

EXISTING
DETACHED HOME

EXISTING 3m LANE WAY

EXISTING SIDEWALK / ROAD SURFACE TO BE REPLACED AS PART OF
SEPARATE CITY OF OTTAWA INFRASTRUCTURE PROJECT
GROVE AVENUE

EXISTING
BUS SHELTER

BANK STREET

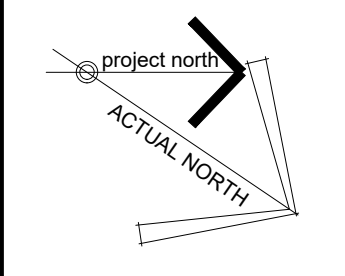
EXISTING 1
STORY BUILDING

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9	ISSUED FOR CITY RESPONSE	2023-12-01

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185 SOMERSET ST. W. OTTAWA, ONTARIO
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PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
SITE PLAN: DEMOLITION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	EC	3038	A100
SCALE	REVIEWED		
1:100	TD/DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947

EXISTING SIDEWALK / ROAD SURFACE TO BE REPLACED AS PART OF SEPARATE CITY OF OTTAWA INFRASTRUCTURE PROJECT

GROVE AVENUE

EXISTING DETACHED HOME

EXISTING 3m LANE WAY

PLANTER

ROOF TERRACE AMENITY AREA

1166 BANK STREET
6 STORY BUILDING
MAX. HEIGHT 20m

EXISTING 1 STORY BUILDING

BANK STREET

SITE PLAN LEGEND:

- EXTENT OF REMOVALS
- EXISTING PROPERTY LINE
- PROPERTY LINE AFTER ROAD WIDENING
- MINIMUM SETBACK ABOVE 4TH FLOOR
- SET BACK LINE
- NEW PRIVACY FENCE TO APPROX. 1.4m ABOVE GRADE
- EXTENT OF FOUNDATION BELOW GRADE
- EXTENT OF BUILDING AT GROUND FLOOR
- BUILDING OVERHANGS ABOVE, REFER TO ELEVATIONS
- CONCRETE WALKING / DRIVING SURFACE, REFER TO CIVIL DOCUMENTS
- SOFT LANDSCAPING, REFER TO LANDSCAPING DOCUMENTS
- HARD LANDSCAPING, REFER TO LANDSCAPING DOCUMENTS
- RAISED LANDSCAPING BLOCKS
- LOCATION FOR NEW BICYCLE RACK

EXTERIOR DOOR LEGEND:

- LOCATION OF EXTERIOR DOORS:
- B = BICYCLE STORAGE ROOM
- M = MAIN RESIDENTIAL ENTRANCE
- R = RETAIL UNIT
- V = VEHICLE ENTRANCE / EXIT
- X = EXIT DOOR

GENERAL SITE PLAN NOTES:

PROPERTY BOUNDARY INFORMATION, AND TOPOGRAPHIC INFORMATION DERIVED FROM SURVEY OF LOT 81 PART OF LOTS 81 & 82 REGISTERED PLAN 109930, CITY OF OTTAWA, PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SIGNED AND DATED FEBRUARY 12, 2022

SITE & BUILDING DATA, 1166 BANK STREET:

SITE AREA: 1015.47m²
GROSS FLOOR AREA (CITY OF OTTAWA): 2980.87m²
BUILDING AREA (OBC): 709.60m²

ZONING:
PART 10 - MIXED-USE
TM2 H(15) - TRADITIONAL MAIN STREET SUBZONE 2

SETBACKS:
FRONT: 2m MAX. + 2m ABOVE THE 4TH FLOOR
REAR: 6.5m (ABUTS LANEWAY), REFER TO ELEVATIONS FOR ANGULAR SETBACK ABOVE 15m
REAR TERRACE: 2.68m
CORNER SIDE YARD: 3m MIN. + 2m ABOVE THE 4TH FLOOR
INTERIOR SIDE YARD: 0m

BUILDING HEIGHT:
AVERAGE GRADE: 82.89m
MAXIMUM HEIGHT: 82.89m (20m)
PROPOSED HEIGHT: 82.39m (19.5m)

RESIDENTIAL PARKING:

TYPE	REQUIRED	PROVIDED
TENANT PARKING	15	11
MIN. VISITOR PARKING	3	3
MAX. VISITOR PARKING	30	3
BARRIER FREE PARKING	1 (TYPE B)	1 (TYPE B)
TOTAL:		14

COMMERCIAL PARKING:

BASEMENT + GROUND FLOOR GFA	REQUIRED	PROVIDED
456.11m ²	0	0

BICYCLE PARKING:

TYPE	REQUIRED	PROVIDED
RESIDENTIAL BICYCLE PARKING	19	51
COMMERCIAL BICYCLE PARKING	2	8

GARBAGE ROOM REQUIREMENTS:

TYPE	REQUIRED	PROVIDED
GARBAGE	8.55cu YARDS OF CONTAINER	1x 8cu YARD & 1x 4cu YARD CONTAINER
FIBRE RECYCLING	2.30cu YARDS OF CONTAINER	1x 3cu YARD CONTAINER
GLASS, METAL & PLASTIC RECYCLING	0.67cu YARDS OF CONTAINER	3x 0.25cu YARD (50g) CONTAINERS
ORGANICS	1x 240L GREEN CONTAINER	1x 240L GREEN CONTAINER

AMENITY AREAS

TYPE	REQUIRED	PROVIDED
TOTAL AMENITY AREA	270m ²	279.23m ²
COMMUNAL AMENITY AREA	MIN. 135m ²	250.00m ²
AMENITY TYPE	PROVIDED	
GROUND FLOOR AMENITY LOUNGE (INTERIOR)		140.45m ²
GROUND FLOOR AMENITY PATIO (EXTERIOR)		45.14m ²
FLOOR 2-4 AMENITY LOUNGE (INTERIOR)		3x21.50m ² = 64.50
PRIVATE AMENITY AREA	NOT REQUIRED	29.14m ²
AMENITY TYPE	PROVIDED	
PRIVATE BALCONY FLOOR 5-6		20.14m ²

PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
SITE PLAN: NEW WORK

DATE
OCT. 2022

SCALE
1:100

DRAWN BY
IC

REVIEWED BY
TD/DR

JOB NO.
3038

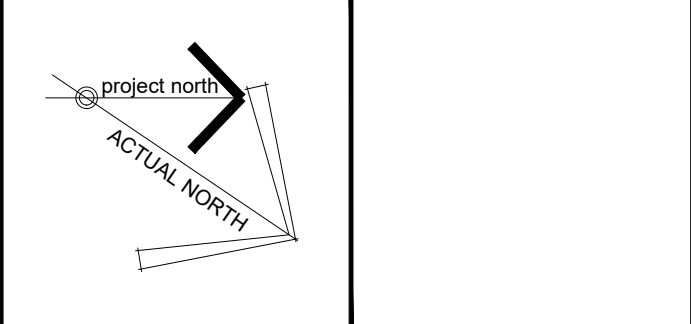
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A101

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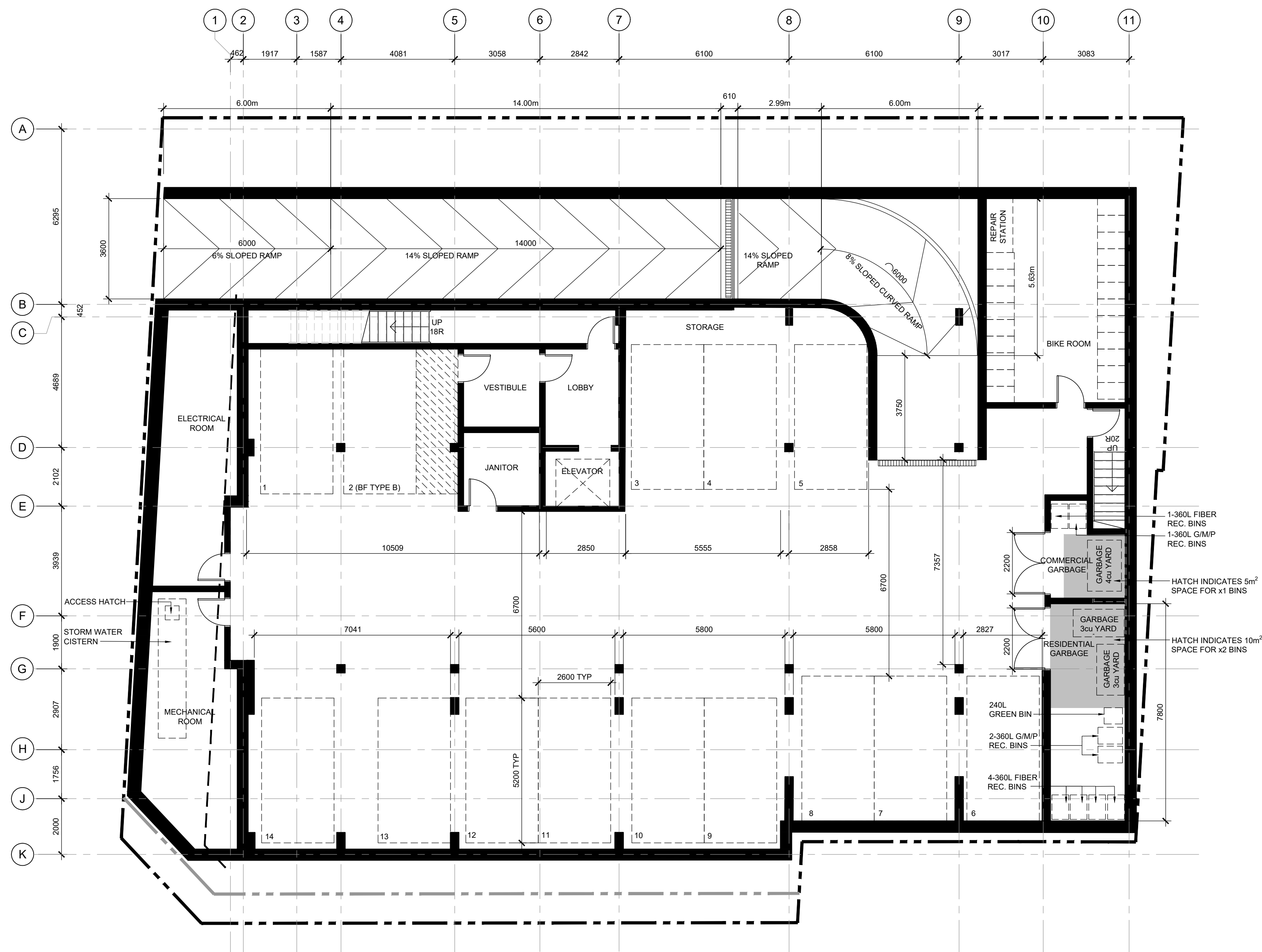
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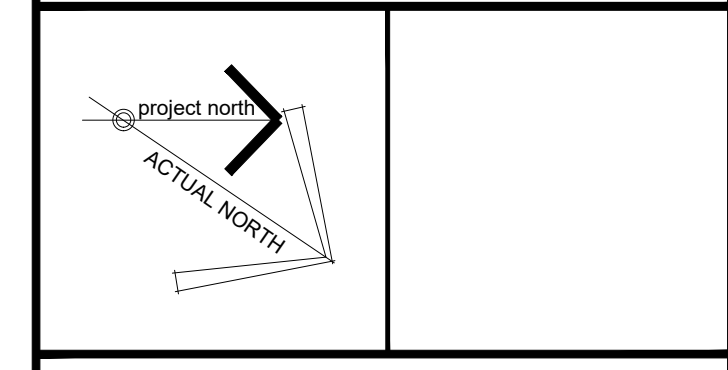


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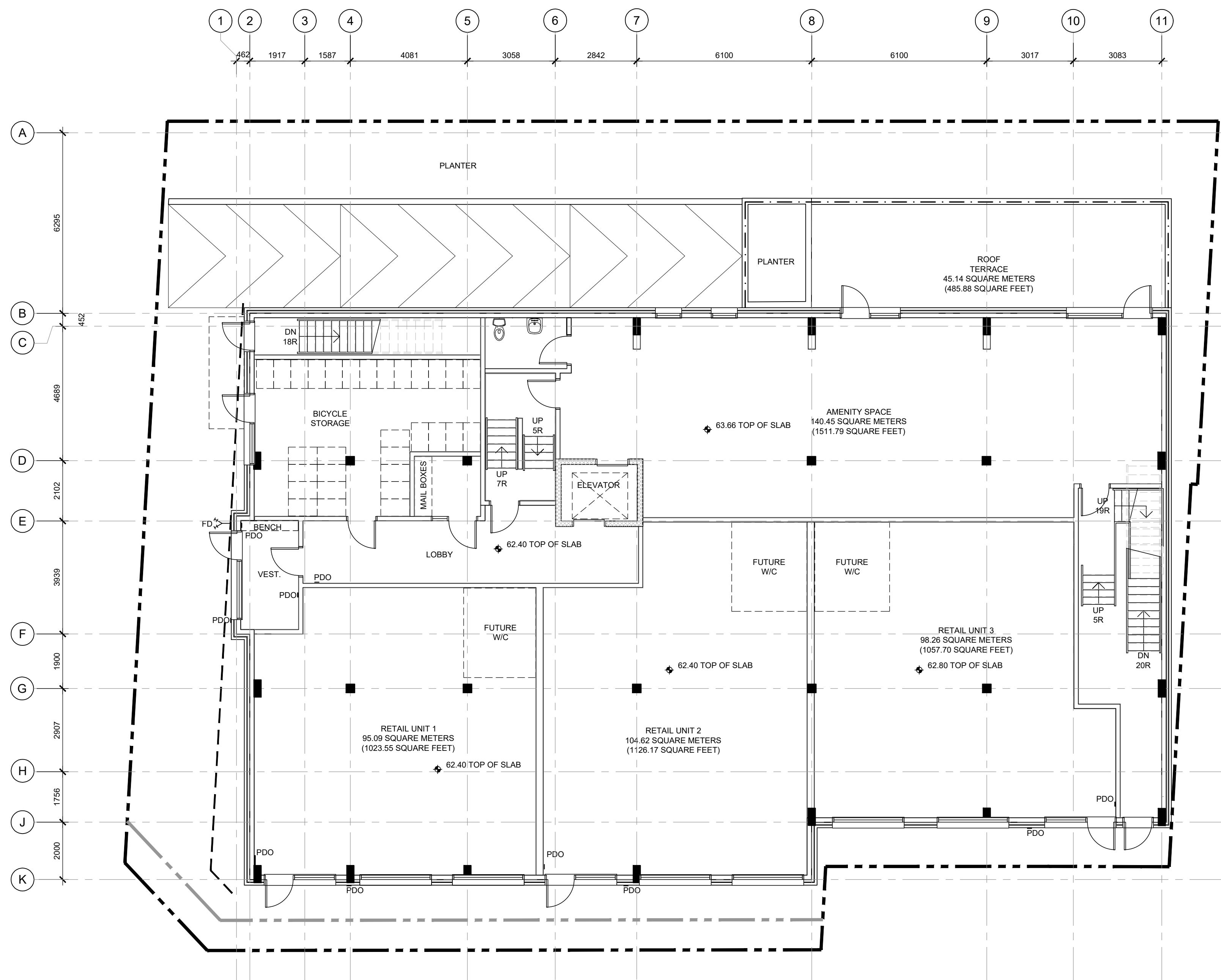
PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
FLOOR PLAN: BASEMENT / PARKING LEVEL

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A200
SCALE	REVIEWED		
1:100	TD/DR		

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FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



AMENITY AREAS		
TYPE	REQUIRED	PROVIDED
TOTAL AMENITY AREA	270m ²	279.23m ²
COMMUNAL AMENITY AREA	MIN. 135m ²	250.09m ²
AMENITY TYPE		PROVIDED
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GROUND FLOOR AMENITY PATIO (EXTERIOR)		45.14m ²
FLOOR 2-4 AMENITY LOUNGE (INTERIOR)		3x21.50m ² = 64.50
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AMENITY TYPE		PROVIDED
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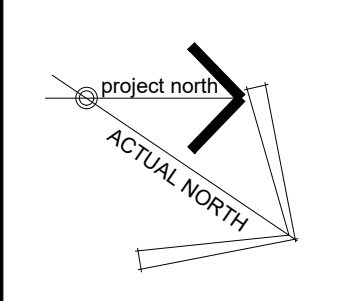
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PROJECT TITLE

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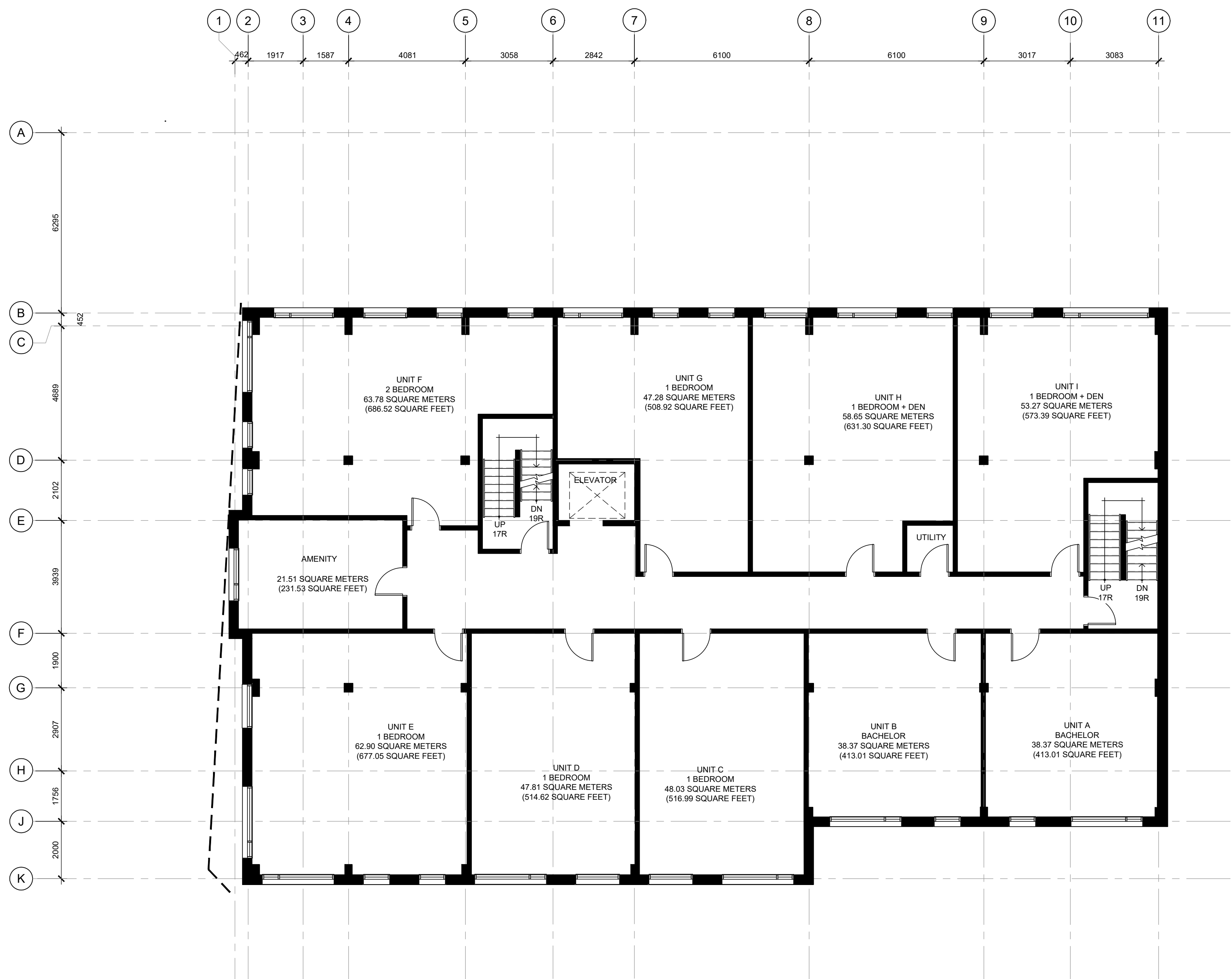
DRAWING TITLE

FLOOR PLAN: GROUND

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OCT. 2022	IC	3038	A201
SCALE	REVIEWED		
1:100	TD/DR		

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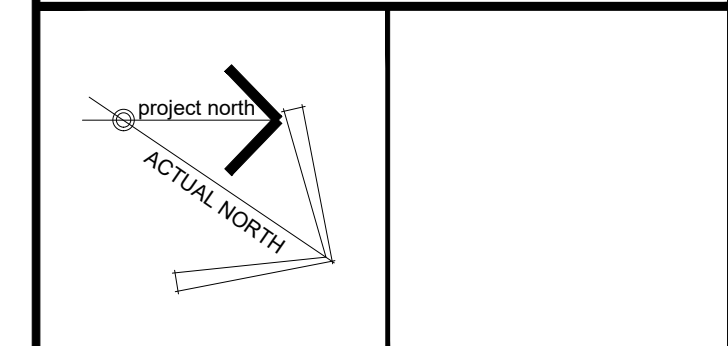
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PROJECT TITLE

1166 BANK STREET

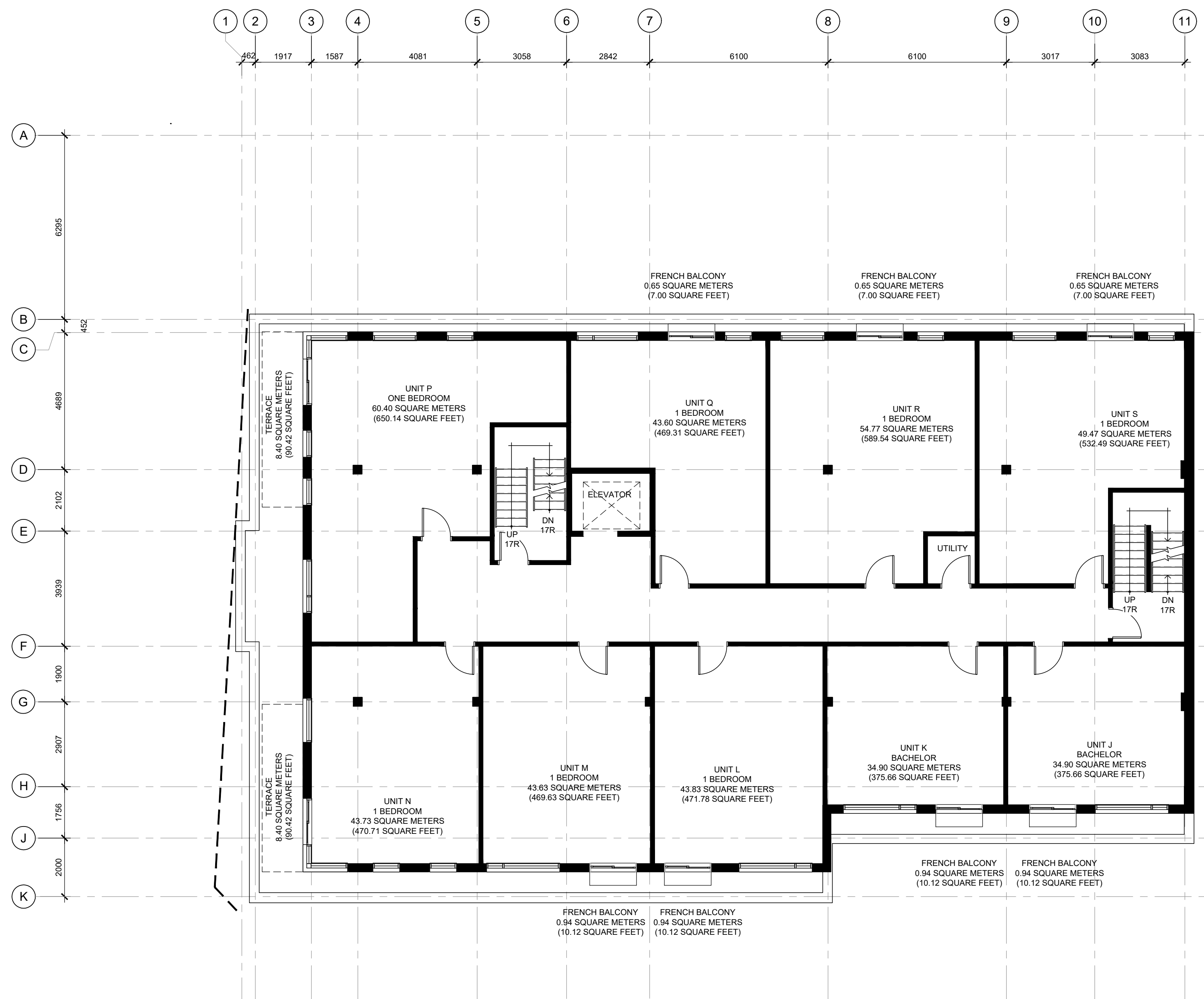
DRAWING TITLE

FLOOR PLAN:
2ND-4TH FLOOR

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A202
SCALE	REVIEWED		
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FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947

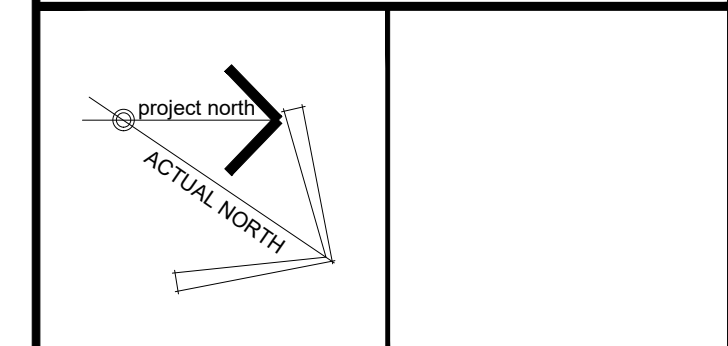


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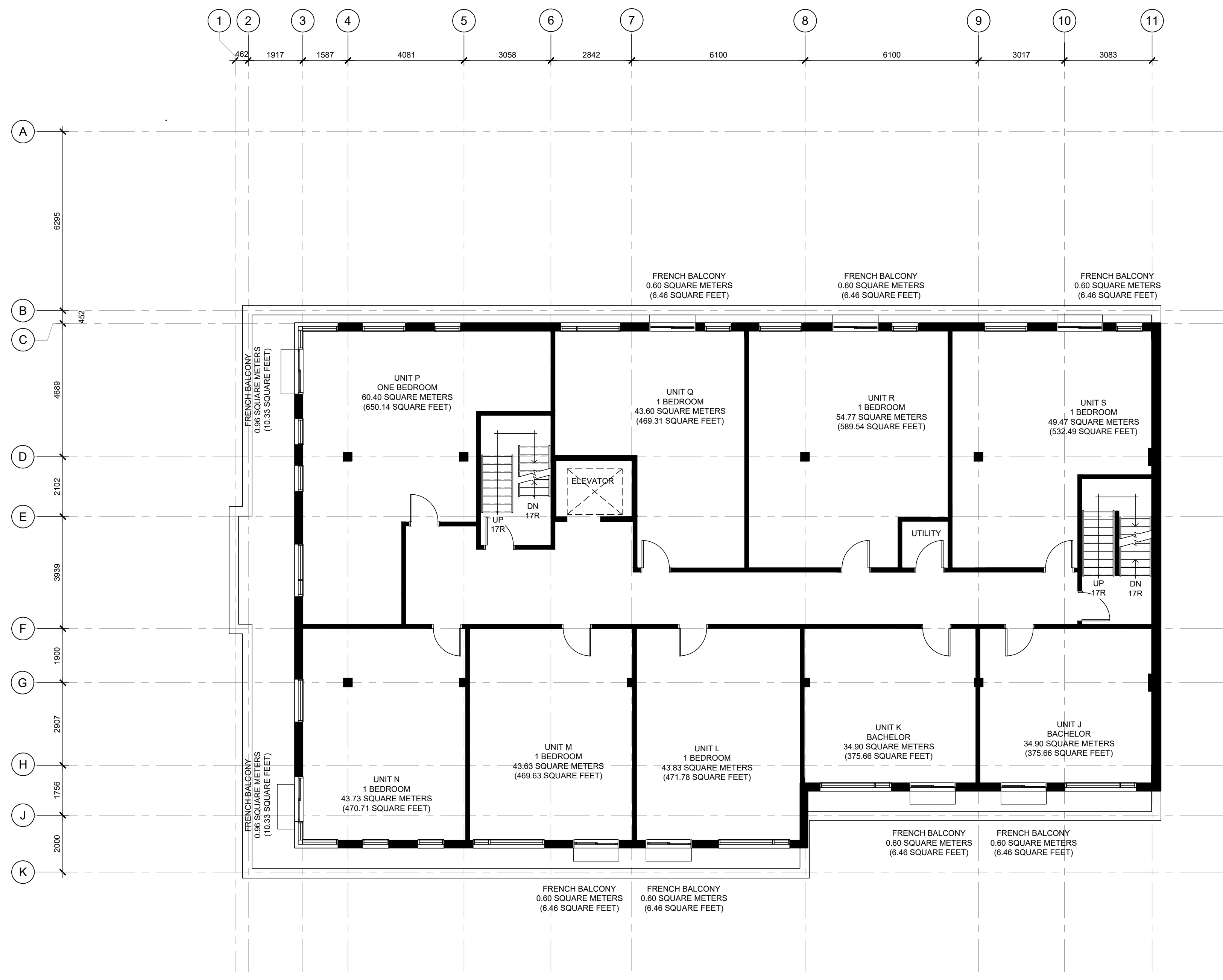
DRAWING TITLE

FLOOR PLAN: 5TH FLOOR

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A205
SCALE	REVIEWED		
	TD DR		

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FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947

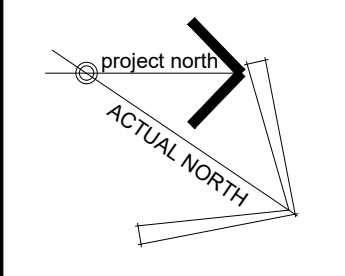


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9	ISSUED FOR CITY RESPONSE	2023-12-01

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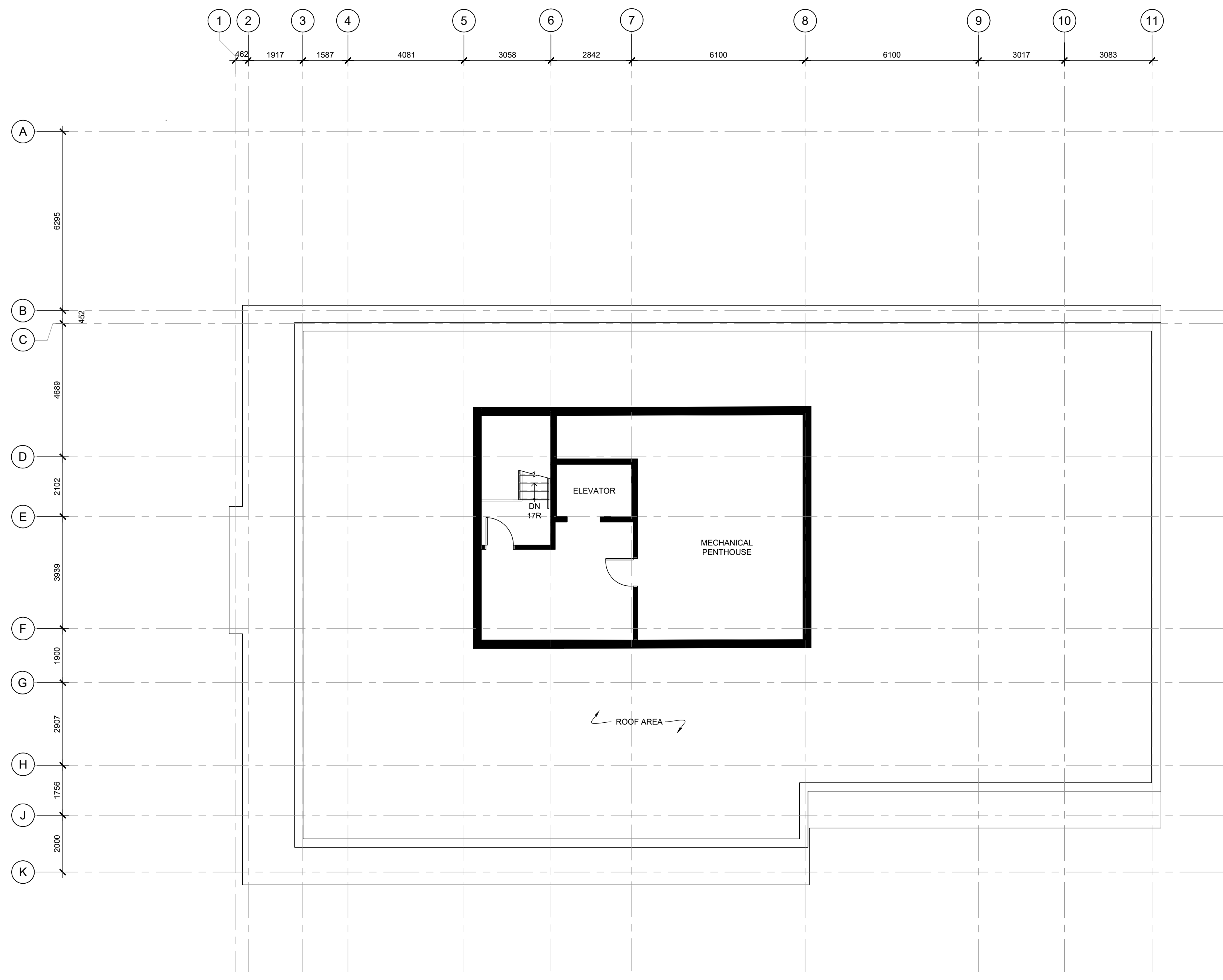
PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
FLOOR PLAN: 6TH FLOOR

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A206
SCALE	REVIEWED		
1:100	TD DR		

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FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947

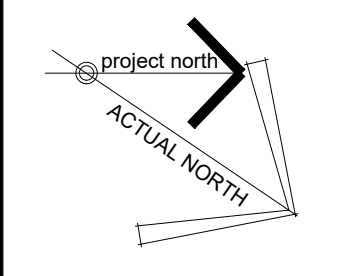


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2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
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6	REISSUED FOR SITE PLAN CONTROL	2023-08-01
7	ISSUED FOR REVIEW	2023-10-18
8	ISSUED FOR COORDINATION	2023-11-23
9	ISSUED FOR CITY RESPONSE	2023-12-01

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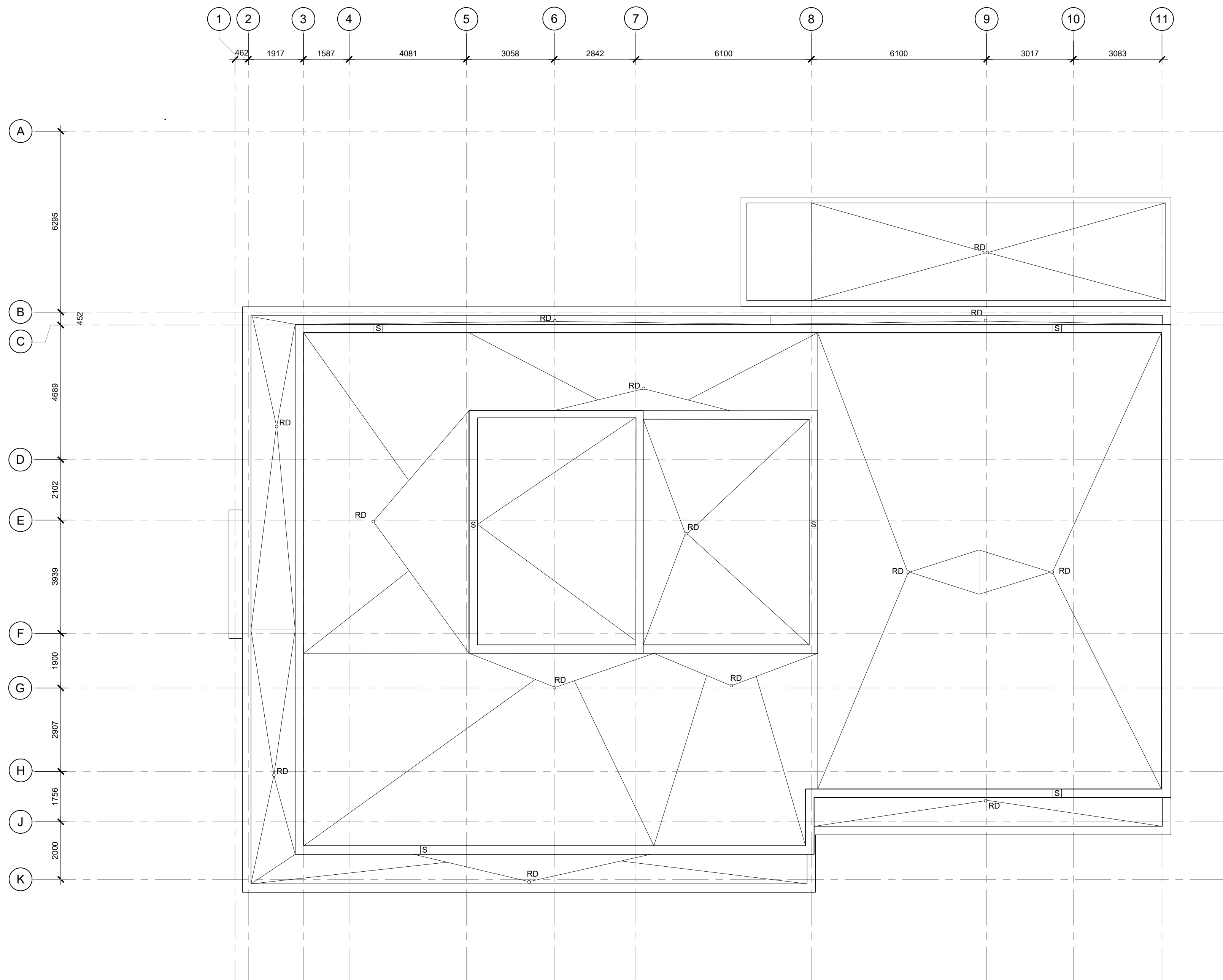
PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
FLOOR PLAN: PENTHOUSE

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A207
SCALE	REVIEWED		
1:100	TD DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



ROOF PLAN NOTES:

1. MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.

ROOF PLAN LEGEND:

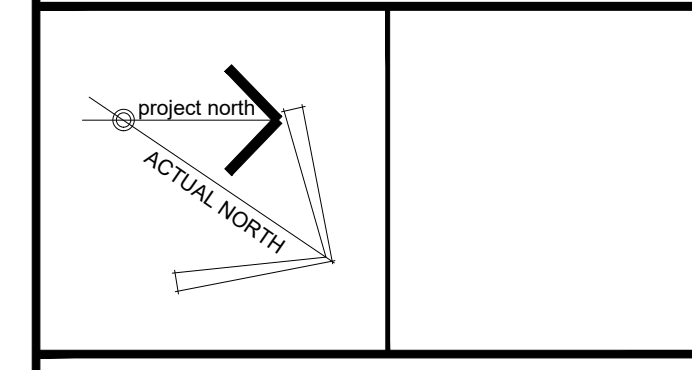
RD	LOCATION OF ROOF DRAIN
S	LOCATION OF SCUPPER
WD	LOCATION OF WALL DRAIN

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PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
ROOF PLAN

DATE OCT. 2022	DRAWN IC	JOB NO. 3038	DRAWING NO. A208
SCALE 1:100	REVIEWED TD DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947

ELEVATION NOTES:

- MECHANICAL SHOWN FOR COORDINATION PURPOSES. REFER TO MECHANICAL DOCUMENTS.
- POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.

ELEVATION LEGEND:

- PROPERTY LINE
- SET BACK LINE

- FDC LOCATION OF FIRE DEPARTMENT CONNECTION
- PDO LOCATION OF POWER DOOR OPERATOR
- S LOCATION OF THRU-WALL SCUPPER

ELEVATION FINISH LEGEND:

- MASONRY VENEER: BRICK 1
- MASONRY VENEER: BRICK 2
- CORRUGATED METAL SIDING: HORIZONTAL
- ARCHITECTURAL METAL PANEL: FINISH 1
- ARCHITECTURAL METAL PANEL: FINISH 2

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9	ISSUED FOR CITY RESPONSE	2023-12-01

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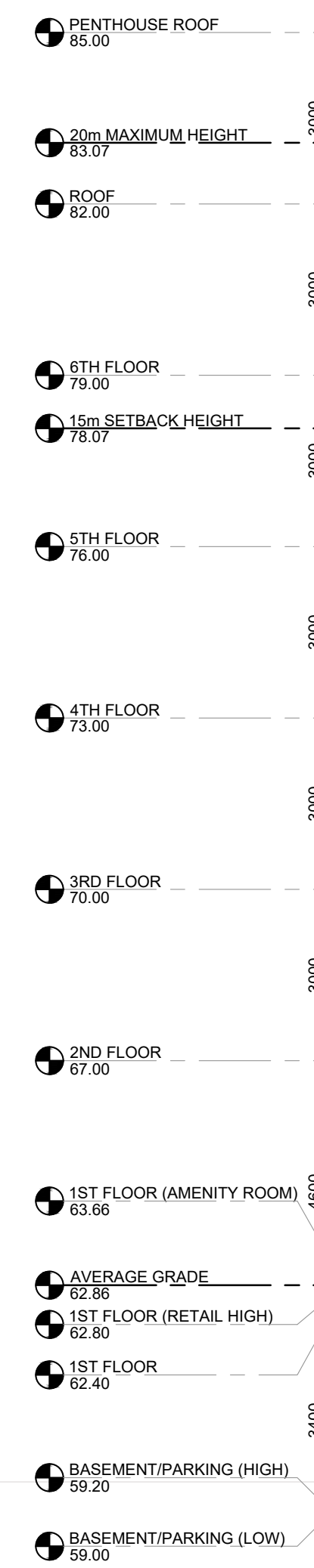
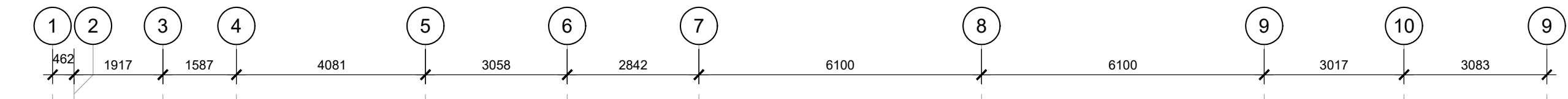
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PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
EAST ELEVATION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A300
SCALE	REVIEWED		
1:100	TD/DR		

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FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947

ELEVATION NOTES:

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- POWER DOOR OPERATOR BUTTONS TO BE LOCATED 900-1100mm ABOVE GROUND / FLOOR AND 600-1500mm FROM DOOR SWING WHEN DOOR OPENS TOWARDS THE CONTROL.

ELEVATION LEGEND:

- PROPERTY LINE
- SET BACK LINE

- FDC LOCATION OF FIRE DEPARTMENT CONNECTION
- PDO LOCATION OF POWER DOOR OPERATOR
- S LOCATION OF THRU-WALL SCUPPER

ELEVATION FINISH LEGEND:

- MASONRY VENEER: BRICK 1
- MASONRY VENEER: BRICK 2
- CORRUGATED METAL SIDING: HORIZONTAL
- ARCHITECTURAL METAL PANEL: FINISH 1
- ARCHITECTURAL METAL PANEL: FINISH 2

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7	ISSUED FOR REVIEW	2023-10-18
8	ISSUED FOR COORDINATION	2023-11-23
9	ISSUED FOR CITY RESPONSE	2023-12-01

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PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
WEST ELEVATION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A301
SCALE	REVIEWED		
1:100	TD/DR		

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FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



ELEVATION NOTES:

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ELEVATION LEGEND:

- PROPERTY LINE
- SET BACK LINE

- FDC LOCATION OF FIRE DEPARTMENT CONNECTION
- PDO LOCATION OF POWER DOOR OPERATOR
- S LOCATION OF THRU-WALL SCUPPER

ELEVATION FINISH LEGEND:

- MASONRY VENEER: BRICK 1
- MASONRY VENEER: BRICK 2
- CORRUGATED METAL SIDING: HORIZONTAL
- ARCHITECTURAL METAL PANEL: FINISH 1
- ARCHITECTURAL METAL PANEL: FINISH 2

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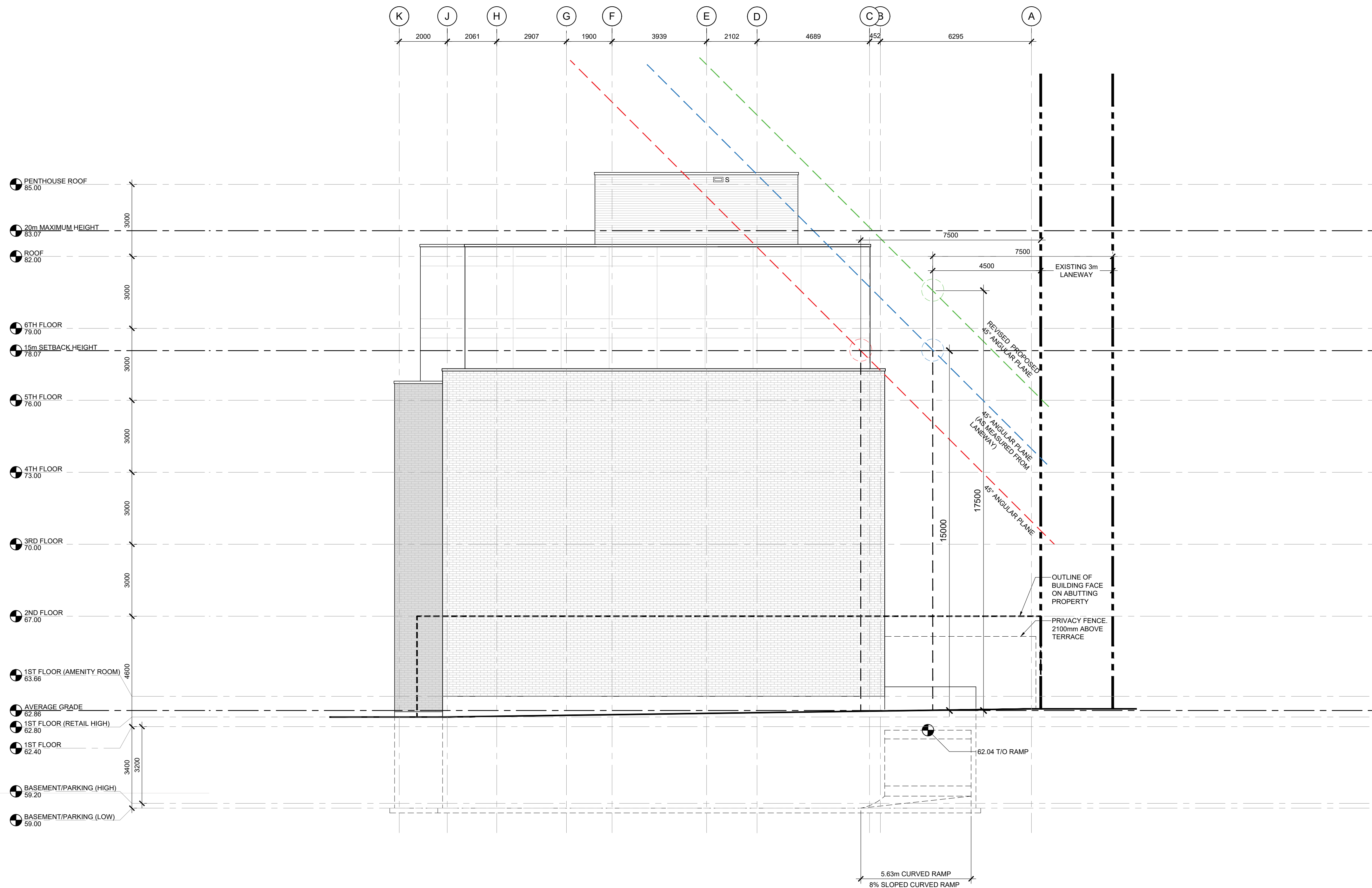
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PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
SOUTH ELEVATION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A302
SCALE	REVIEWED		
1:100	TD DR		

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ELEVATION NOTES:

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ELEVATION LEGEND:

- PROPERTY LINE
- SET BACK LINE

FDC LOCATION OF FIRE DEPARTMENT CONNECTION

PDO LOCATION OF POWER DOOR OPERATOR

S LOCATION OF THRU-WALL SCUPPER

ELEVATION FINISH LEGEND:

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- MASONRY VENEER: BRICK 2
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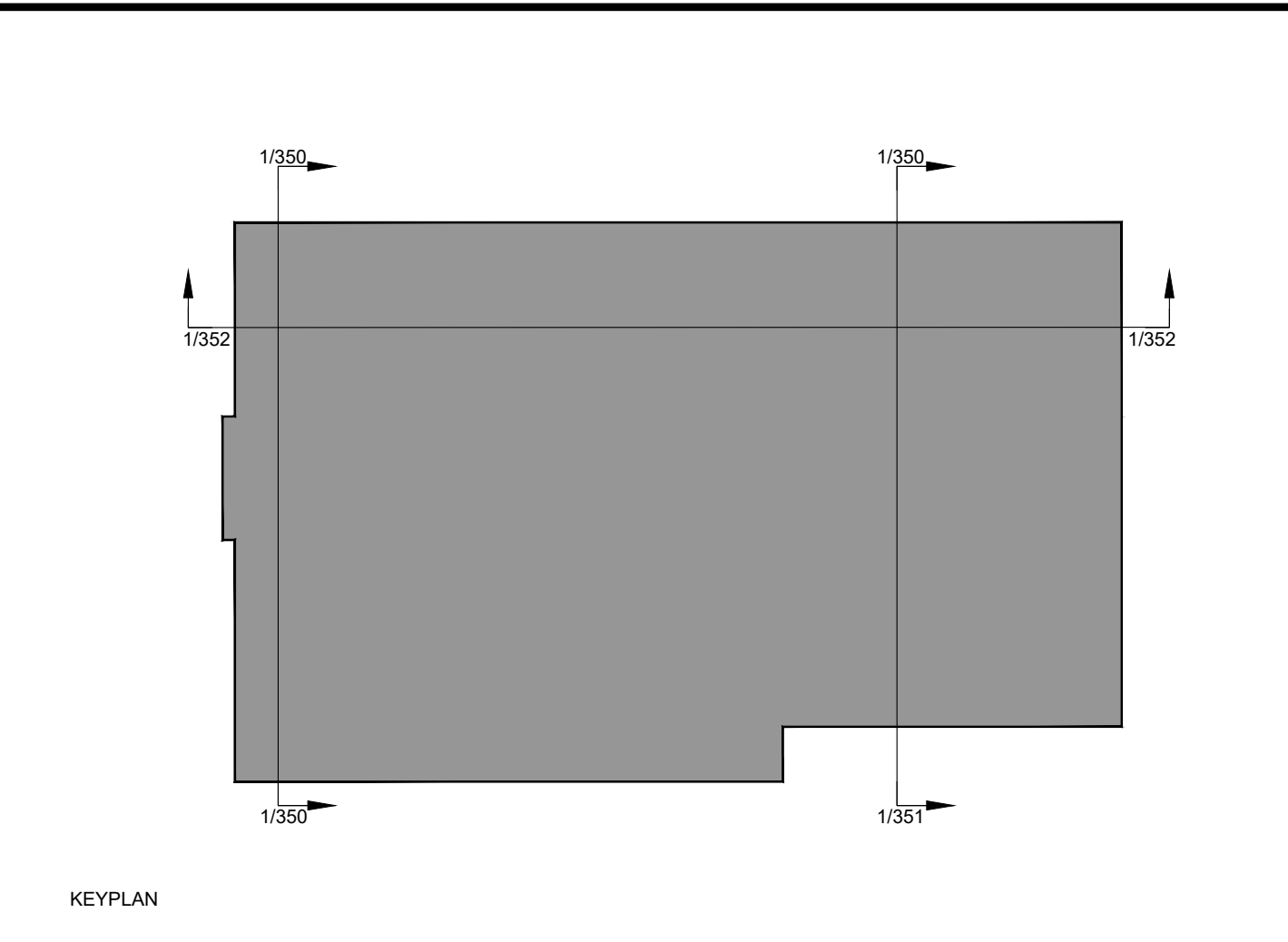
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PROJECT TITLE
1166 BANK STREET

DRAWING TITLE
NORTH ELEVATION

DATE	DRAWN	JOB NO.	DRAWING NO.
OCT. 2022	IC	3038	A303
SCALE	REVIEWED		
1:100	TD DR		

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- ELEVATION NOTES:**
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- ELEVATION FINISH LEGEND:**
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 - MASONRY VENEER: BRICK 2
 - CORRUGATED METAL SIDING: HORIZONTAL
 - ARCHITECTURAL METAL PANEL: FINISH 1
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PROJECT TITLE

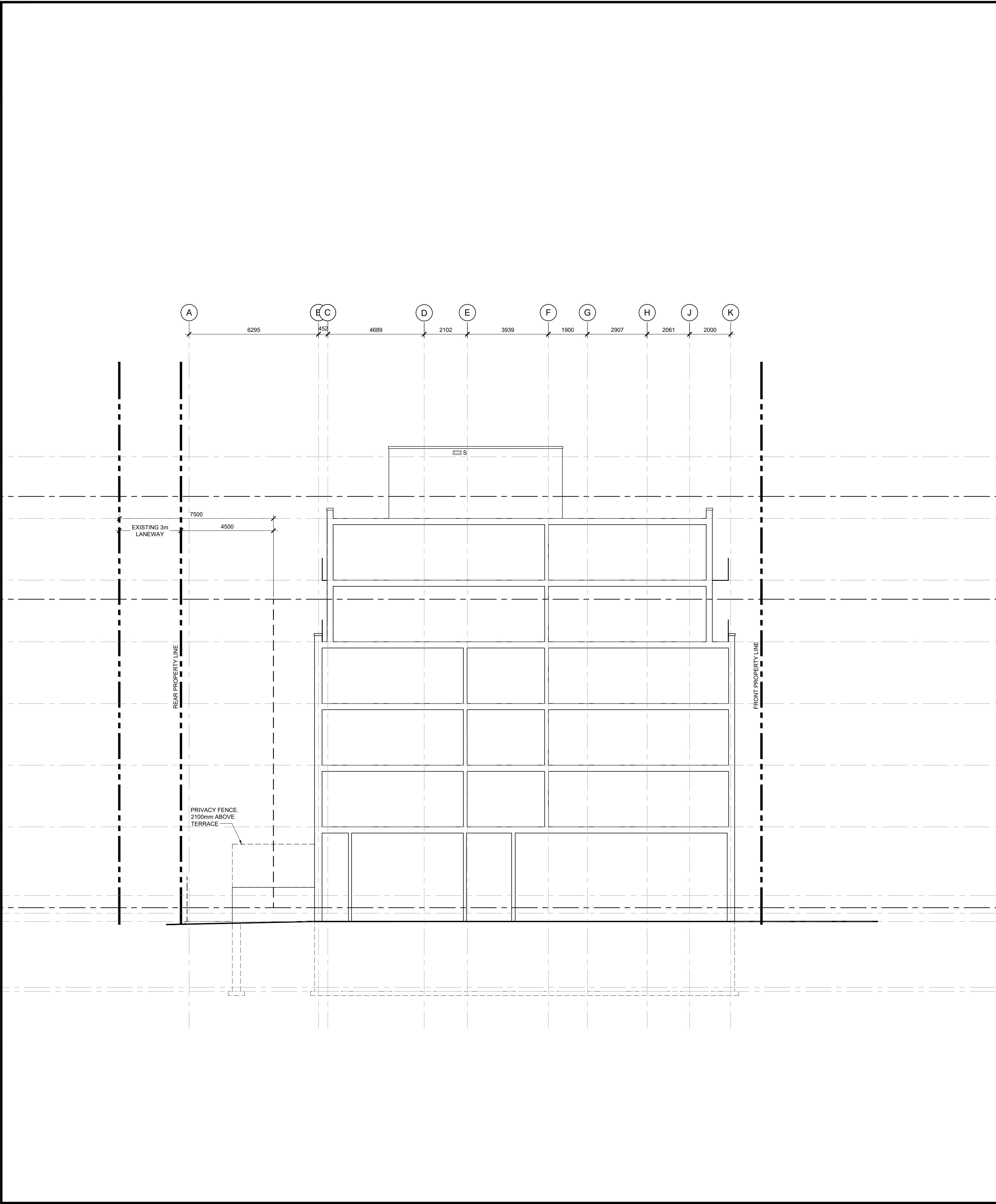
1166 BANK STREET

DRAWING TITLE

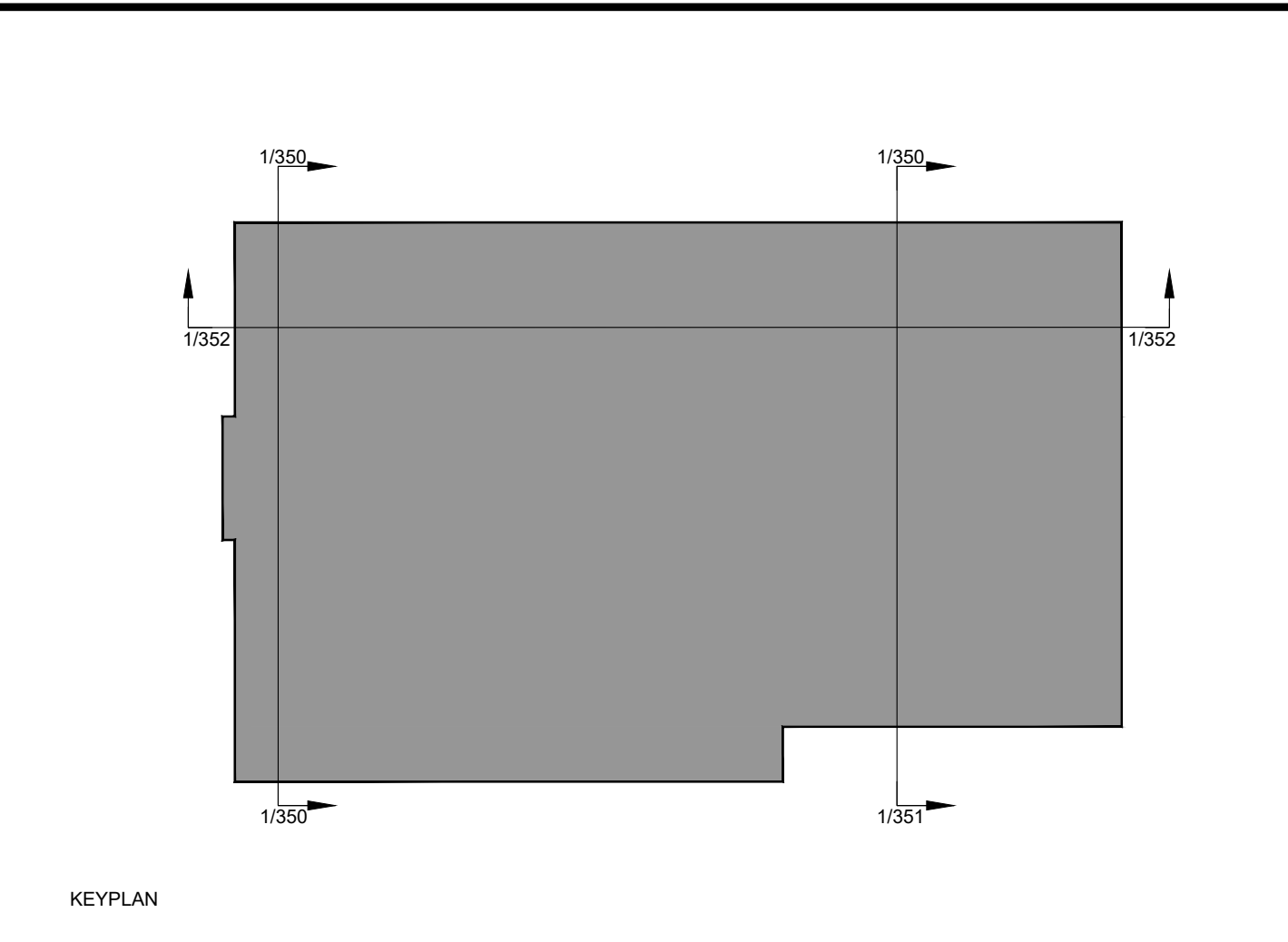
SECTION

DATE OCT. 2022	DRAWN IC	JOB NO. 3038	DRAWING NO. A350
SCALE 1:100	REVIEWED TD/DR		

ARCHITECTURAL



FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947



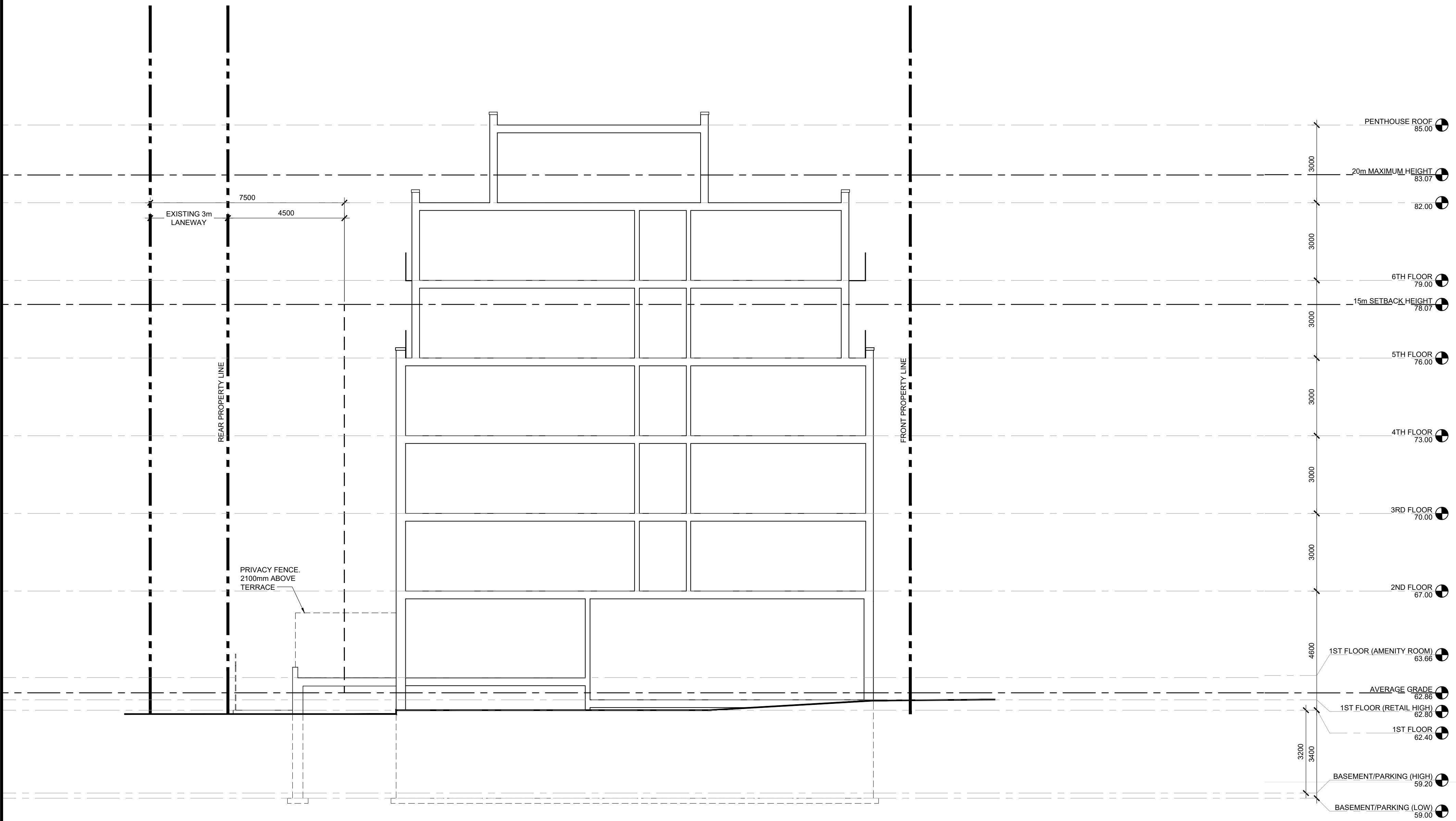
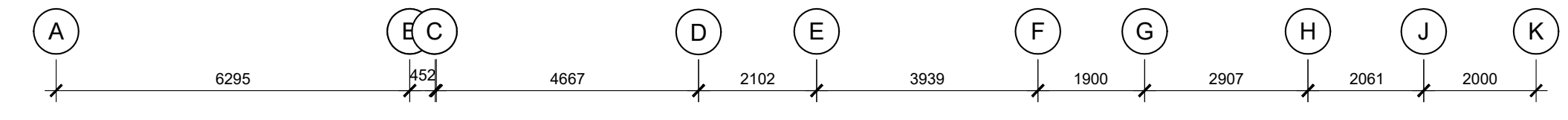
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- ELEVATION LEGEND:**
- PROPERTY LINE
 - SET BACK LINE
- | | |
|-----|--|
| FDC | LOCATION OF FIRE DEPARTMENT CONNECTION |
| PDO | LOCATION OF POWER DOOR OPERATOR |
| S | LOCATION OF THRU-WALL SCUPPER |
- ELEVATION FINISH LEGEND:**
- MASONRY VENEER: BRICK 1
 - MASONRY VENEER: BRICK 2
 - CORRUGATED METAL SIDING: HORIZONTAL
 - ARCHITECTURAL METAL PANEL: FINISH 1
 - ARCHITECTURAL METAL PANEL: FINISH 2

GENERAL NOTES

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- PENTHOUSE ROOF 85.00
- 20m MAXIMUM HEIGHT 83.07
- 82.00
- 6TH FLOOR 79.00
- 15m SETBACK HEIGHT 76.07
- 5TH FLOOR 76.00
- 4TH FLOOR 73.00
- 3RD FLOOR 70.00
- 2ND FLOOR 67.00
- 1ST FLOOR (AMENITY ROOM) 63.66
- AVERAGE GRADE 62.88
- 1ST FLOOR (RETAIL HIGH) 62.86
- 1ST FLOOR 62.40
- BASEMENT/PARKING (HIGH) 59.20
- BASEMENT/PARKING (LOW) 59.00

ISSUE RECORD:

NO.	DESCRIPTION	DATE
1	ISSUED FOR SITE PLAN COORDINATION	2022-11-03
2	ISSUED FOR SITE PLAN COORDINATION	2022-12-09
3	ISSUED FOR COORDINATION	2023-01-20
4	ISSUED FOR COORDINATION	2023-02-01
5	ISSUED FOR SITE PLAN CONTROL	2023-03-10
6	REISSUED FOR SITE PLAN CONTROL	2023-08-01
7	ISSUED FOR REVIEW	2023-10-18
8	ISSUED FOR COORDINATION	2023-11-23
9	ISSUED FOR CITY RESPONSE	2023-12-01

CONSULTANTS

EXP
CIVIL ENGINEERS
TEL: 613-688-1899

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS
TEL: 613-722-5168

NOVATECH
PLANNERS
TEL: 613-254-9643

CLIENT

AMBASSADOR REALTY INC.
185 SOMERSET ST. W., OTTAWA, ONTARIO
TEL: 613-233-1104

PROJECT TITLE

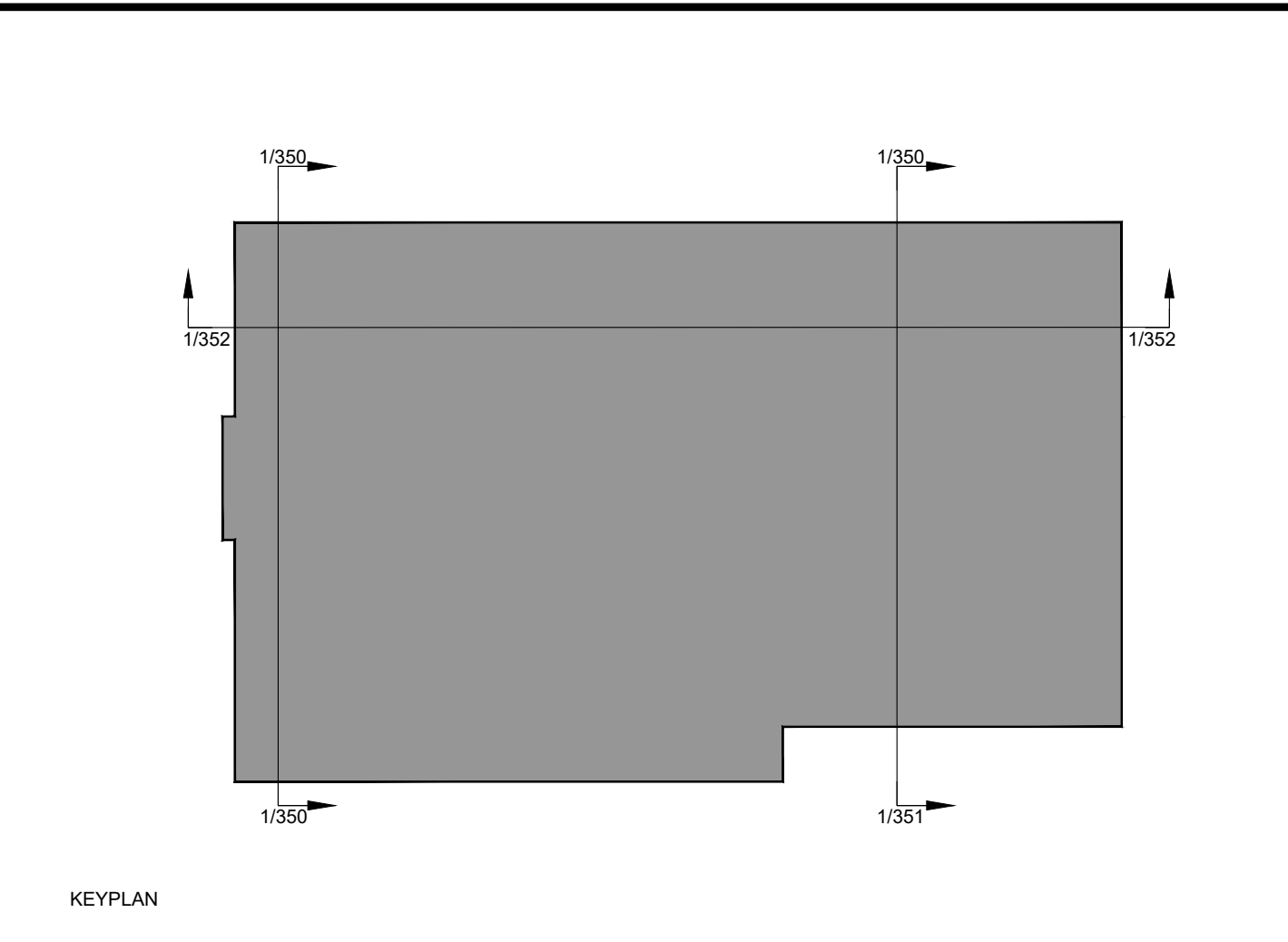
1166 BANK STREET

DRAWING TITLE

SECTION

DATE OCT. 2022	DRAWN IC	JOB NO. 3038	DRAWING NO. A351
SCALE 1:100	REVIEWED TD/DR		

ARCHITECTURAL



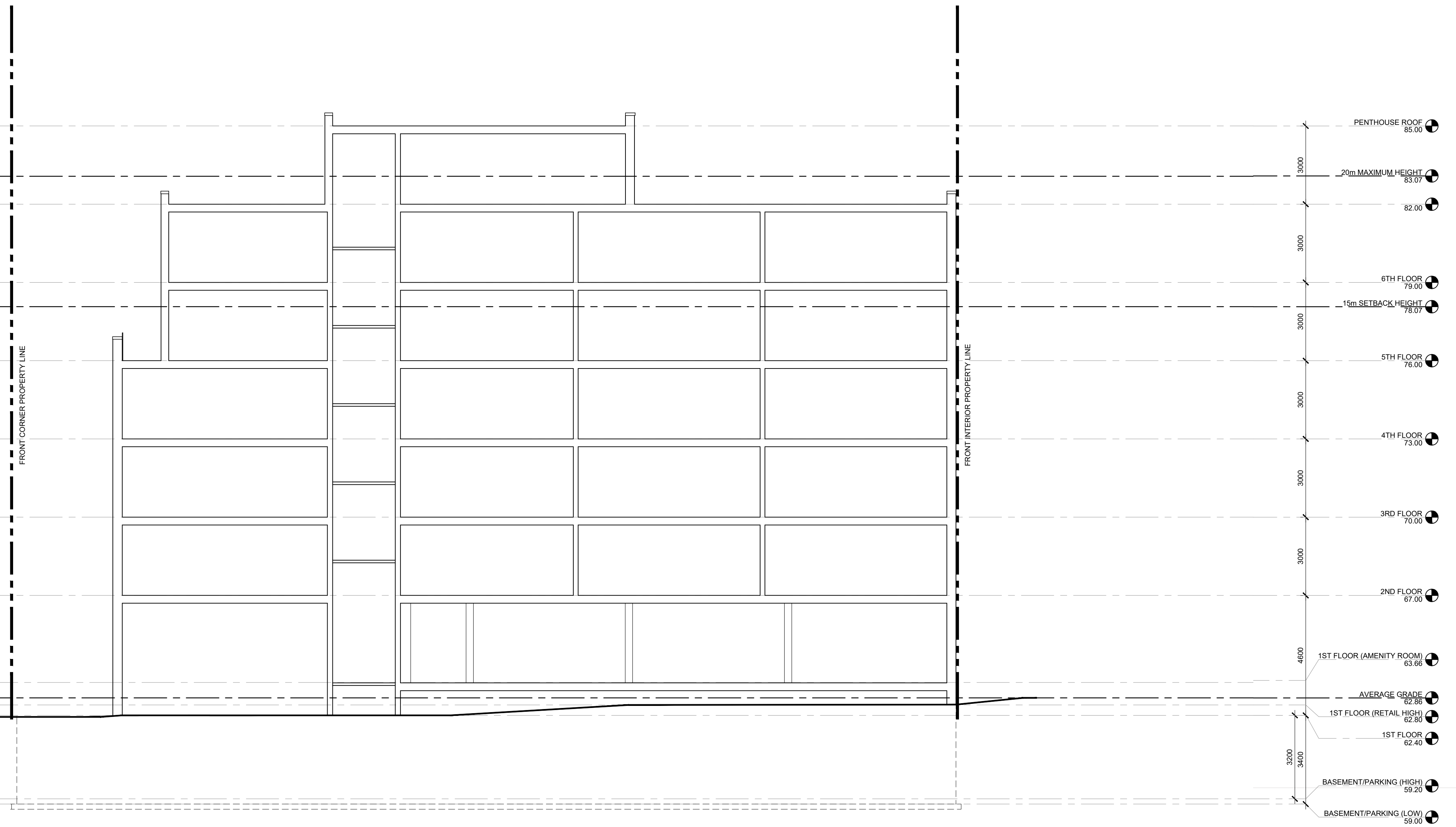
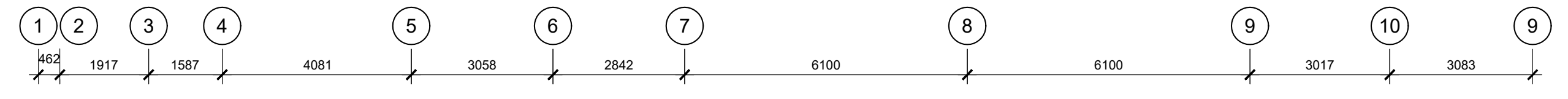
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201-1339 WELLINGTON ST. WEST OTTAWA ON K1Y 3B8
WWW.ARCHITECTSDCA.COM 613.725.2294

PROJECT TITLE

1166 BANK STREET

DRAWING TITLE

SECTION

DATE OCT. 2022	DRAWN IC	JOB NO. 3038	DRAWING NO. A352
SCALE 1:100	REVIEWED TD/DR		

ARCHITECTURAL

FILE D07-12-23-0035 D02-02-23-0023 PLAN 18947