



KEY PLAN, NTS

GENERAL NOTES

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- 2 2024-05-17 REISSUED FOR SPC
- 1 2023-05-15 ISSUED FOR SPC

NO.	DATE	DESCRIPTION
2	2024-05-17	REISSUED FOR SPC
1	2023-05-15	ISSUED FOR SPC

SEAL: NORTH:

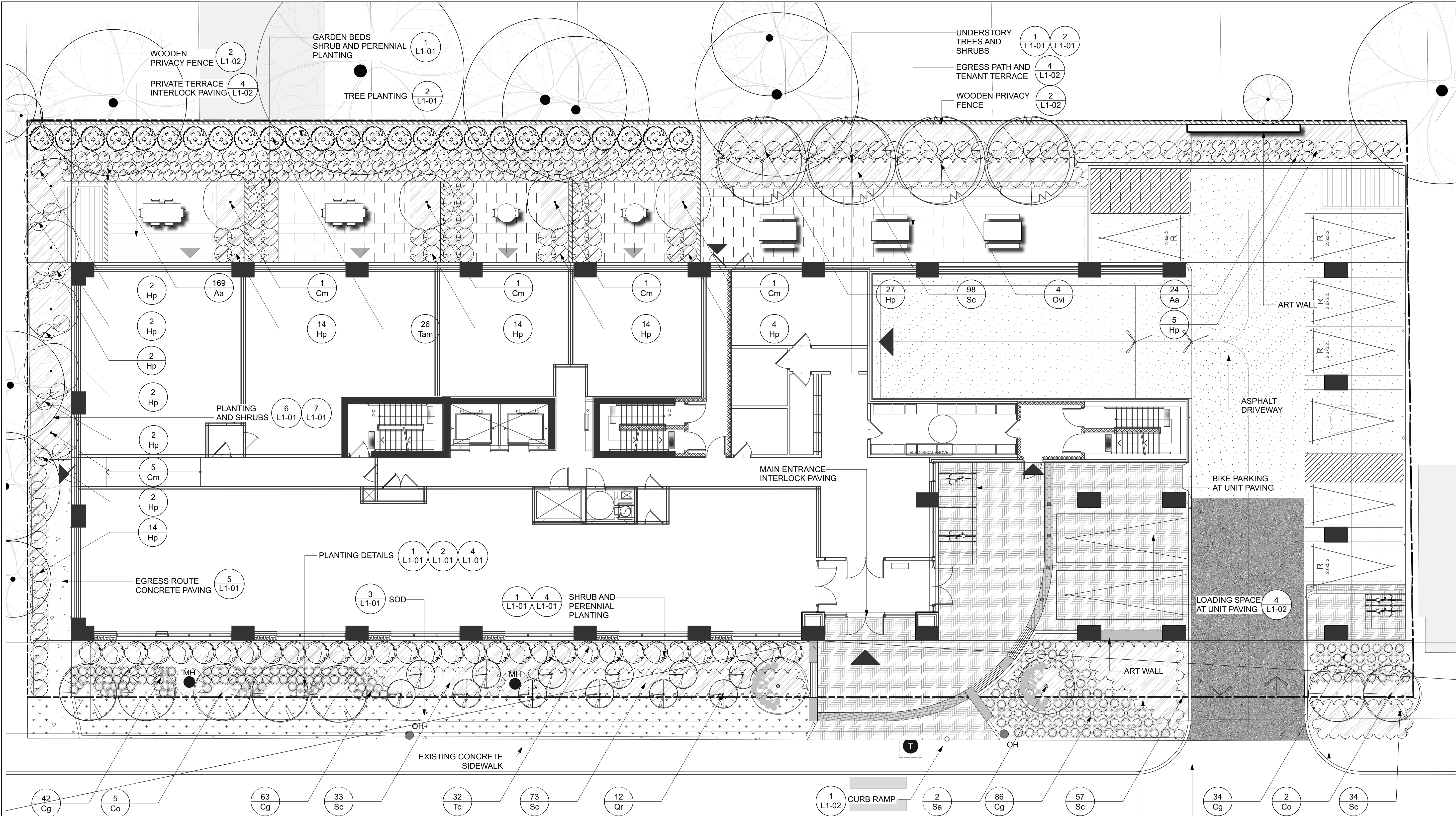
OWNERSHIP:
 SCARABELLI REALTIES INC.
 44 CHAMBERLAIN AVENUE
 OTTAWA, ON, K1S 1V9

LASHLEY + ASSOCIATES
 LANDSCAPE ARCHITECTURE
 202 860 GLADSTONE AVENUE
 OTTAWA, ON K1V 2E5
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 E Mail@LashleyLA.com

PROJECT:
30 - 48 CHAMBERLAIN AVENUE
 30 - 48 CHAMBERLAIN AVENUE,
 OTTAWA, ONTARIO, K1S 1V9

DRAWING TITLE:
 LANDSCAPE PLAN

DATE: 2024-05-10 **DRAWING NO.:**
DRAWN SCALE: 1:100 **L0-01**
DRAWN BY: AY
LA PROJECT NO.: 23855-1 **REV NO.:** 0



1 LANDSCAPE PLAN
 Scale: 1:100

GRAPHIC SCALE
 0 1 2 3 4 5m

LEGEND

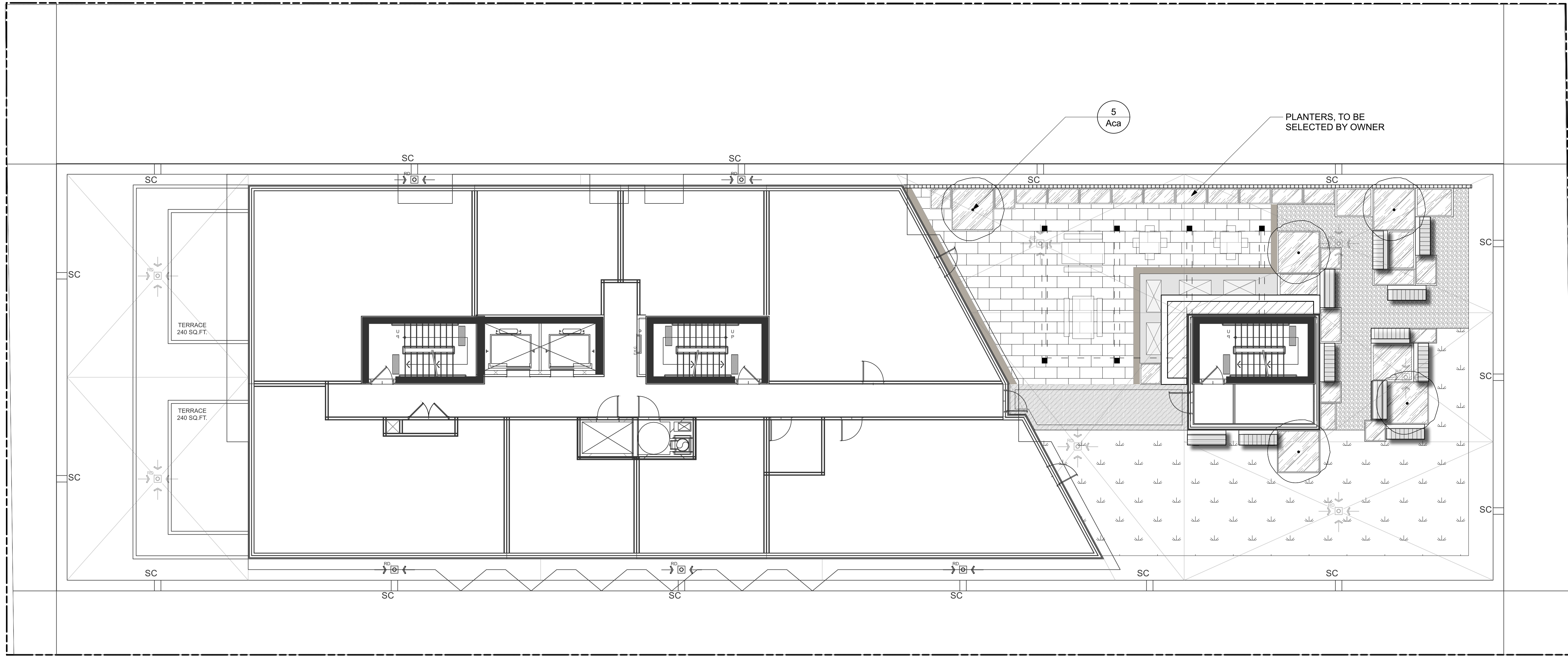
	PROPERTY LINE		MULCH
	PATIO SLABS		SOD
	UNIT PAVERS		MANHOLE
	PARKING LOT ASPHALT		TRAFFIC MANHOLE
	HEAVY DUTY ASPHALT		HYDROPOLE
	LIGHT DUTY CONCRETE WALKWAY		PROPOSED PLANTING
	WALL MOUNTED BENCHES		
	BOLLARDS		

PLANT LIST

DECIDUOUS TREES					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Co	7	Celtis occidentalis	Hackberry	65mm CAL	
Cm	9	Cornus mas	Cornelian cherry	250mm CAL	
Ovi	4	Ostrya virginiana	Ironwood	65mm CAL	
Qr	12	Quercus robur x bicolor 'Nadler'	Kindred Spirit White Oak	65mm CAL	
Sa	2	Sorbus aucuparia	Pyramidal Mountain Ash	250cm WB	
SHRUBS					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Tc	32	Taxus cuspidata 'Nana Aureascens'	Dwarf Golden Japanese Yew	5 gal pot	
Tam	26	Taxus x Media 'Hicksii'	Hick's Yew	150cm WB	
GRASSES					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Cg	225	Carex grayi	Gray sedge	4" pot	
PERENNIALS					
ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Aa	193	Astilbe arendsii Bridal Veil 'Brautschleier'	Bridal Veil False Spirea	1 gal pot	
Hp	105	Hosta	Plantain lilies	2 gal pot	
Sc	295	Sanguinaria canadensis	Bloodroot	4" pot	



KEY PLAN, NTS

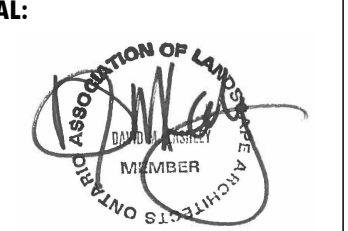


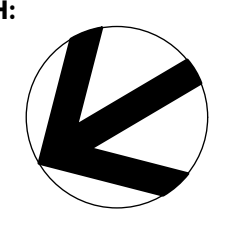
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 44 CHAMBERLAIN AVENUE
 OTTAWA, ON, K1S 1V9



LASHLEY + ASSOCIATES
 LANDSCAPE ARCHITECTURE

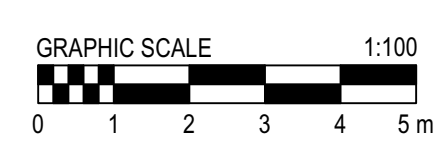
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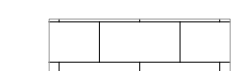

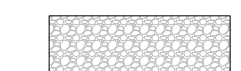


DRAWING TITLE:
 LANDSCAPE PLAN - PODIUM

DATE:	2024-05-10	DRAWING NO.:	L0-02
DRAWN SCALE:	1:100	DRAWN BY:	AY
LA PROJECT NO.:	23855-1	REV NO.:	0

1 PODIUM LANDSCAPE PLAN
 L0-02 Scale: 1:100



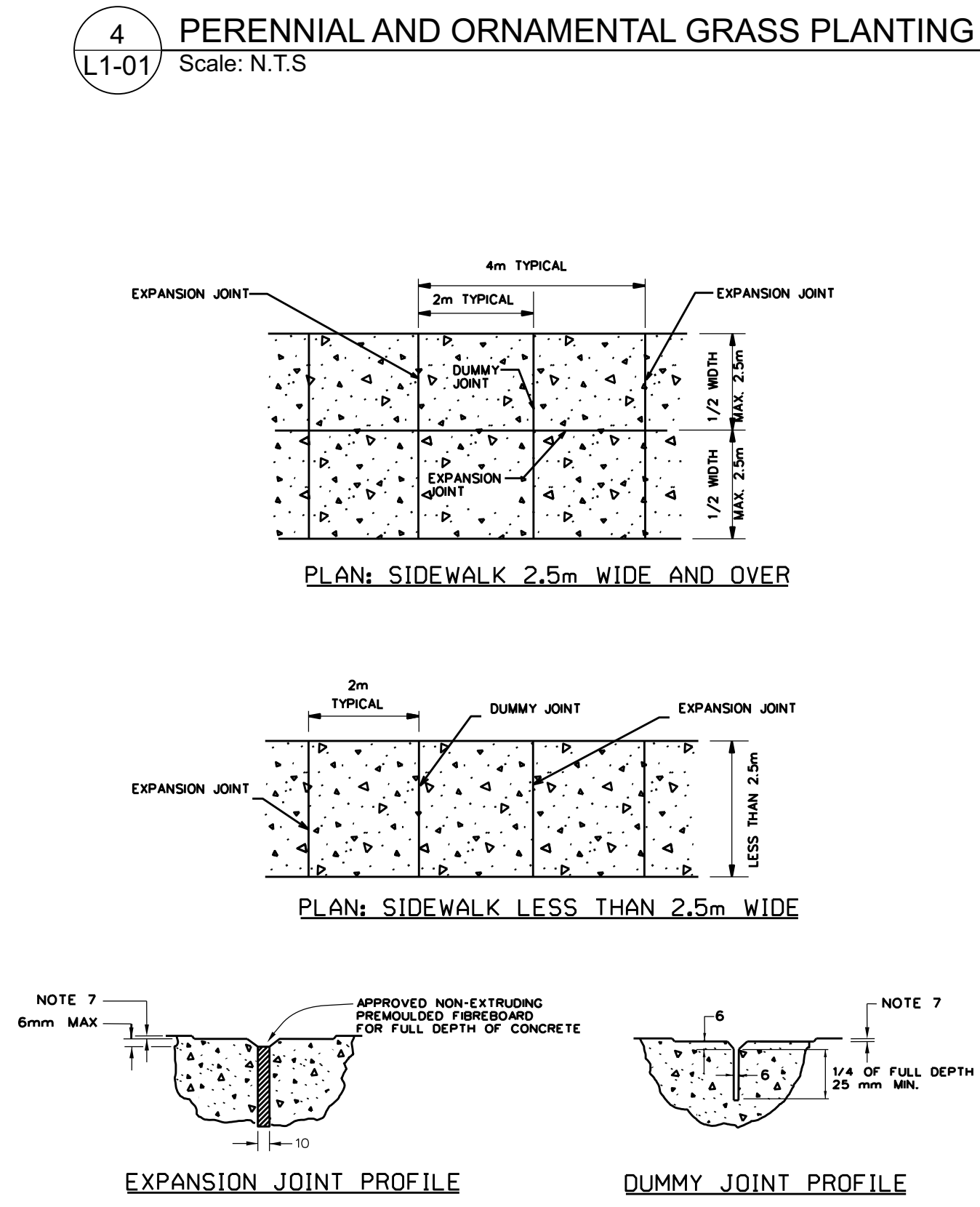
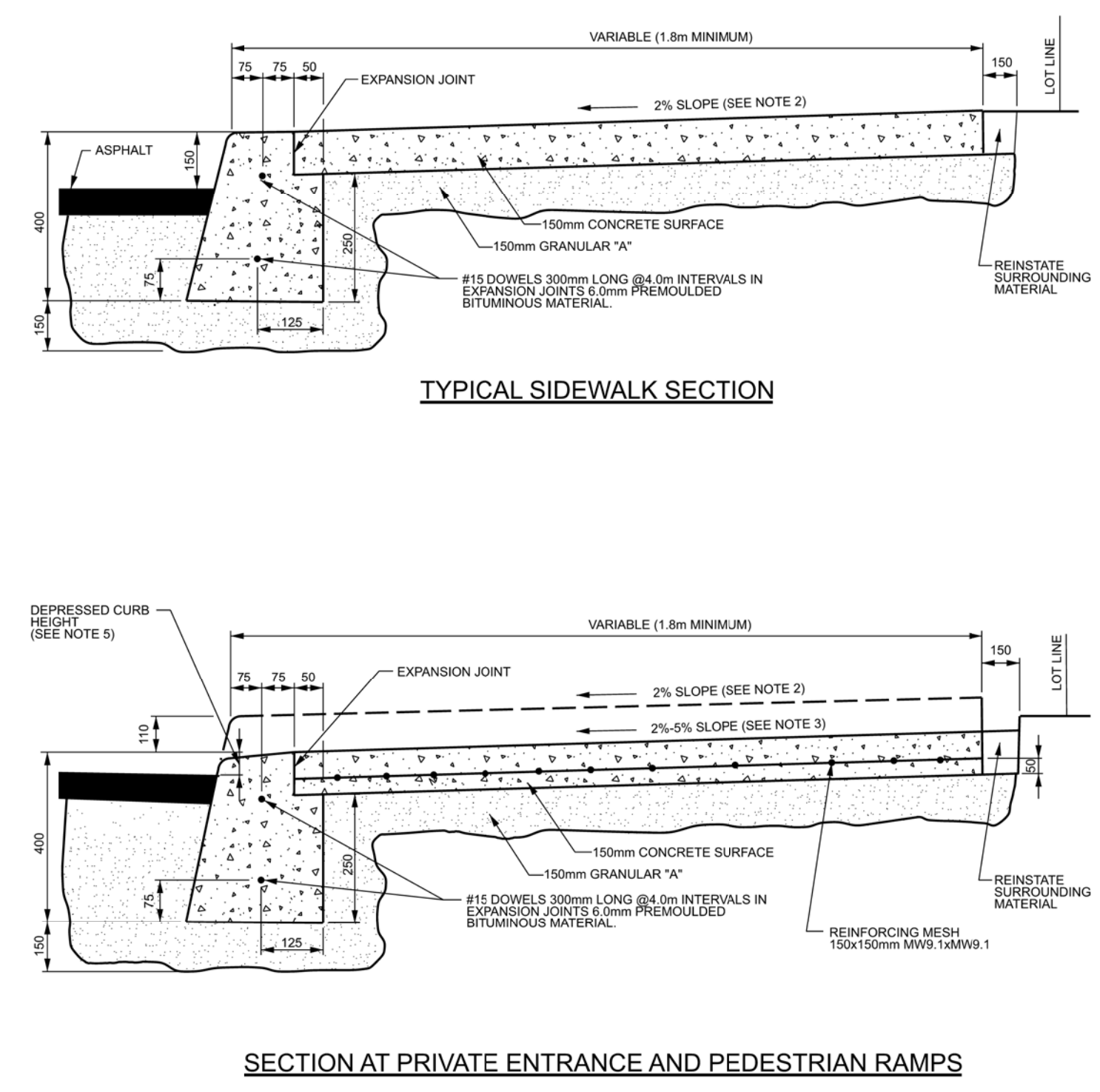
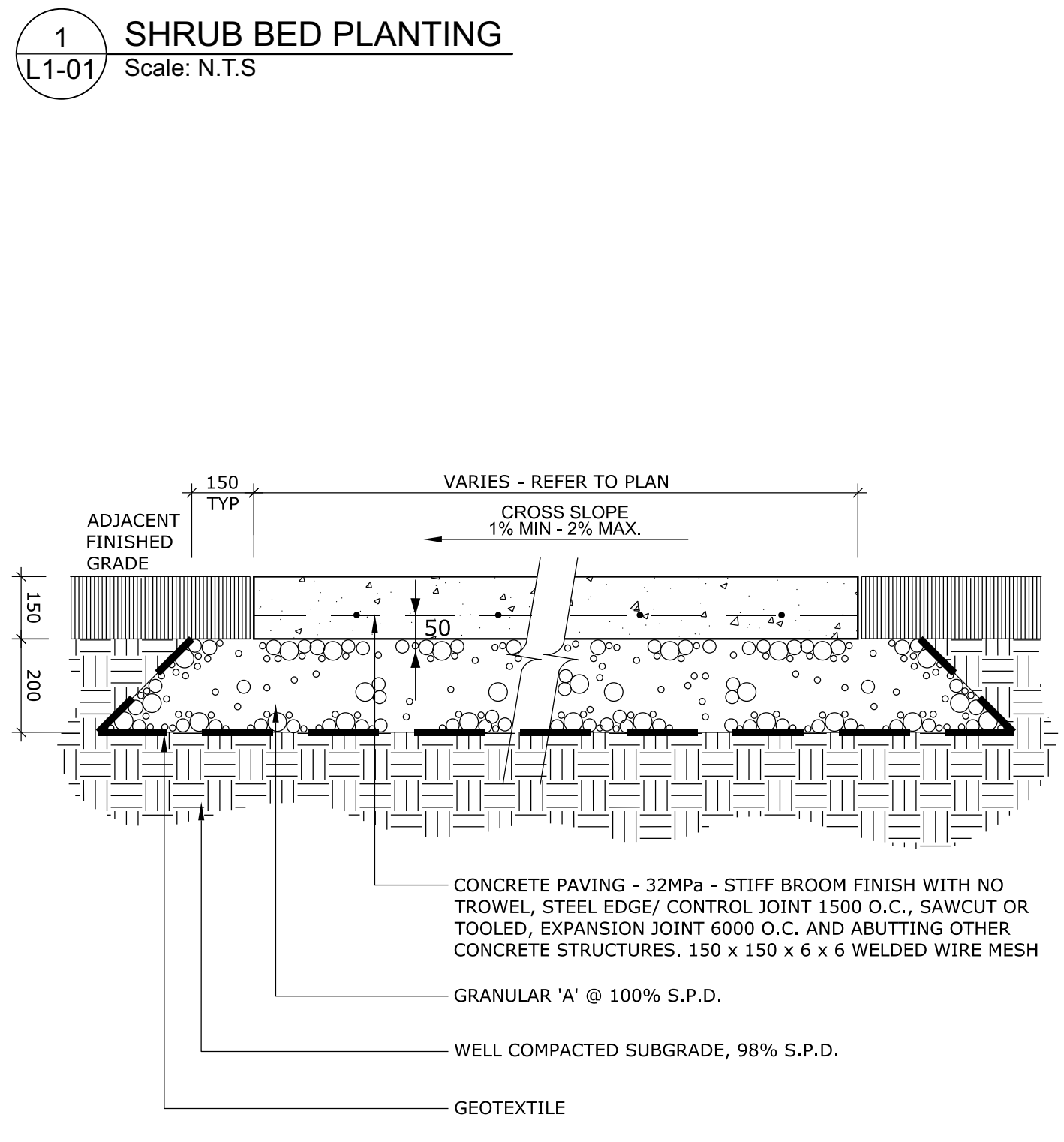
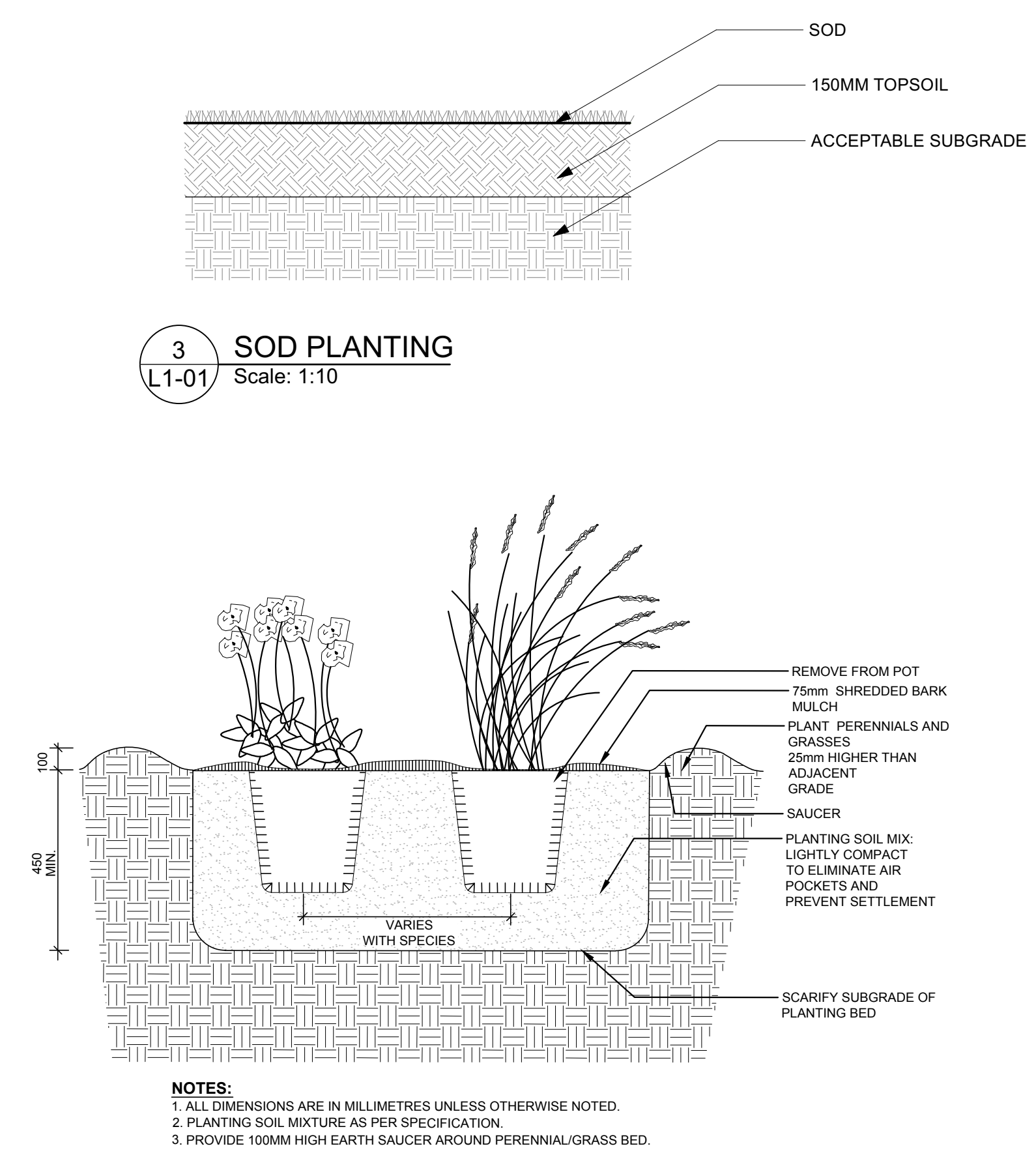
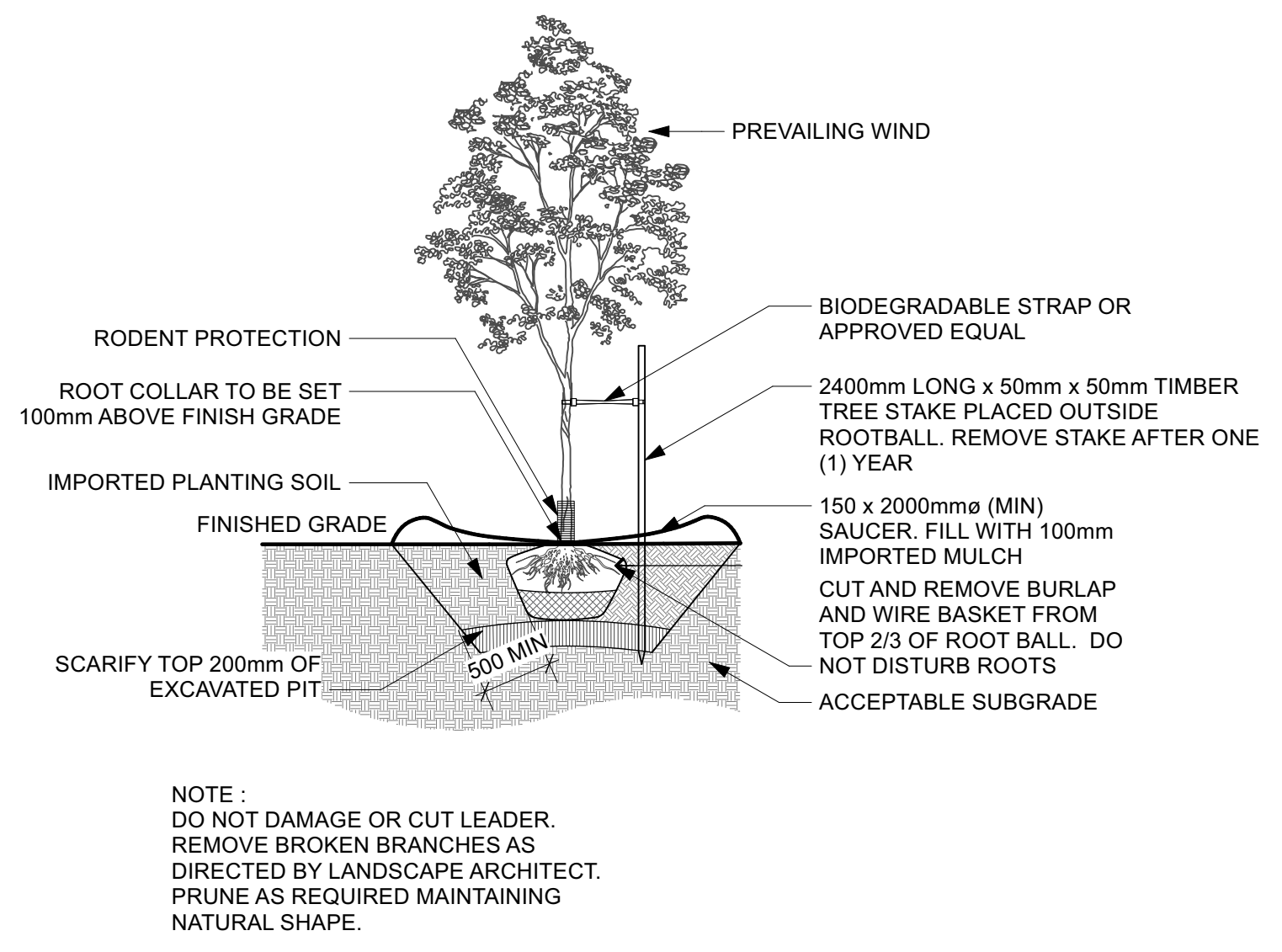
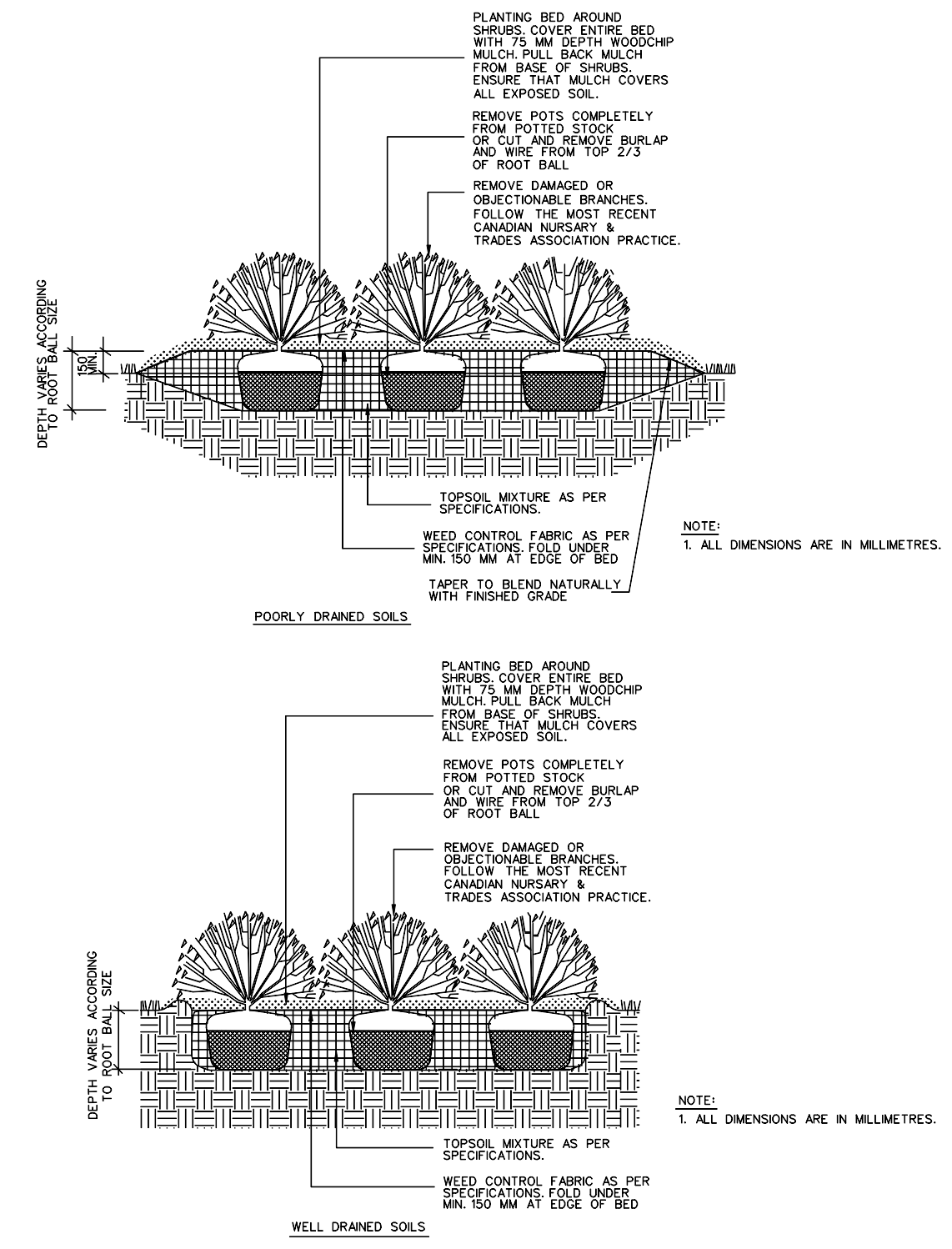
LEGEND

-  PROPERTY LINE
-  PATIO SLABS
-  UNIT PAVERS
-  GRAVEL
-  MULCH
-  ARTIFICIAL SOD

ID	Quantity	Latin Name	Common Name	Scheduled Size	Notes
Aca	5	Amelanchier canadensis 'Princess Diana'	Princess Diana Serviceberry		



KEY PLAN, N.T.S.



- NOTES:
- ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE NOTED
 - CONCRETE SHALL BE 32MPa CLASS C-2 MEETING THE REQUIREMENTS OF S.P. F-3510 AND PLACED IN ACCORDANCE WITH S.P. F-9040
 - GRANULAR 'A' SHALL MEET THE REQUIREMENTS OF OPSS 1010
 - APPROVED NON-WOVEN CLASS 1 GEOTEXTILE AS PER MS-22.15 WHEN WARRANTED BY SOIL CONDITION, SUBJECT TO APPROVAL BY THE CONTRACT ADMINISTRATOR

- NOTES:
- ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
 - THE MAXIMUM SLOPE IS NOT TO EXCEED 2%.
 - FOR CURB RAMPS, SLOPE OF 2% TO 5%, MAXIMUM 8%.
 - EXPANSION AND DUMMY JOINTS AS PER SC5.
 - DEPRESSED CURB HEIGHT - FOR PEDESTRIAN CURB RAMPS 0 TO 6mm AND FOR PRIVATE ENTRANCES 0 TO 13mm.
- N.T.S.

- NOTES:
- EXPANSION JOINTS IN SIDEWALK SHALL BE IN LINE WITH EXPANSION JOINTS IN CURB.
 - TRANSVERSE EXPANSION JOINTS ARE REQUIRED AT THE ENDS, THE MOPUNT, AT INTERVALS OF 4m MAXIMUM, AND ALSO TO ISOLATE OBSTRUCTIONS FROM SIDEWALK, HYDRANTS, POLES, BUILDINGS, ETC.
 - EDGES AND JOINTS ARE TO BE FINISHED WITH A 75mm EDGING TOOL.
 - ALL CONCRETE SIDEWALKS ARE TO HAVE A BROOM FINISH UNLESS OTHERWISE SPECIFIED.
 - ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
 - INSTALL DUMMY TRANSVERSE JOINTS AS REQUIRED SO THERE IS A MAXIMUM SPACING OF 2m BETWEEN ALL JOINTS.
 - SMOOTH ALL TOOLED EDGES TO A MAXIMUM DEPTH OF 1mm.

5 LIGHT DUTY WALKWAY CONCRETE PAVING
Scale: N.T.S.

6 CONCRETE BARRIER CURB WITH SIDEWALK
Scale: N.T.S.

7 SIDEWALK CONSTRUCTION JOINTS
Scale: N.T.S.

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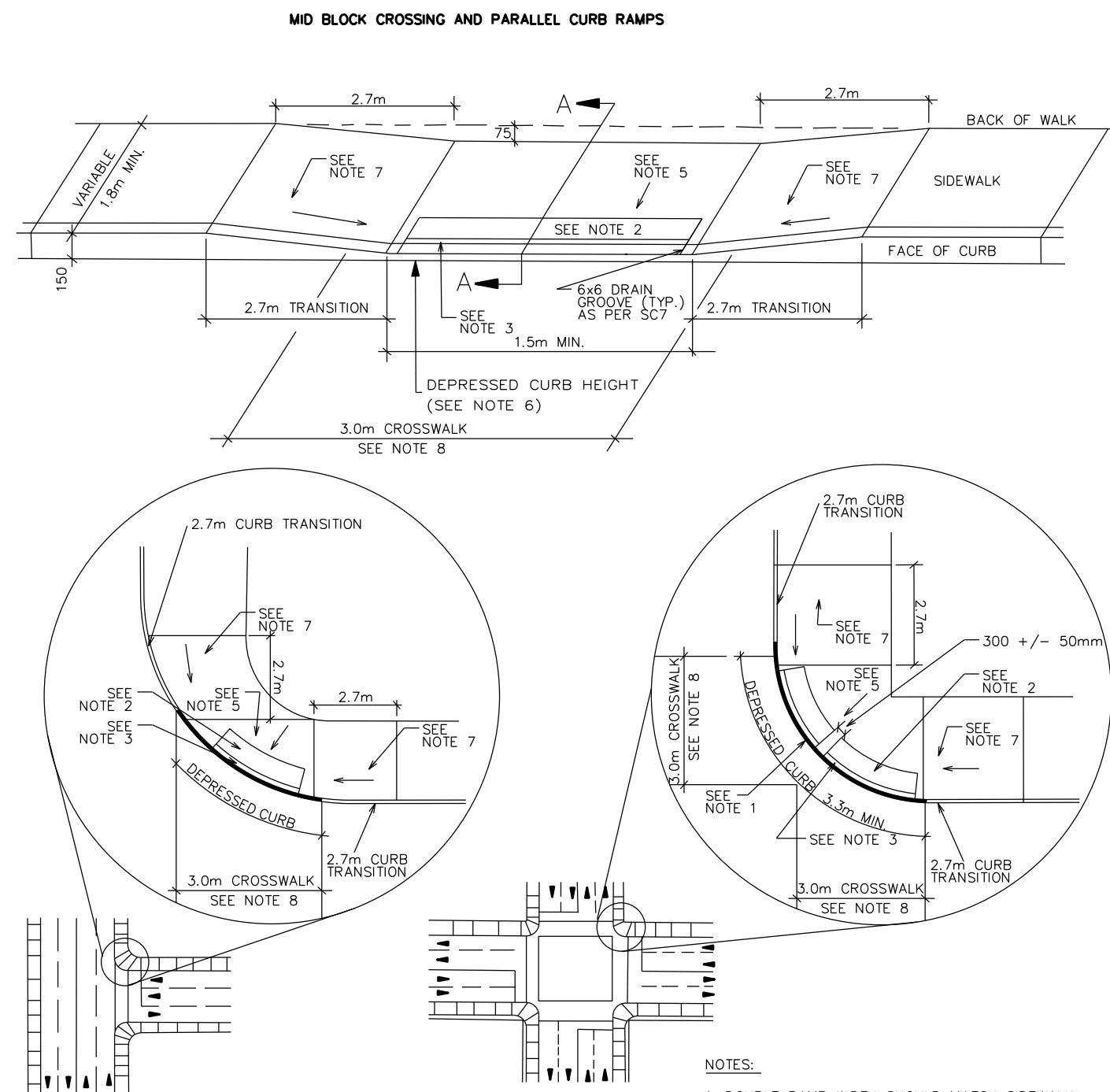
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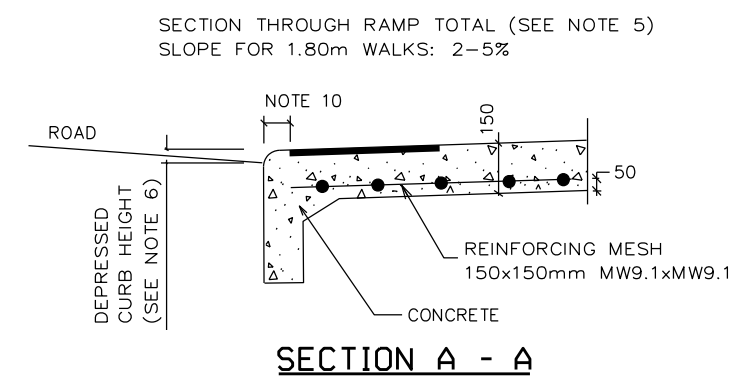
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OTTAWA, ONTARIO, K1S 1V9

DRAWING TITLE:
LANDSCAPE DETAILS

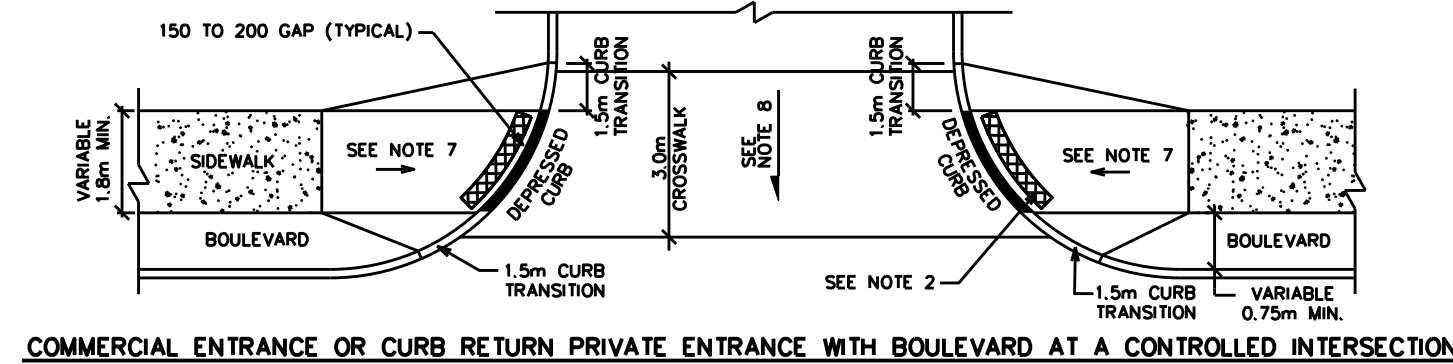
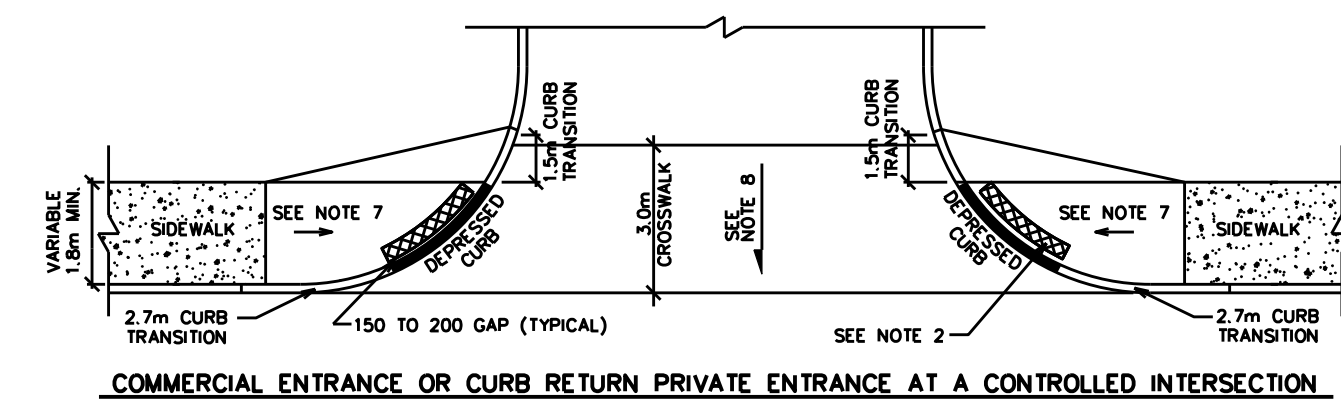
DATE:	2024-05-10	DRAWING NO.:	
DRAWN SCALE:	1:100	L1-01	
DRAWN BY:	AY		
LA PROJECT NO.:	23855-1	REV NO.:	0



- NOTES:**
1. DOUBLE RAMP WIDTH SHOULD MATCH SIDEWALK WIDTH, BE A MINIMUM OF 3.5m WIDE AND PERMIT WHEELCHAIRS TO ENTER CROSSING AT RIGHT ANGLES.
 2. APPROVED 610 X WIDTH OF CURB RAMP (1500 MIN) TACTILE WALKING SURFACE INDICATOR, RADIUS TO MATCH CURB.
 3. 150 TO 200 GAP.
 4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
 5. FOR TRANSITION AREA, MAXIMUM SLOPE OF 2%.
 6. DEPRESSED CURB HEIGHT - FOR PEDESTRIAN CURB RAMPS 0 TO 6 mm AND FOR PRIVATE ENTRANCES 0 TO 25mm.
 7. FOR CURB RAMPS SLOPE OF 2% TO 5% MAXIMUM 8%.
 8. SUBJECT TO AVOIDANCE OF MEDIANS, CROSSWALK LINES TO CENTRED ON THE CURB RAMP.
 9. FOR RETROFIT APPLICATIONS ONLY.
 10. FOR MONOLITHIC SIDEWALK, TWSI SHALL BE 300 TO 350mm BACK FROM CURB FACE.



1 PEDESTRIAN CURB RAMP WITHOUT BOULEVARD
Scale: N.T.S

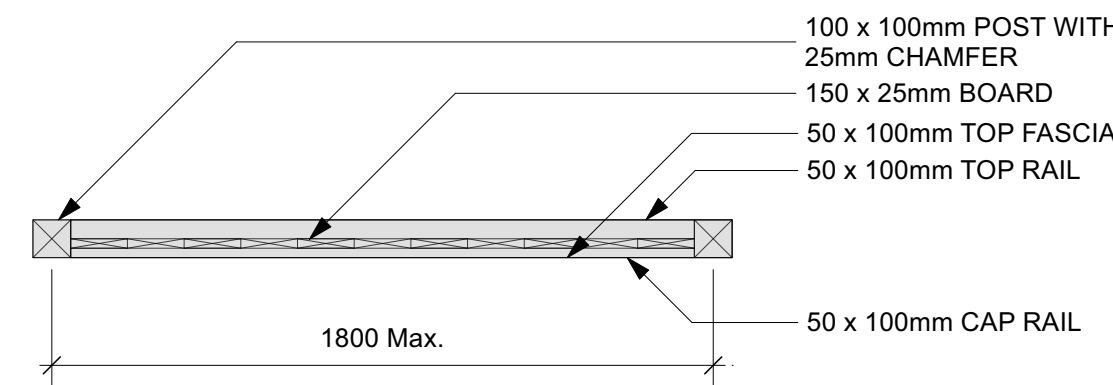


- NOTES:**
1. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE.
 2. APPROVED 610 X WIDTH OF CURB RAMP (1500MIN) TACTILE WALKING SURFACE INDICATOR, RADIUS TO MATCH CURB. DRAIN GROOVES AS PER SC7.
 3. CURB DETAILS SEE SC1.1, SC1.2 AND SC1.3.
 4. SIDEWALK DETAILS SEE SC2 AND SC3.
 5. CURB RAMPS AS PER SC6 AND SC7.
 6. CROSSWALK LINES TO BE CENTRED ON THE CURB RAMP.
 7. FOR CURB RAMPS, SLOPE OF 2% TO 5% MAXIMUM 8%.
 8. MAXIMUM SLOPE VARIES, SEE PRIVATE APPROACH BYLAW.
 9. CONTROLLED INTERSECTION MEANS AN ENTRANCE LOCATED AT A TRAFFIC SIGNAL OR ALL-WAY STOP CONTROL.

3 CURB RETURN ENTRANCES - CONTROLLED INTERSECTIONS
Scale: N.T.S

- NOTES:**
1. CONTRACTOR TO SUBMIT SHOP DRAWING.
 2. ALL LUMBER TO BE EASTERN WHITE CEDAR SELECT.
 3. ALL FASTENERS TO BE GALVANIZED.

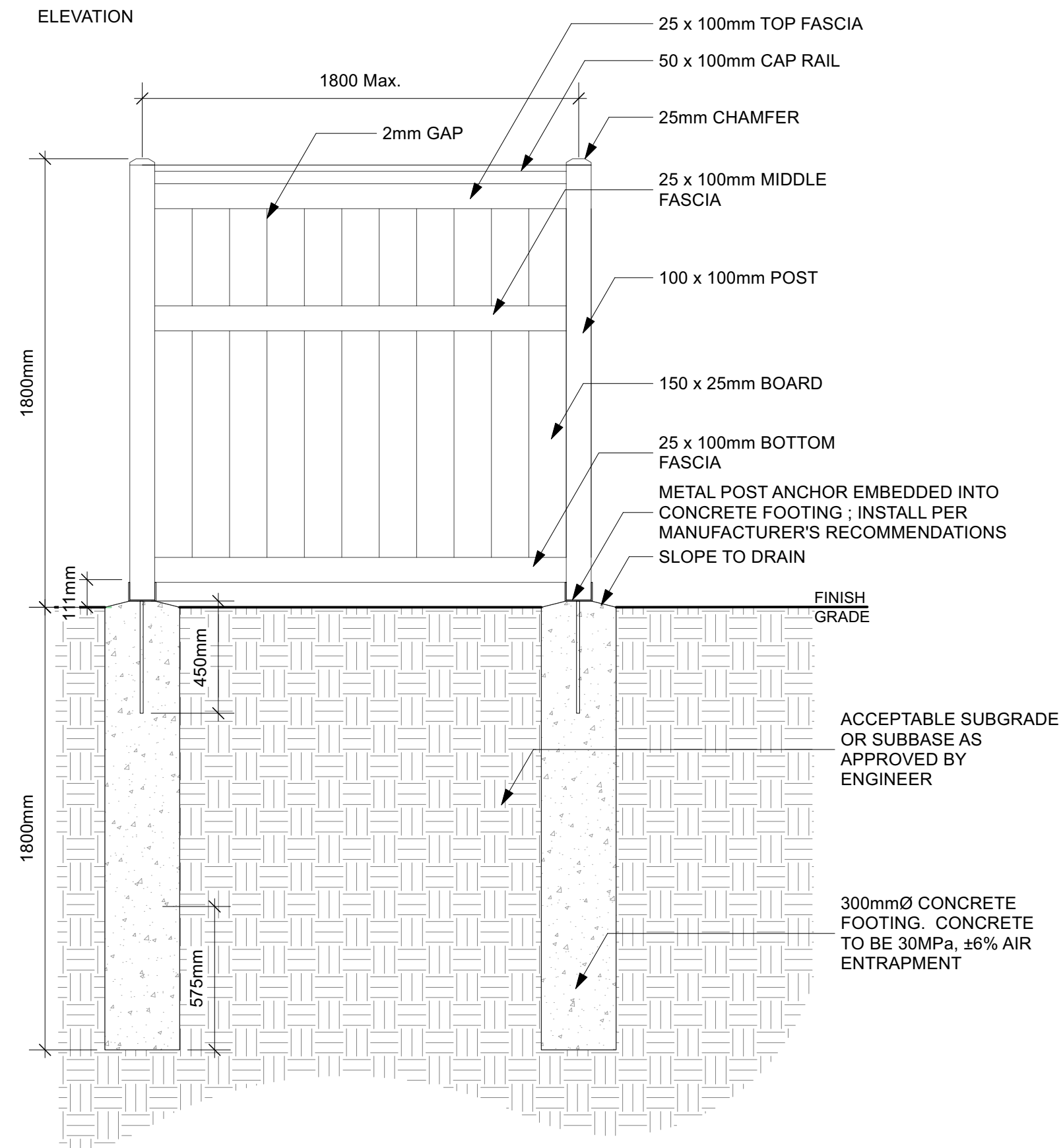
TOP VIEW



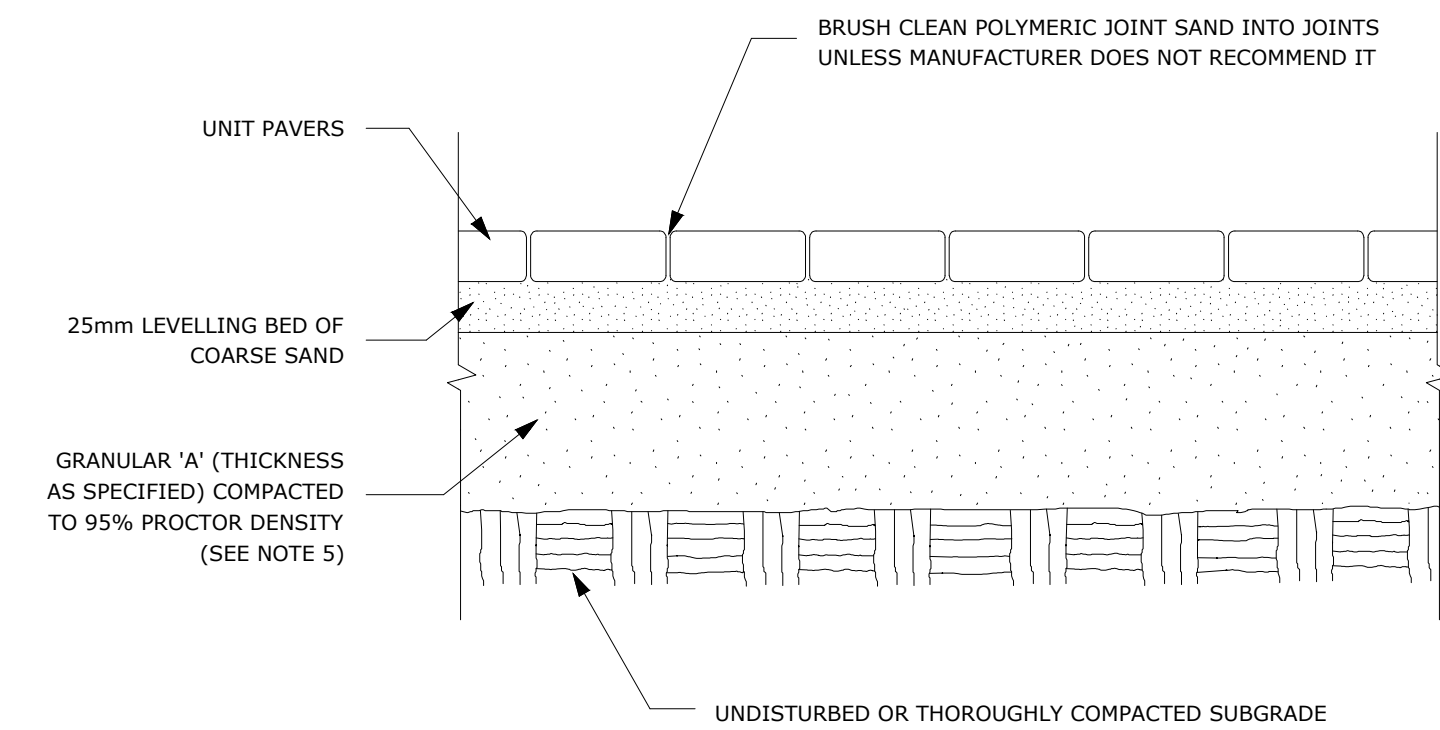
SECTION



ELEVATION



2 WOOD FENCE
Scale: 1:20



NOTES:

1. THE LEVELLING COURSE (BEDDING SAND) SHALL BE PLACED LOOSE, IN A UNIFORM LAYER AT A MAXIMUM DEPTH OF 25mm TO ACHIEVE THE FINAL COMPACTED THICKNESS AND GRADE AS SPECIFIED.
2. INSTALL SOLID EDGE RESTRAINT BETWEEN UNIT PAVERS AND ANY SOFT SURFACE (SOD, PLANTING BED, ETC.).
3. UNIT PAVERS ARE THEN PLACED ON TOP OF THE LEVELLING COURSE AND ADDITIONAL SAND SWEEPED BETWEEN THE UNIT PAVERS.
4. THE UNIT PAVERS ARE THEN VIBRATED INTO PLACE WITH A VIBRA-PLATE AND WATER IS ADDED TO ASSIST IN THE SETTLING OF THE JOINT SAND.
5. GRANULAR 'A' DEPTH TO BE 100mm FOR PEDESTRIAN AREAS AND 150mm FOR VEHICULAR ACCESSES, OR AS RECOMMENDED BY GEOTECHNICAL INVESTIGATION.
6. USE OF THIS DETAIL REQUIRES THE PRIOR APPROVAL OF THE GENERAL MANAGER.

4 UNIT PAVING - ON GRANULAR BASE
Scale: N.T.S



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