

LAURIER AVENUE WEST

PROJECT INFORMATION			
Zoning By-law 2006-200 Consolidation	MD 550	SITE AREA	0.182 ha, 1,814.97 sq. m. (59,536 sq. ft.)
ZONING	REQUIRED	PROVIDED	
BUILDING HEIGHT - SCHEDULE 50, ABOVE SEA LEVEL	157.8m to 160.3m east	157.8m to 160.3m east	
BUILDING HEIGHT - SIDEWALK ELEVATION (69.00m east)	88.55m to 91.08m	89.3m	
AMENITY AREA - TOTAL PER UNIT - 6.0m ²	2,412m ²	2,558.0m ²	
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	1,206m ²	1,251.0m ²	
VEHICLE PARKING - RESIDENTIAL (AREA 'Z' - NOT REQUIRED)	0	170	
VEHICLE PARKING - VISITOR 0.1 PER UNIT	30	30	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	201	231	
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² G.F.A.	3	4	
aisle & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m	
AT GRADE PEDESTRIAN EASEMENT - FROM R.O.W.	1.5m	1.5m	

NOTATION SYMBOLS:	
(01)	INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
(02)	INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULE.
(03)	INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON AR30 SERIES.
(04)	INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON AR30 SERIES.
(05)	DETAIL NUMBER
(06)	TITLE
(07)	DETAIL REFERENCE PAGE
(08)	DETAIL CROSS REFERENCE PAGE

GENERAL NOTES:	
(A)	REFER TO TYPICAL ASSEMBLIES SHEET FOR WALL, PARTITION, ROOF CEILING & FLOOR TYPES.
(B)	FOR DOOR TYPES AND HARDWARE REQUIREMENTS REFER TO DOOR SCHEDULE ON AR30 SERIES.
(C)	ALL INTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF DRYWALL.
(D)	ALL EXTERIOR DIMENSIONS ARE TAKEN FROM THE FACE OF CLADDING.
(E)	ALL EXTERIOR WALLS ARE TO BE TYPE 'W1' UNLESS NOTED OTHERWISE.
(F)	ALL INTERIOR PARTITIONS ARE TO BE TYPE 'P1' UNLESS NOTED OTHERWISE.

PROJECT STATISTICS	
GROSS BUILDING FLOOR AREA	
IGP PARKING LEVELS	000 sq. m.
GROUND FLOOR	697.7 sq. m.
2nd FLOOR	849.0 sq. m.
3rd - 5th FLOOR	3,097.0 sq. m.
6th FLOOR - AMENITY LEVEL	0.0 sq. m.
7th to 24th FLOOR	15,821.2 sq. m.
25th - 26th FLOOR	1,707.4 sq. m.
27th FLOOR	722.5 sq. m.
28th FLOOR	502.4 sq. m.
TOTAL AREA ABOVE GRADE	23,297.3 sq. m.
TOWER FOOTPRINT	1,029.0 sq. m.
	11,336 sq. ft.

UNIT STATISTICS	
STUDIO UNIT	50
1 BEDROOM UNIT	190
2 BEDROOM UNIT	75
3 BEDROOM UNIT	4
TOTAL	402
COMMERCIAL RETAIL UNIT	574.4 sq. m.
	6,183 sq. ft.

CAR PARKING	
REQUIRED	
RESIDENCE	- AREA Z - NOT REQUIRED
VISITOR	- 0.1 PER UNIT (MAX. 30)
COMMERCIAL	- AREA Z - NOT REQUIRED
TOTAL	30
PROVIDED	
RESIDENCE	- 0.424 PER UNIT (402 UNITS)
VISITOR	- 0.1 PER UNIT (MAX. 30)
TOTAL	200

STANDARD PARKING SPACE	
SMALL CAR PARKING SPACE	2.4m X 5.2m
ACCESSIBLE TYPE 'A'	3.4m X 5.2m
ACCESSIBLE TYPE 'B'	2.4m X 5.2m

LOCATION	
SURFACE	1
P1	2
P2	0
P3	0
P4	0
P5	0
P6	0
TOTAL	3

BICYCLE PARKING	
REQUIRED	
RESIDENCE	- 0.5 PER UNIT (402 UNITS)
COMMERCIAL RETAIL	- 1.0 PER 250m ² OF G.F.A.
TOTAL	203
PROVIDED	
INTERIOR - GROUND + P1 LEVEL	231
EXTERIOR AT GRADE	4
TOTAL	235

AMENITY SPACE	
1st FL COMMUNAL INTERIOR	109.0 sq. m.
2nd FL PRIVATE TERRACE	47.0 sq. m.
2nd FL COMMUNAL INTERIOR	75.0 sq. m.
2nd FL COMMUNAL EXTERIOR	47.0 sq. m.
6th FL COMMUNAL INTERIOR	715.0 sq. m.
6th FL COMMUNAL EXTERIOR	257.0 sq. m.
PRIVATE BALCONIES	1,307.0 sq. m.
TOTAL	2,558.0 sq. m.
TOTAL COMMUNAL	1,251.0 sq. m.
REQUIRED - 6.0m ² PER UNIT (402)	2,412.0 sq. m.
REQUIRED COMMUNAL @ 50%	1,206.0 sq. m.

LOT COVERAGE	
PAVED SURFACE	396.7 sq. m.
BUILDING FOOTPRINT	1,189.9 sq. m.
LANDSCAPE OPEN SPACE	228.37 sq. m.
TOTAL	1,814.97 sq. m.
GARBAGE REQUIREMENT (402 UNITS)	
GARBAGE	- 0.11 PER UNIT
RECYCLING GMP	- 0.018 PER UNIT
RECYCLING FIBER	- 0.038 PER UNIT
COMPOST	- 240L PER 50 UNITS

REVISIONS:		
NO.	DESCRIPTION	DATE
1	REVISED AS PER DAR REVIEW	Feb. 09, 24
2	ISSUED FOR SITE PLAN APPROVAL	Dec. 01, 23
3	ISSUED FOR SPC ADDITIONAL ROUND 2 CITY COMMENTS	Nov. 27, 23
4	ISSUED FOR SPC ROUND 2 CITY COMMENTS	Oct. 20, 23
5	ISSUED FOR FOUNDATION PERMIT	Aug. 30, 23
6	ISSUED FOR SPC ROUND 1 CITY COMMENTS	June 28, 23
7	REVISED AS PER GENERAL CHANGES	May 10, 23
8	ISSUED FOR SPC APPLICATION	Aug. 30, 22
9	ISSUED TO CONSULTANTS	Aug. 02, 22
10	ISSUED FOR PRE-CONSULTATION MEETING	June 3, 22

ARCHITECT SEAL:	
ARCHITECT	ARCHITECTURE
ARCHITECT'S LICENCE	4235
SEAL DATE: STAMP DATE	

CLIENT:	
JADCO GROUP	
345 Boulevard Samson, Laval, QC H7X 2Z7	

LEGAL DESCRIPTION	
SURVEYOR'S REAL PROPERTY REPORT	
PART 1 Plan of	
LOTS 54, 55 and PART OF LOT 53	
South Laurier Avenue	
REGISTERED PLAN 4556	
CITY OF OTTAWA	
Surveyed by Annis, O'Sullivan, Vollebek Ltd.	

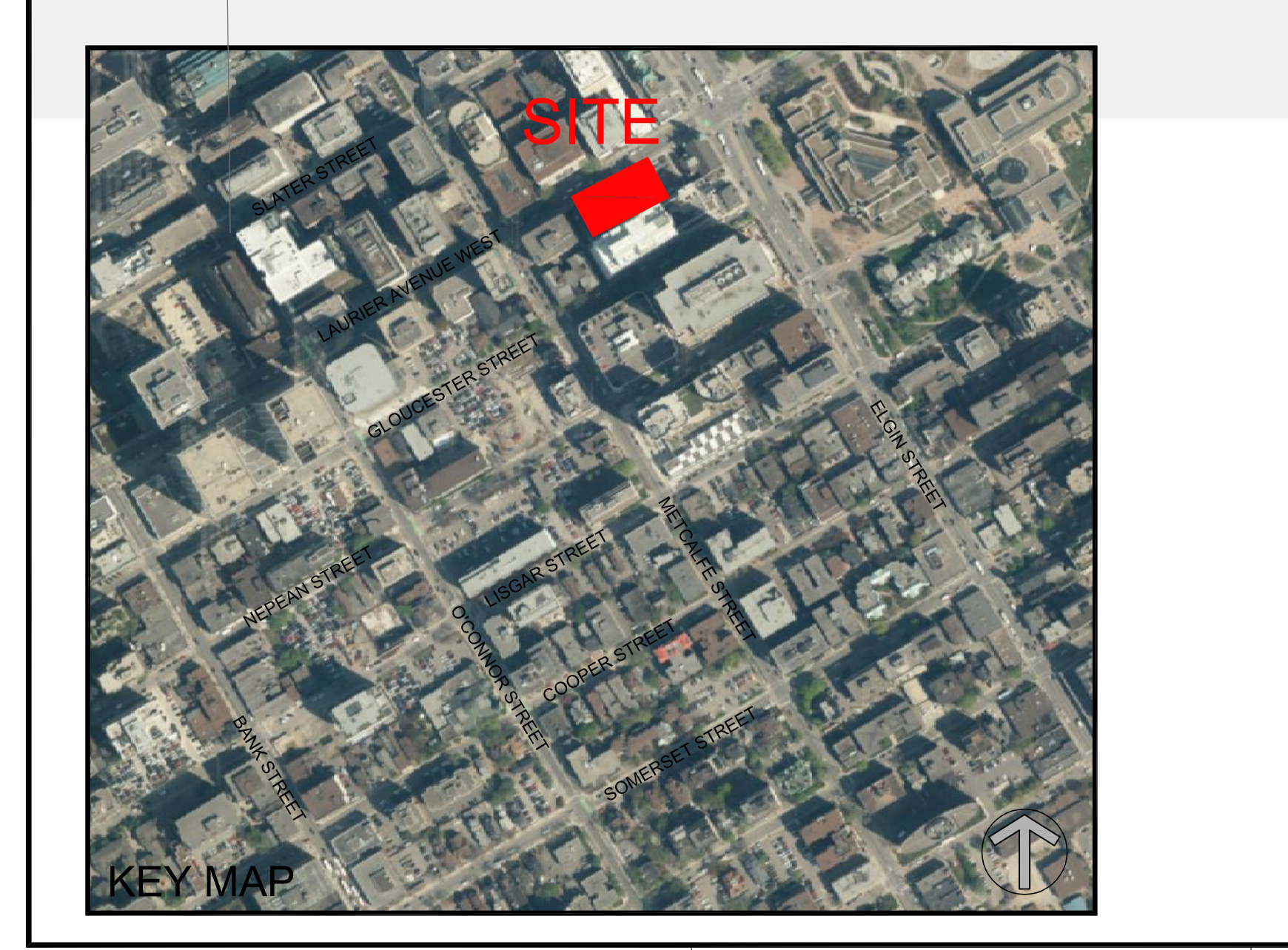
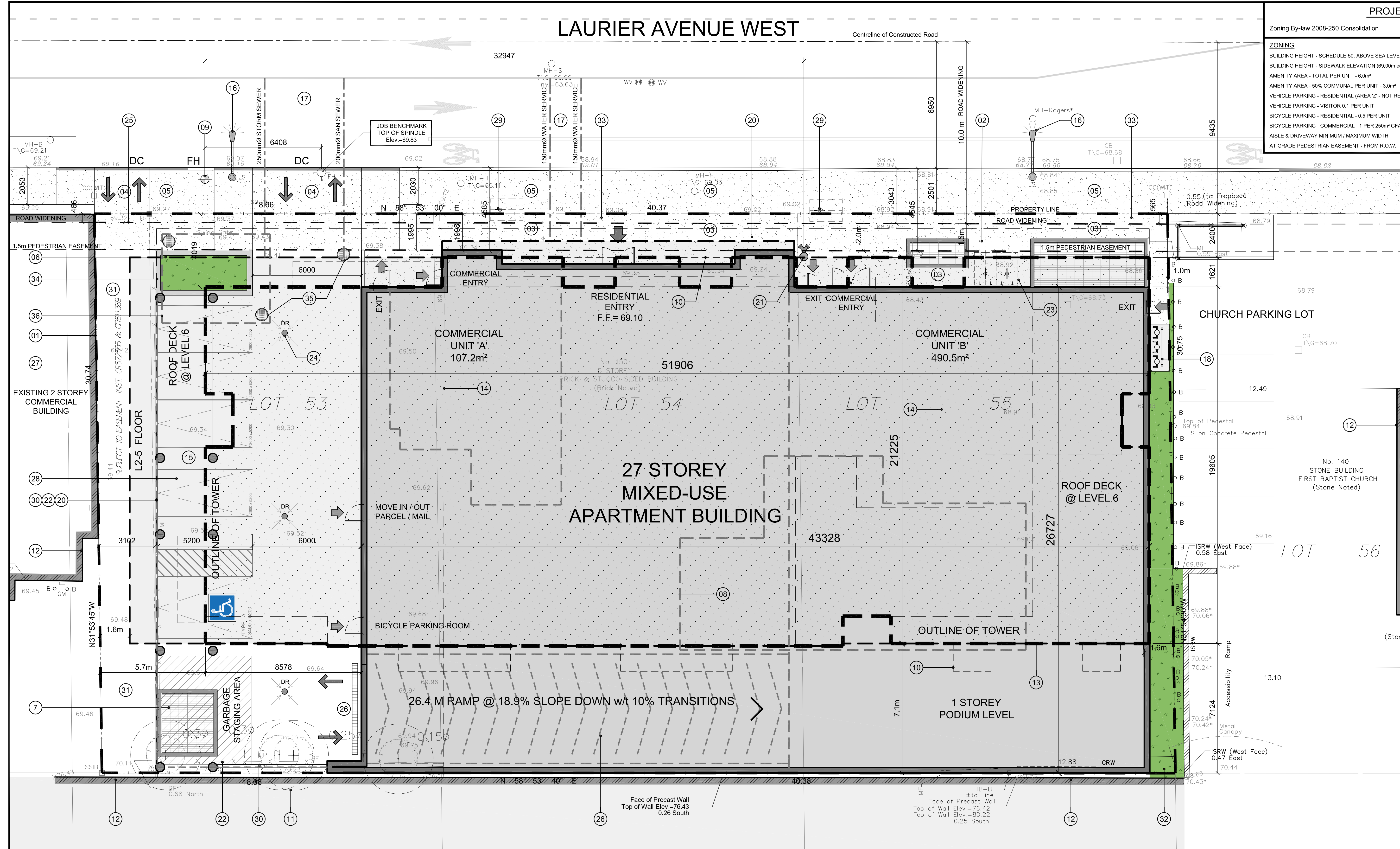
SURVEYOR	
Annis O'Sullivan Vollebek Ltd.	
Ontario Land Surveyors	
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Tel: (613) 852-1343	
Cell: (613)	
Email: gino@giala.com	



EXISTING 31 STOREYS
(3 PARKING LEVELS)
COMMERCIAL /
CONDOMINIUM BUILDING
31 GLOUCESTER STREET

No. 31
Gloucester Street
PRECAST & GLASS SIDED MULTI-LEVEL BUILDING
(Precast Noted)

LOT 54

ANDREW MCCREIGHT
MANAGER, DEVELOPMENT REVIEW CENTRAL
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 12:07 pm, Apr 10, 2024

- DRAWING NOTES**
- PROPERTY LINE
 - 1.5m AT GRADE PEDESTRIAN EASEMENT
 - HARD SURFACE PAVING, SEE LANDSCAPE PLAN FOR PATTERN AND TYPE
 - CITY CURB & SIDEWALK TO BE DEPRESSED AND CONTINUOUS THROUGH DRIVEWAY
 - REPLACE EXISTING CONCRETE STREET CURB AND SIDEWALK TO CITY STANDARD SC1.4
 - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - REFUSE & LOADING STAGING AREA
 - GARBAGE ROOM IN P1 PARKING LEVEL
 - RELOCATED EXISTING FIRE HYDRANT
 - OUTLINE OF PRIVATE TERRACE ABOVE
 - EXISTING TREE TO BE REMOVED
 - EXISTING BUILDINGS ON ADJACENT PROPERTY
 - OUTLINE OF TOWER ABOVE
 - OUTLINE OF EXISTING BUILDING
 - 6th FLOOR AMENITY ROOF TERRACE
 - EXISTING STREET LIGHT
 - PROPOSED BUILDING SERVICES, SEE CIVIL
 - GAS EQUIPMENT / BLOW OFF STATION
 - RELOCATE EXISTING STREET LIGHT AS REQUIRED
 - OUTLINE OF UNDERGROUND PARKING LEVEL
 - SIAMESE CONNECTION
 - 150mm WIDE CONCRETE BARRIER CURB
 - BICYCLE RACK, SEE LANDSCAPE FOR TYPE
 - DECK DRAIN, SEE CIVIL
 - R.O.W. WITH VARIES, 0.46m TO 0.55m

- 6.0m WIDE RAMP TO BELOW GROUND PARKING GARAGE WITH TRENCH DRAIN
- EXISTING PILLION SIGN TO BE REMOVED
- SHORT TERM PARKING (DROP-OFF / PICK-UP)
- EXISTING CITY OWNER BIKE RACK
- 4.0m HIGH SCREENED WALL
- 3.0 METRE WIDE SURFACE EASEMENT, VEHICLE ACCESS TO 162 LAURIER PARKING AREA, ASPHALT FINISH
- EXISTING RETAINING WALL TO BE REMOVED
- UNIT PAVEMENT INLAY, SEE LANDSCAPE
- LOW PLANTER, SEE LANDSCAPE
- ACCESS MANHOLES FOR CISTERN
- CISTERN OUTLINE IN P1 LEVEL

PROJECT DEVELOPER
Jadco Group
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Laval, QC, H7X 2Z7
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345 Boulevard Samson, Laval, QC H7X 2Z7

ARCHITECT:
rla/architecture
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PROJECT TITLE:
150 LAURIER AVENUE WEST

OTTAWA ONTARIO

SHEET TITLE:
SITE PLAN

DRAWN: RV
CHECKED: R.V.

SCALE: 1:100
SHEET No.: SP-1

PROJECT No.: 1827