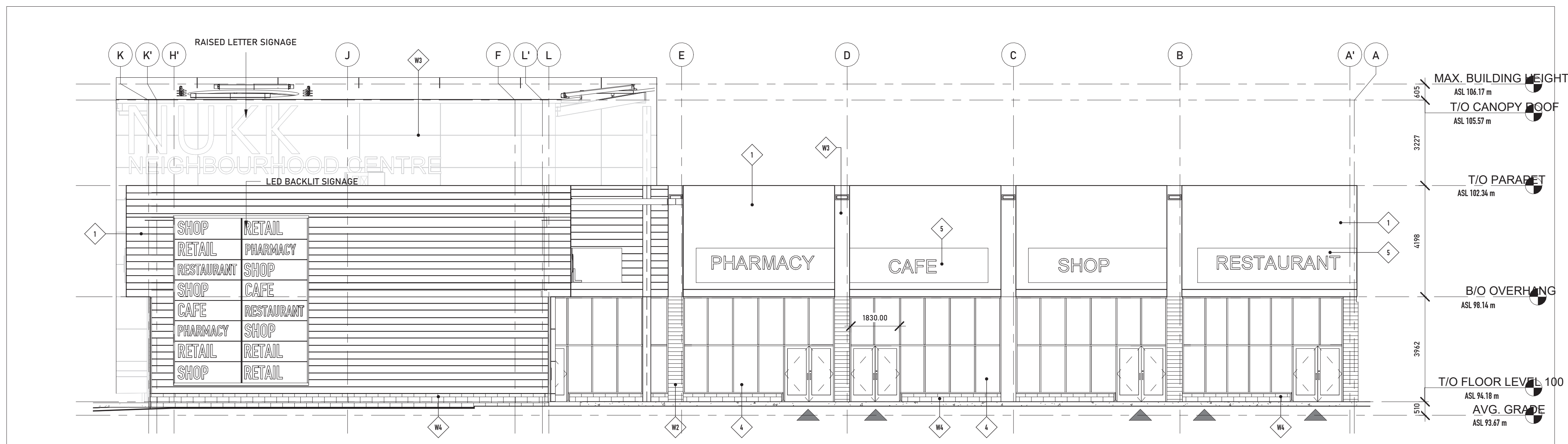
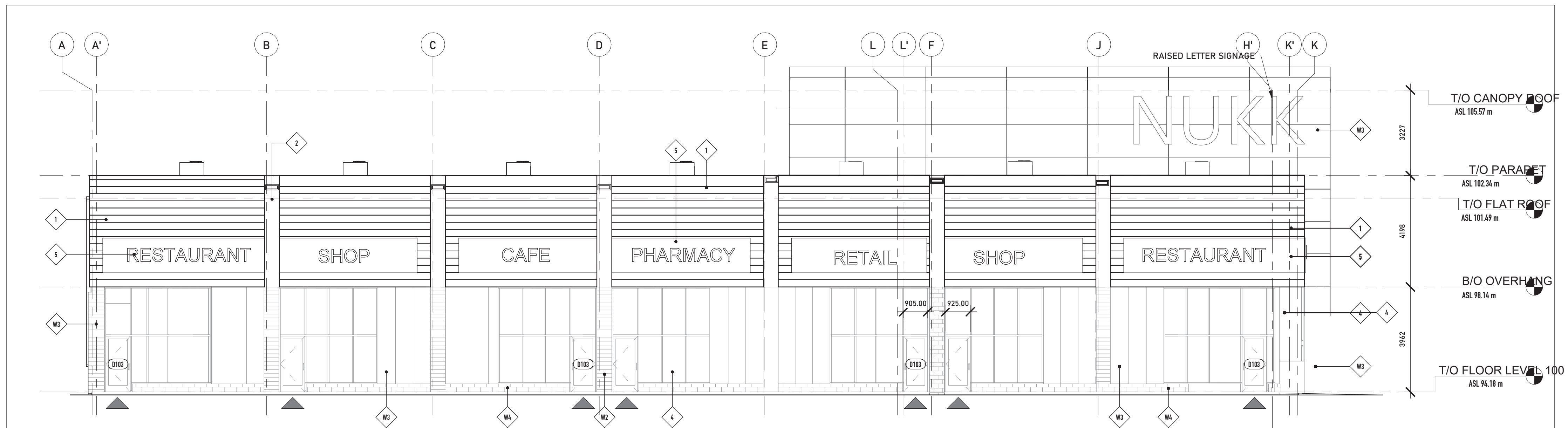


LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, DEVELOPMENT, AND BUILDING SERVICES
DEPARTMENT, CITY OF OTTAWA



4 ELEVATION - WALKWAY EAST
1:100

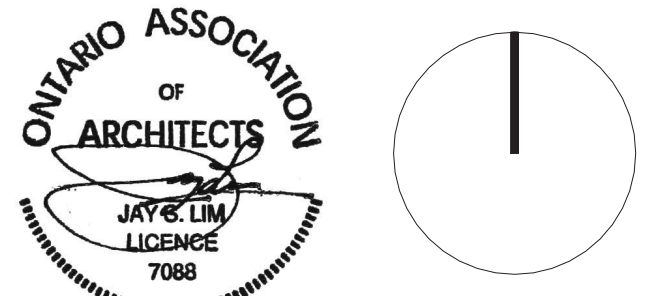
3 ELEVATION - WALKWAY WEST
1:100



1 ELEVATION - EAST
1:100

LEGEND

- 1 HORIZONTAL METAL SIDING - CHARCOAL
- 2 FLATSTOCK METAL SIDING - CHARCOAL
- 3 FLATSTOCK METAL SIDING - ORANGE
- 4 EXTERIOR GLAZING - BLACK, ANODIZED
- 5 LED BACKLIT SIGNAGE
- 6 FIBRE CEMENT PANELS - ORANGE
- 7 CONC. BLOCK SKIRTING



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.



No.	Description	Date
1	ISSUED FOR PLANNING RESUBMISSION	2024.02.09
2	ISSUED FOR SPA	2024.03.28
3	ISSUED FOR SPA	2024.04.04

THE NUKK
652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

ELEVATIONS

File No. D07-12-24-0019
Plan No. # 19106

Project number 22021

Date 2024.06.04

Drawn by MB

Checked by JSL

A201

Scale As indicated