



**IRONCLAD**  
DEVELOPMENTS INC.

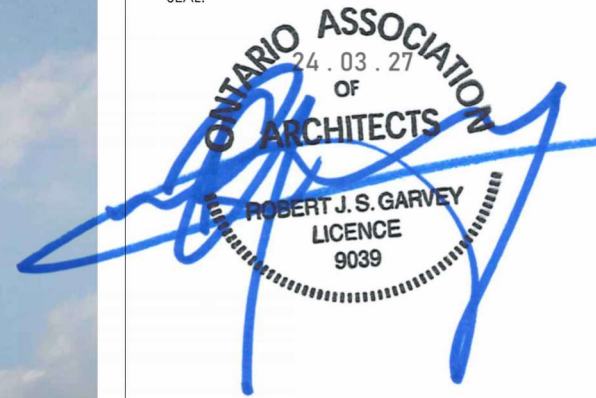
101-57158 Symington Road  
Springfield, MB R2J 4L6  
Ph: 204-777-1972  
info@icdev.ca

Consultant



ROB GARVEY  
ARCHITECTURE 77 INC.  
201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
T: 204.227.9274  
E: RGARVEY@A77.CA

SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	24.02.29	Re-Submission
1	23.06.22	Submission

Project Number: 2133

Designed By: J.P.M.

Drawn By: D.D.

Checked By: R.G.

Noella Leclair Street,  
Ottawa, Ontario;

DEVELOPMENT PERMIT  
APPLICATION SET

GENERAL PROJECT INFO.  
SCALE: N.T.S.

DP00

NOTES:

APPLICATION No. D07-12-23-0095

SEAL:



Zoning Requirements	Required	Provided	Compliant
Minimum lot area, sq m	unspecified	9,255.60	Yes
Maximum lot coverage %	unspecified	27%	Yes
Minimum lot frontage, m	unspecified	90.64	Yes
Minimum lot depth, m	unspecified	102.28	Yes
Maximum Floor Area Ratio	unspecified	1.62	Yes
Maximum building height, m	40.0	18.6	Yes
Minimum front setback, m	3.0	3.0	Yes
Minimum exterior side setback, m	3.0	4.4	Yes
Minimum interior side setback, m	unspecified	20.8	Yes
Minimum rear setback, m	7.5	7.5	Yes

Parking Requirements	Required	Provided	Compliant
Resident stalls, minimum total #	188	164	No
Resident stalls, minimum # per dwelling unit	1.2	1.04	No
Visitor stalls, minimum total #	31	31	Yes
Visitor stalls, minimum # per dwelling unit	0.2	0.2	Yes
Accessible stalls, minimum #	2	4	Yes
Small car stalls, max # based on spaces provided	82	45	Yes
Bicycle parking stalls, minimum #	79	82	Yes

Amenity Areas, sq m	Required	Provided	Compliant
Communal	471.0	1,295.3	Yes
Private	unspecified	1,432.2	Yes
Total	942.0	2,727.5	Yes

Details of amenity areas provided	sq ft	sq m
Outdoor communal amenity areas	12,209.6	1,134.3
Indoor communal amenity areas	1,733.0	161.0
<b>Subtotal, communal amenity area</b>	<b>13,942.6</b>	<b>1,295.3</b>
Private outdoor balconies, Bldg A	7,721.0	717.3
Private outdoor balconies, Bldg B	7,695.0	714.9
<b>Subtotal, private amenity area</b>	<b>15,416.0</b>	<b>1,432.2</b>
<b>Total</b>	<b>29,358.6</b>	<b>2,727.5</b>

Unit Type	Floor Area		Number of Units			% of units
	sq ft	sq m	Bldg A	Bldg B	Total	
<b>1-Bedroom</b>						
A1.0	652	60.5	15	16	31	
A1.1	774	71.9	4	8	12	
A2.0	789	73.3	--	5	5	
ST			19	29	48	31%
<b>2-Bedroom</b>						
B1.0	958	89.0	19	24	43	
B1.1	876	81.4	4	--	4	
B2.0	990	92.0	--	24	24	
B2.1	1,080	100.3	4	--	4	
ST			27	48	75	48%
<b>3-Bedroom</b>						
C1.0	1,119	104.0	22	--	22	14%
<b>Studio</b>						
D1.0	426	39.6	5	6	11	
D2.0	521	48.4	1	--	1	
ST			6	6	12	8%
<b>TOTAL</b>			<b>74</b>	<b>83</b>	<b>157</b>	<b>100%</b>

Floor	Building Floor Areas					
	Bldg A		Bldg B		Total	
	sq ft	sq m	sq ft	sq m	sq ft	sq m
6th	13,464	1,250.85	13,455	1,250.01	26,919	2,500.86
5th	13,464	1,250.85	13,455	1,250.01	26,919	2,500.86
4th	13,464	1,250.85	13,455	1,250.01	26,919	2,500.86
3rd	13,464	1,250.85	13,455	1,250.01	26,919	2,500.86
2nd	13,464	1,250.85	13,455	1,250.01	26,919	2,500.86
Main	13,464	1,250.85	13,501	1,254.28	26,965	2,505.13
<b>Above grade</b>	<b>80,784</b>	<b>7,505.10</b>	<b>80,776</b>	<b>7,504.33</b>	<b>161,560</b>	<b>15,009.43</b>
Underground	17,298	1,607.04	17,298	1,607.04	34,596	3,214.08
<b>Total</b>	<b>98,082</b>	<b>9,112.14</b>	<b>98,074</b>	<b>9,111.37</b>	<b>196,156</b>	<b>18,223.51</b>

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1	23.06.22	Submission

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 Drawn By: D.D.  
 Checked By: R.G.

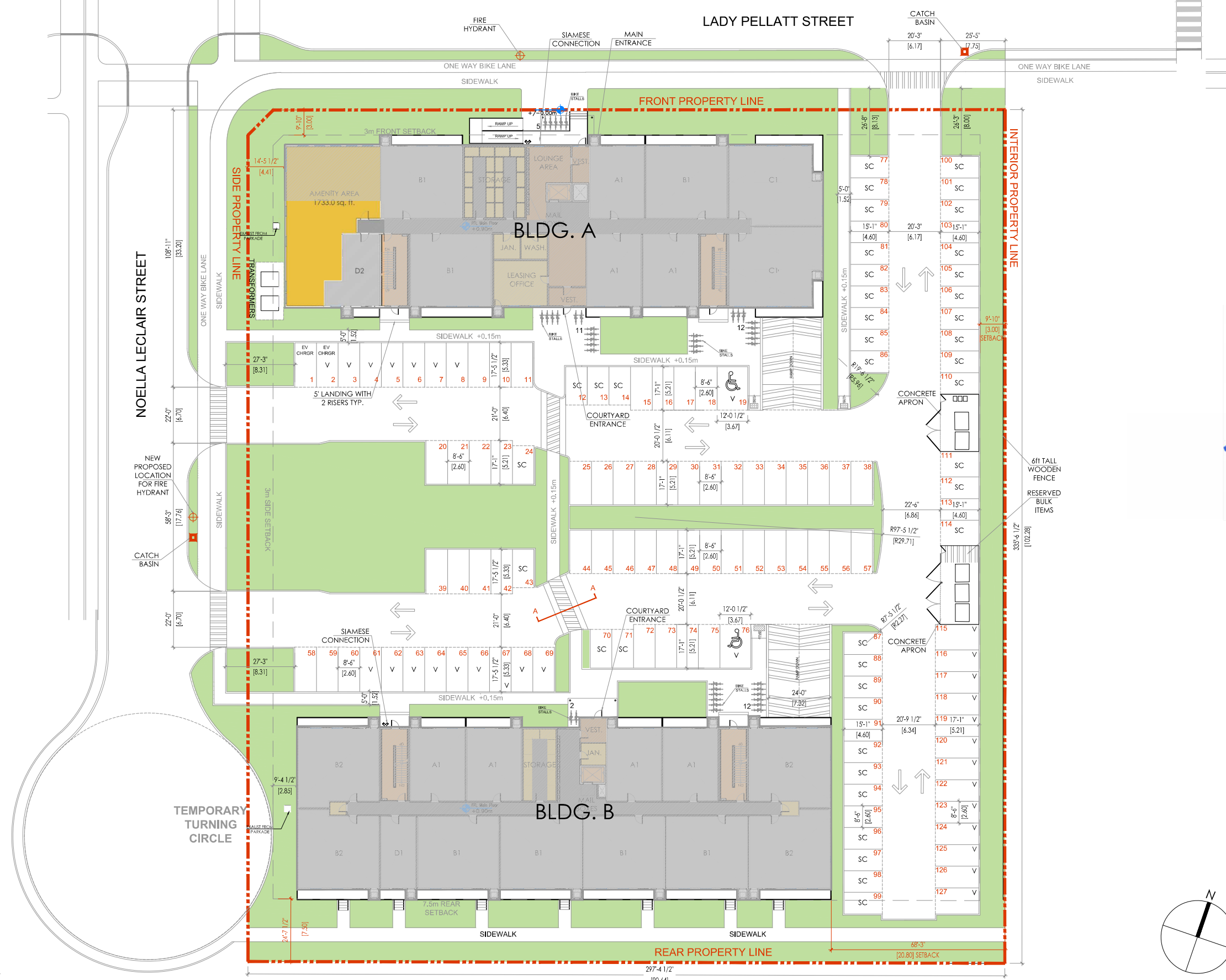
Noella Leclair Street,  
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DEVELOPMENT PERMIT  
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GENERAL PROJECT INFO.  
SCALE: N.T.S.

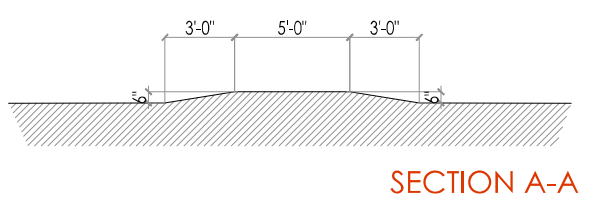
DP01

NOTES:



**LEGEND:**  
 EV CHRGR -- ELECTRIC VEHICLE CHARGER  
 SC ----- SMALL CAR PARKING STALL  
 V ----- VISITOR PARKING STALL

**NOTES:**  
 FOR LANDSCAPING DETAILS, PLEASE REFER TO LANDSCAPING PLAN.  
 TENANTS SURFACE PARKING WILL BE EQUIPPED WITH BLOCK HEATERS OUTLETS  
 FOR FIRE LANE AND GARBAGE TRUCK ROUTES PLEASE REFER TO SHEET DP12  
 MAIN FLOOR ELEVATION OF EACH BUILDING IS 0.9M ABOVE GRADE



- BUILDING FOOTPRINT
- LANDSCAPE AREA
- PROPERTY LINE
- SUPPORTING SPACES
- PEDESTRIAN WALKWAY
- LOBBY/ENTRANCE AREA
- VERTICAL COMMUNICATION
- CORRIDOR
- SC - SMALL CAR PARKING

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SEAL:  
**ONTARIO ASSOCIATION OF ARCHITECTS**  
 24.03.27  
**ROBERT J. S. GARVEY**  
 LICENCE 9039

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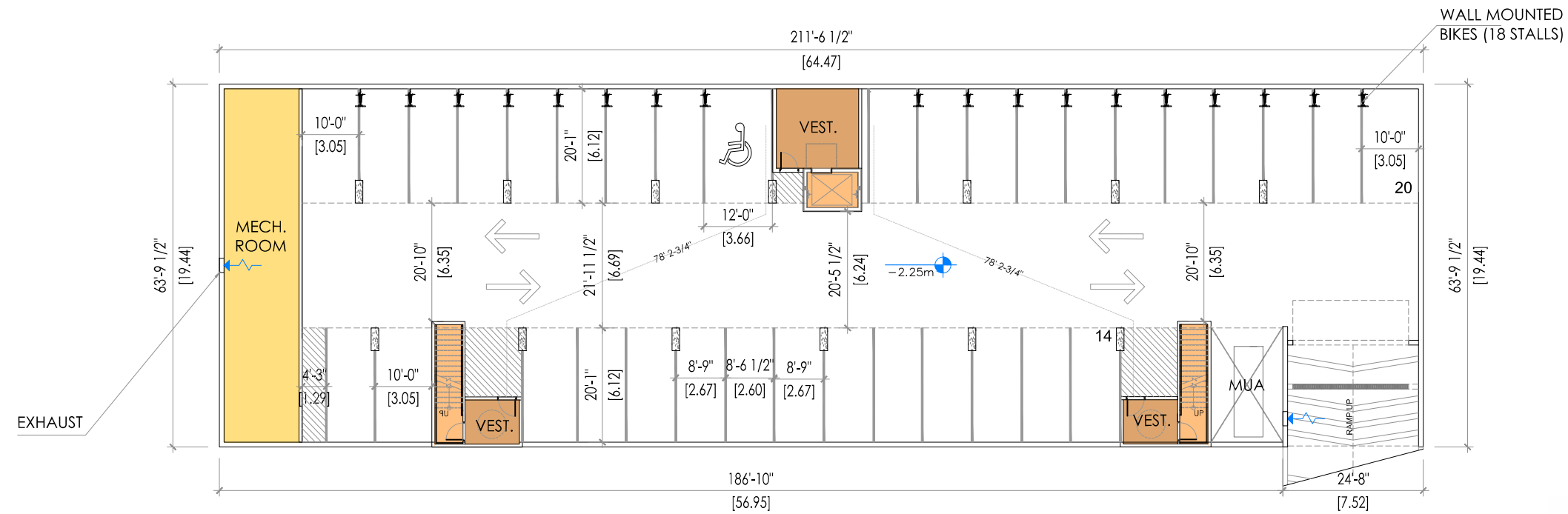
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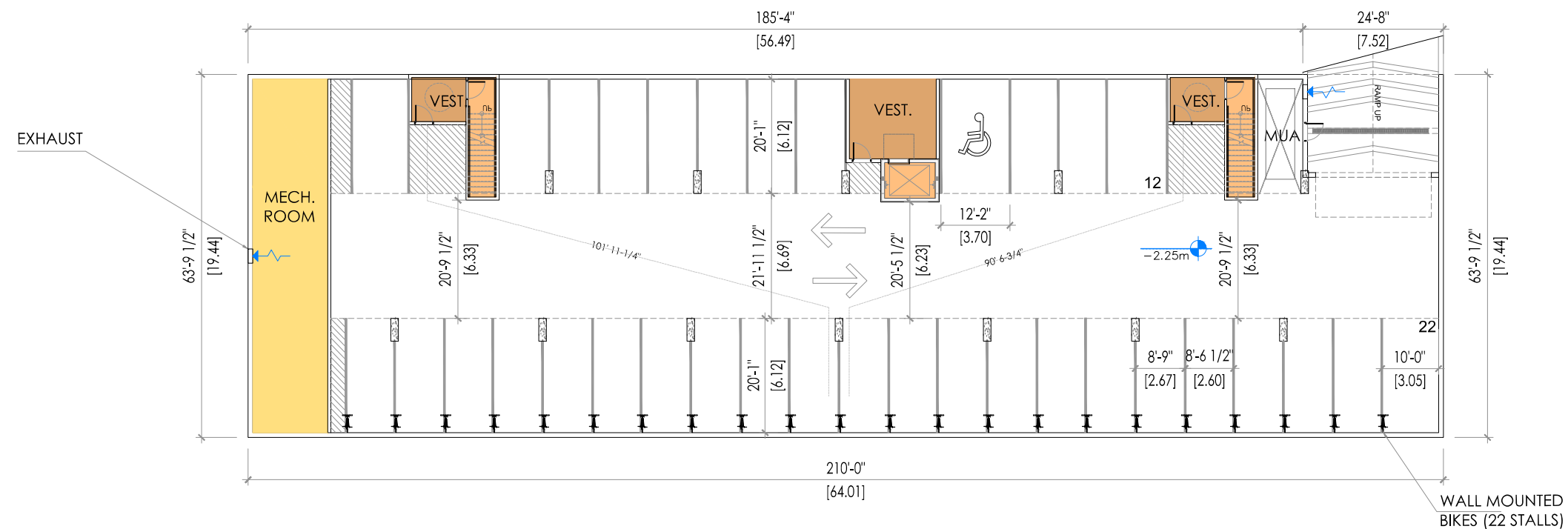
DEVELOPMENT PERMIT  
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SITE PLAN  
 SCALE: 1:500

DP02



PARKADE BUILDING A



PARKADE BUILDING B



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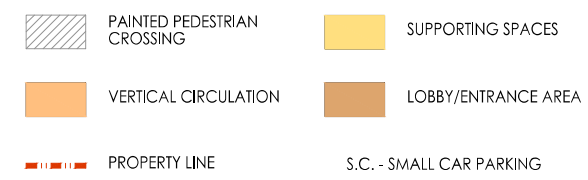
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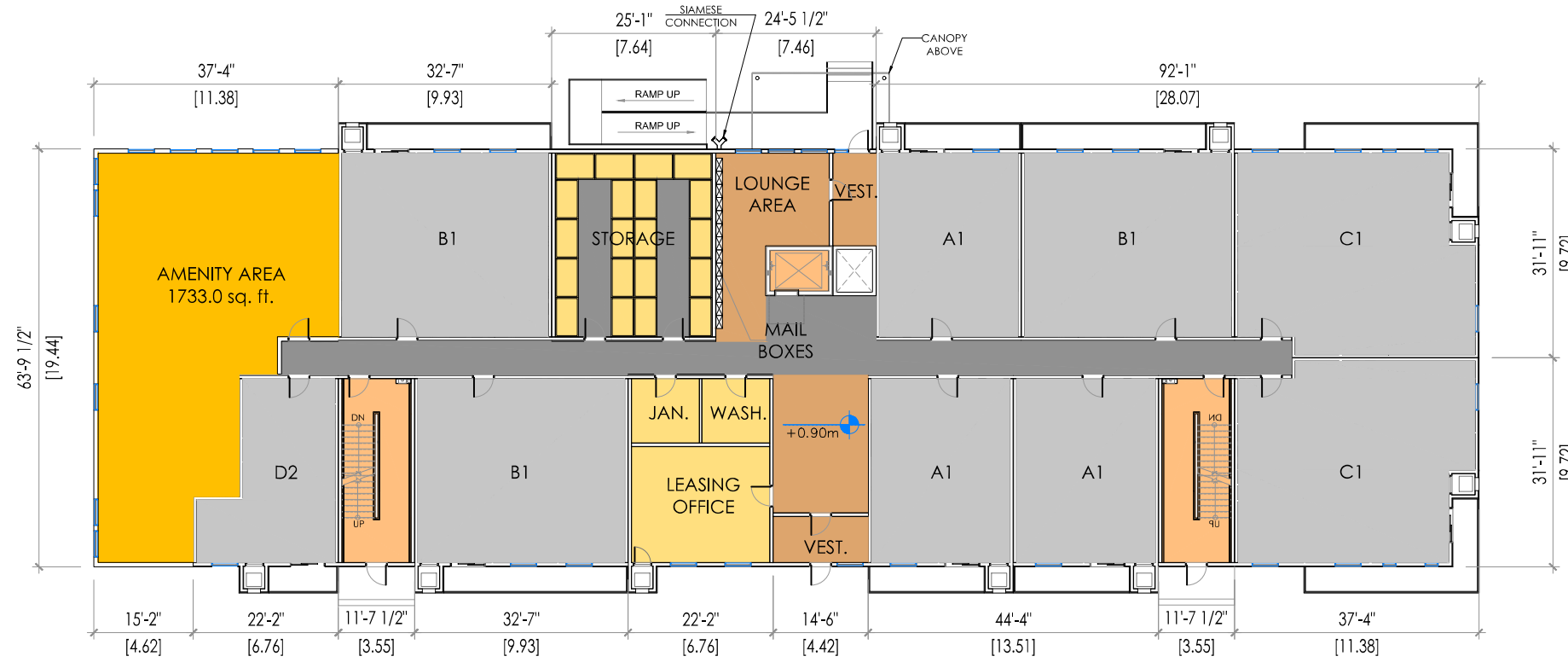
DEVELOPMENT PERMIT  
 APPLICATION SET

PARKADE  
 SCALE: 1:500

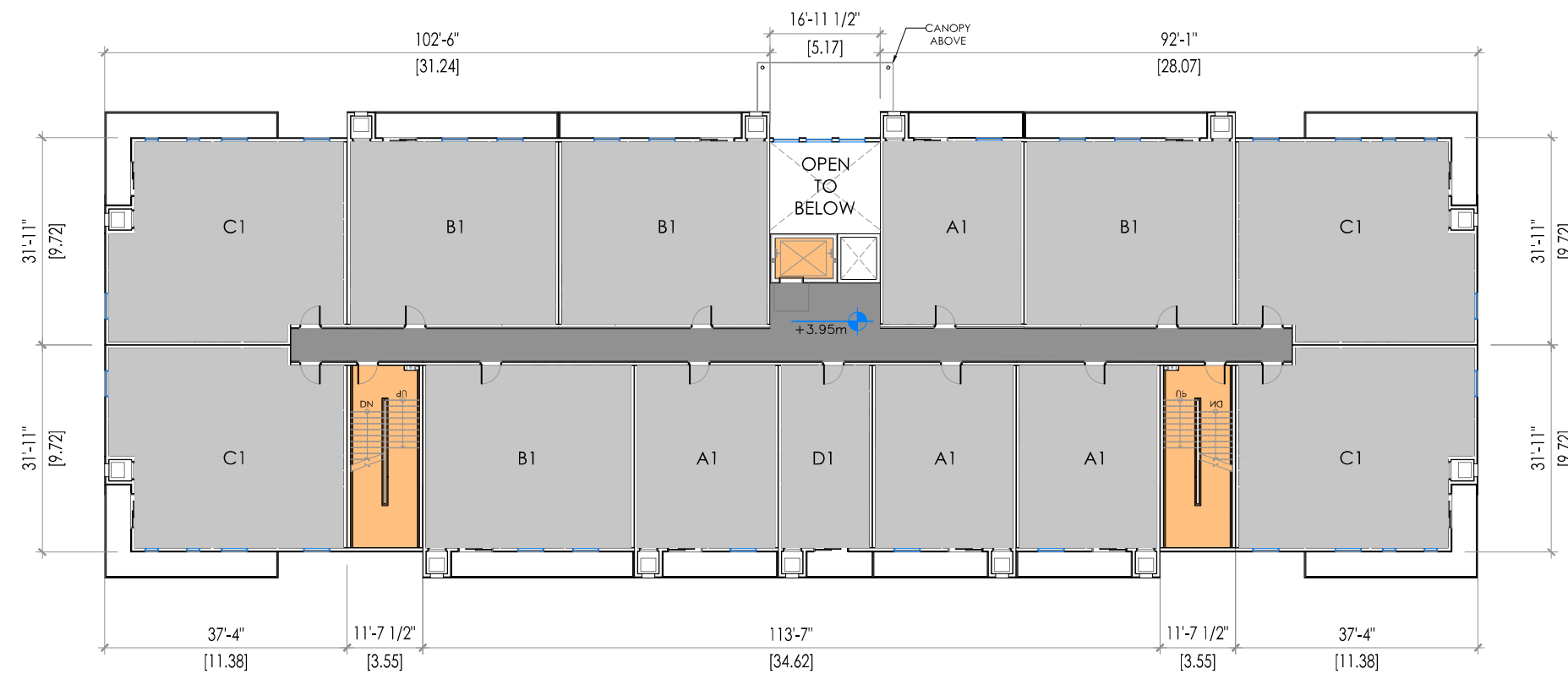
DP03

NOTES:



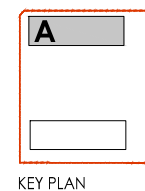



MAIN FLOOR




SECOND FLOOR

NOTES:



- AMENITIES
- COMMERCIAL
- SUITES
- PROPERTY LINE
- SUPPORTING SPACES
- LOBBY/ENTRANCE AREA
- VERTICAL COMMUNICATION
- CORRIDOR
- SC - SMALL CAR PARKING

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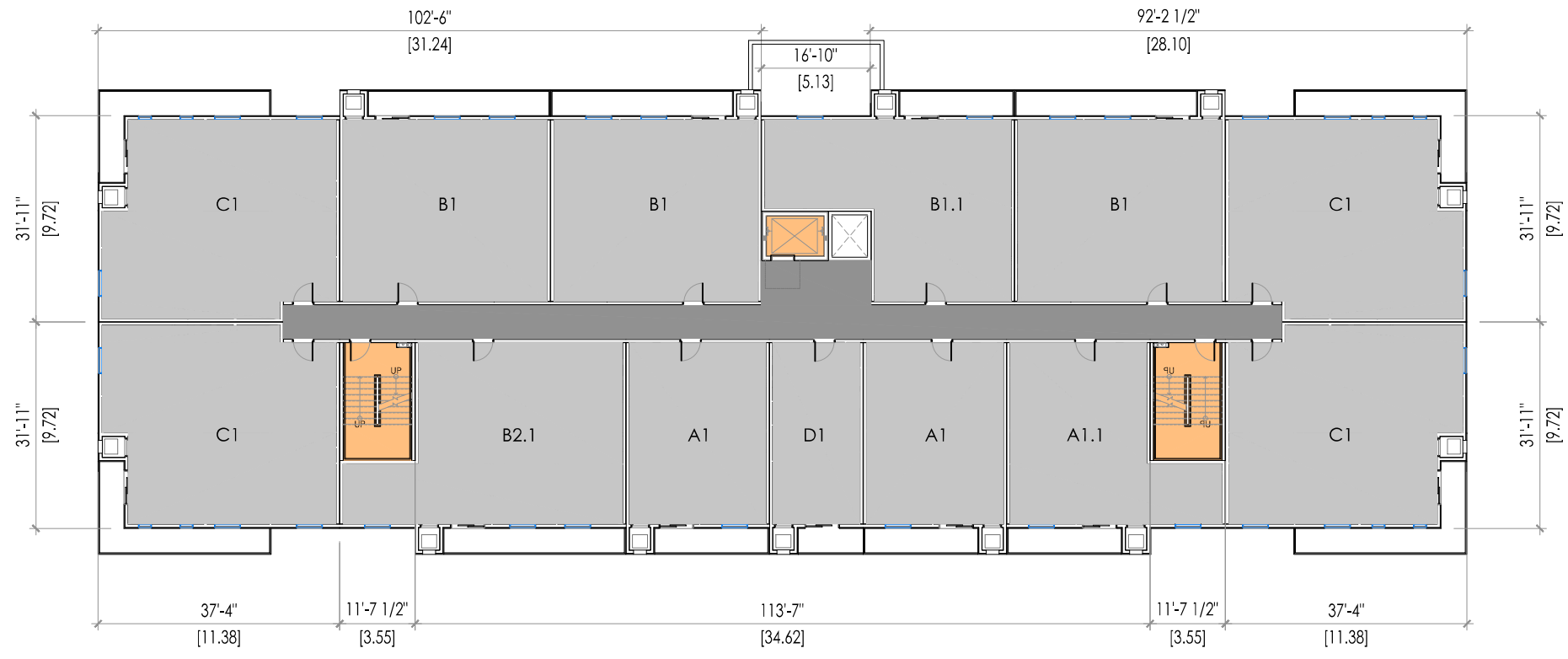
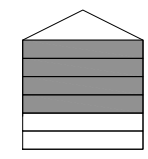
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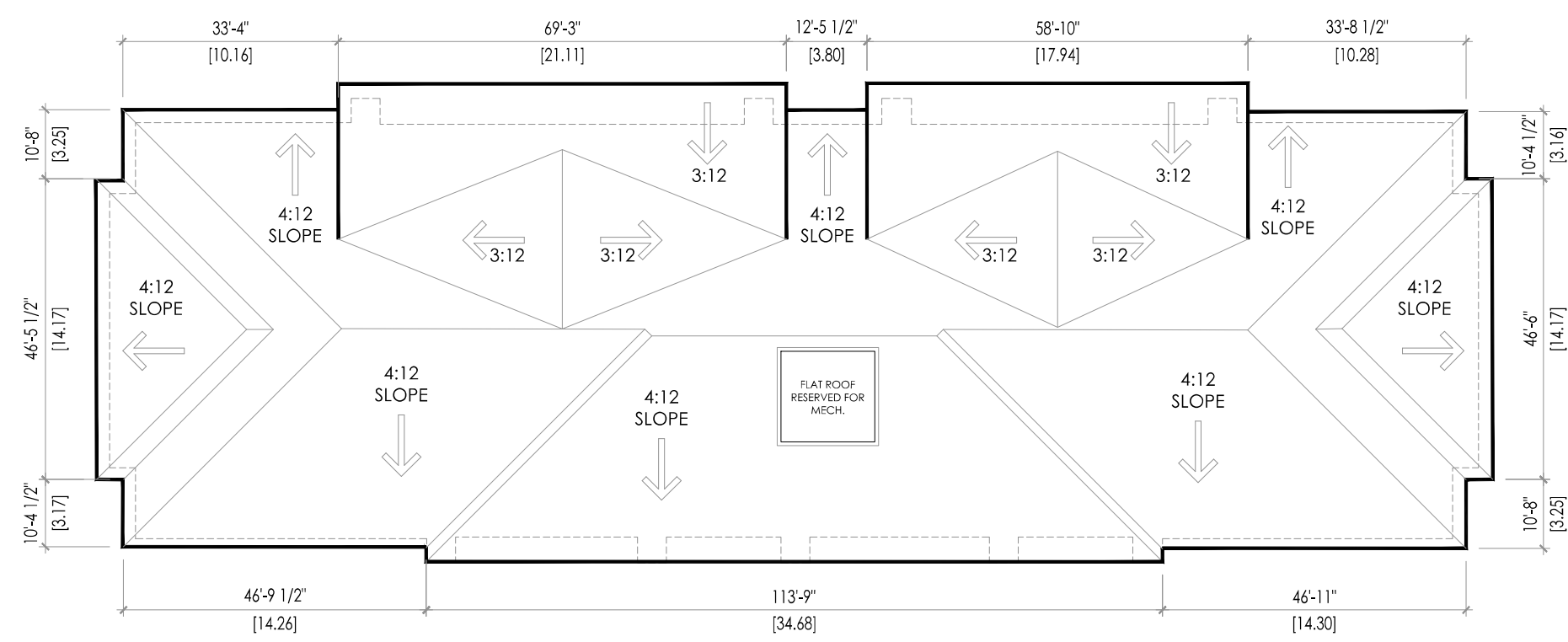
DEVELOPMENT PERMIT  
APPLICATION SET

BUILDING A- FLOOR PLANS  
SCALE: 1:300

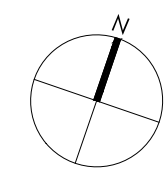
DP04

TYPICAL FLOOR




ROOF PLAN



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SCALE: 1:300


DP05


NOTES:


**A**


 AMENITIES


 COMMERCIAL

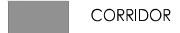
 SUITES


 PROPERTY LINE

 SUPPORTING SPACES

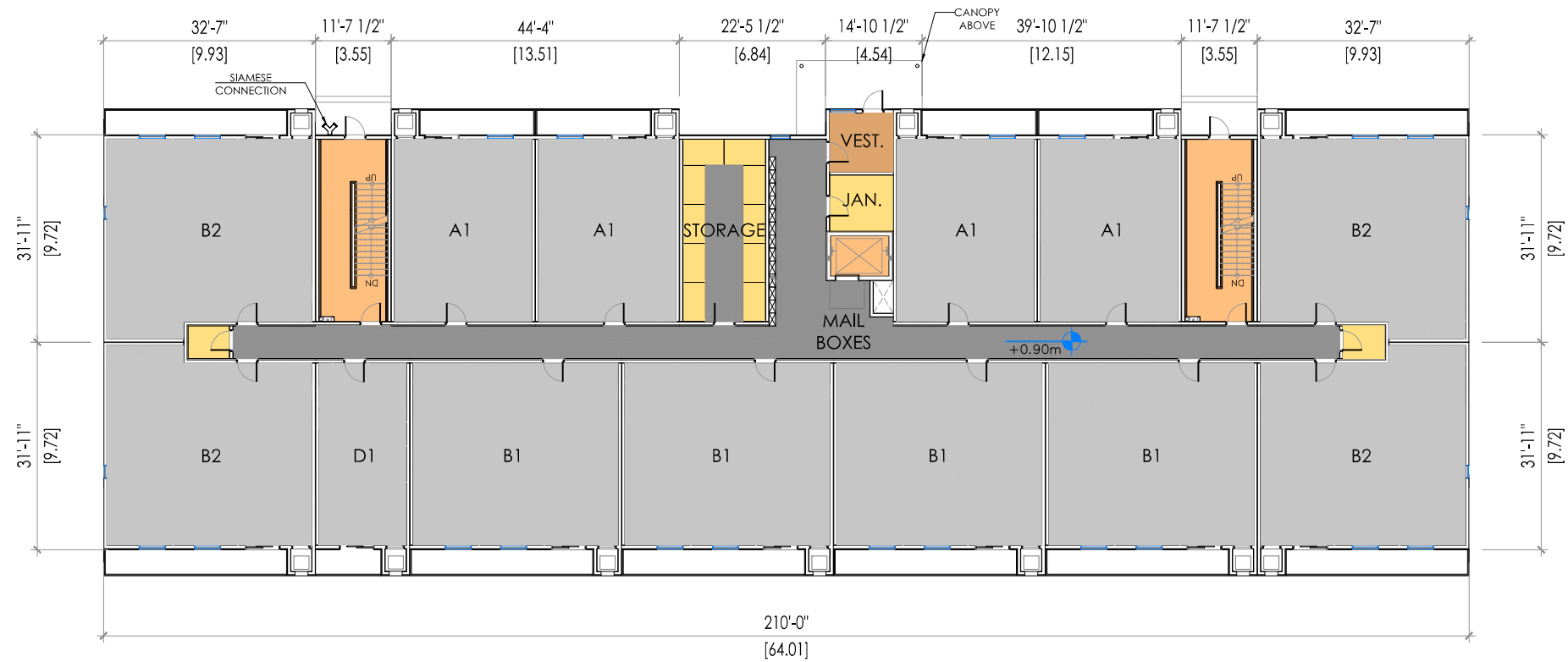
 LOBBY/ENTRANCE AREA

 VERTICAL COMMUNICATION

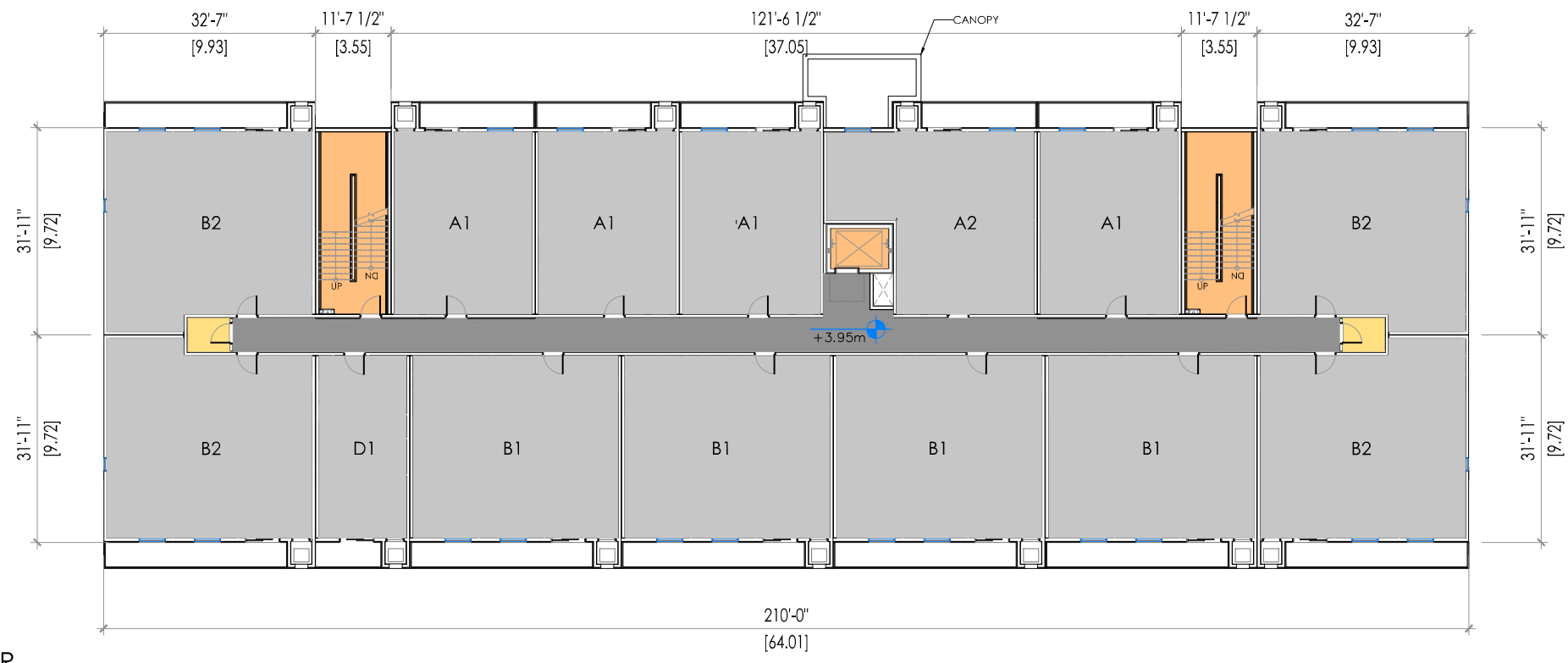
 CORRIDOR

 SC - SMALL CAR PARKING

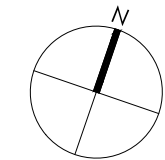
KEY PLAN



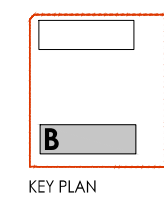

MAIN FLOOR




SECOND FLOOR



NOTES:



- AMENITIES
- COMMERCIAL
- SUITES
- PROPERTY LINE
- SUPPORTING SPACES
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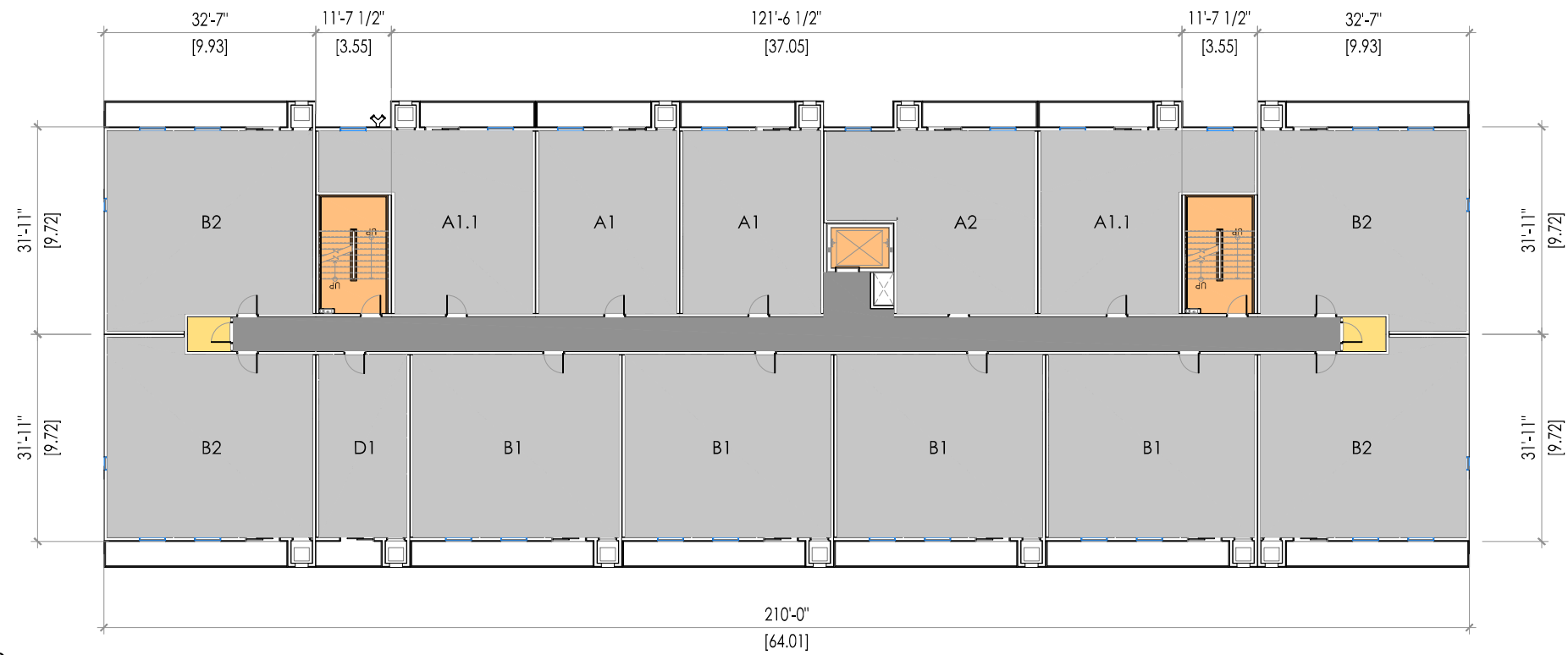
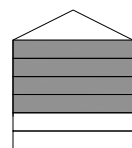
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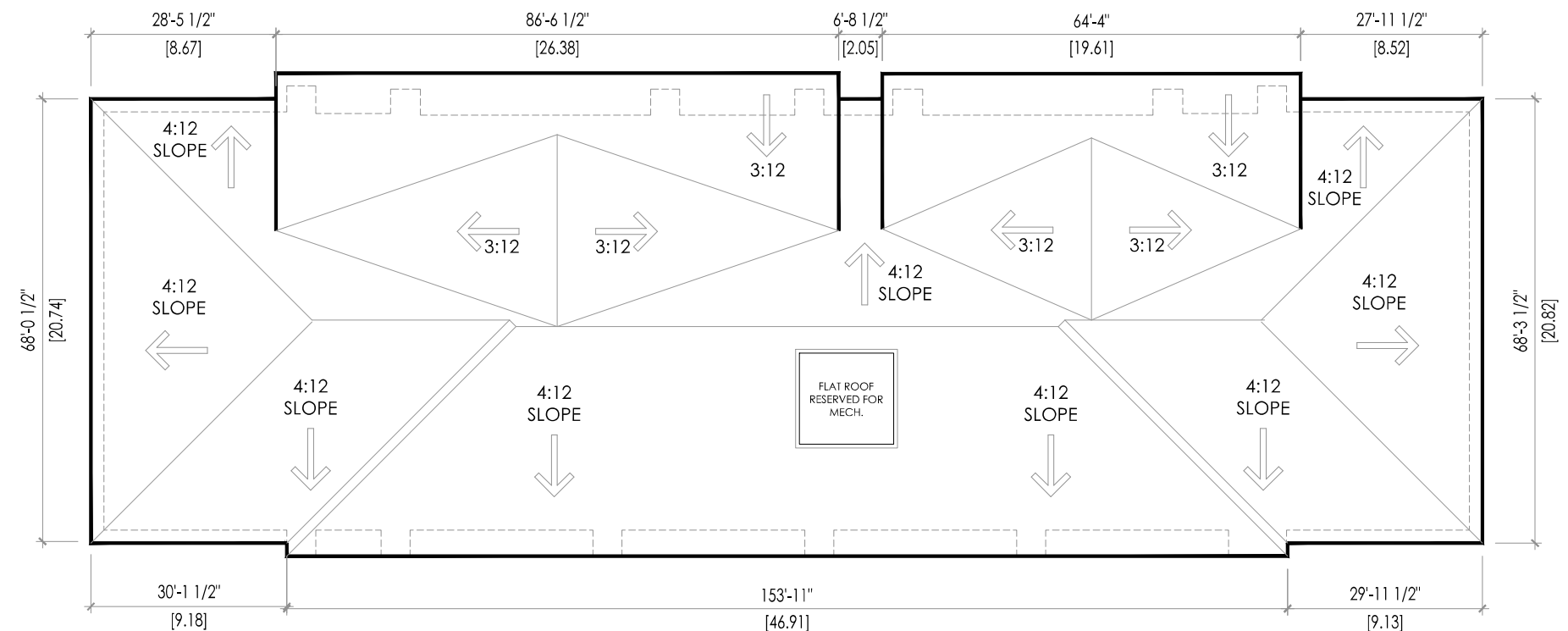
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BUILDING B- FLOOR PLANS  
SCALE: 1:300

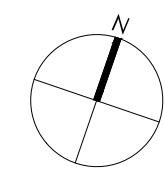
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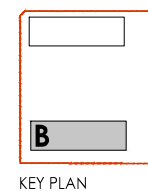
TYPICAL FLOOR













ROOF PLAN



NOTES:



-  AMENITIES
-  COMMERCIAL
-  SUITES
-  PROPERTY LINE
-  SUPPORTING SPACES
-  LOBBY/ENTRANCE AREA
-  VERTICAL COMMUNICATION
-  CORRIDOR
-  SC - SMALL CAR PARKING

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BUILDING B- FLOOR PLANS  
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DP07





EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

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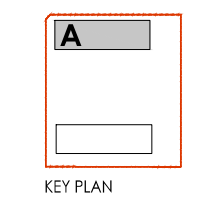
Noella Leclair Street,  
 Ottawa, Ontario;

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 APPLICATION SET

BUILDING A- ELEVATIONS  
 SCALE: 1:350

DP08

NOTES:



LEGEND

- Ⓐ HARDIE PLANK, LAP SIDING - ARCTIC WHITE
- Ⓑ HARDIE PLANK, LAP SIDING - NIGHT GRAY
- Ⓒ HARDIE PANEL, SMOOTH - IRON GRAY
- Ⓓ WESTMAN STEEL, HORIZONTAL METAL PANEL, ROYAL BLUE QC8790
- Ⓔ HARDIE PLANK, LAP SIDING - CEDARTONE 2.0 (BY FISHER)
- Ⓕ PVC FRAMED WINDOWS WITH CLEAR GLASS
- Ⓖ ALUMINUM PICKET RAILING -BLACK
- Ⓗ ASPHALT ROOF SHINGLES, MIDNIGHT BLACK
- Ⓘ JAMES HARDIE, FASCIA AND SOFFIT - IRON GRAY
- Ⓢ GLASS SURFACE WITH VISUAL MARKER, BIRD-SAFE



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

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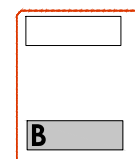
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DP09

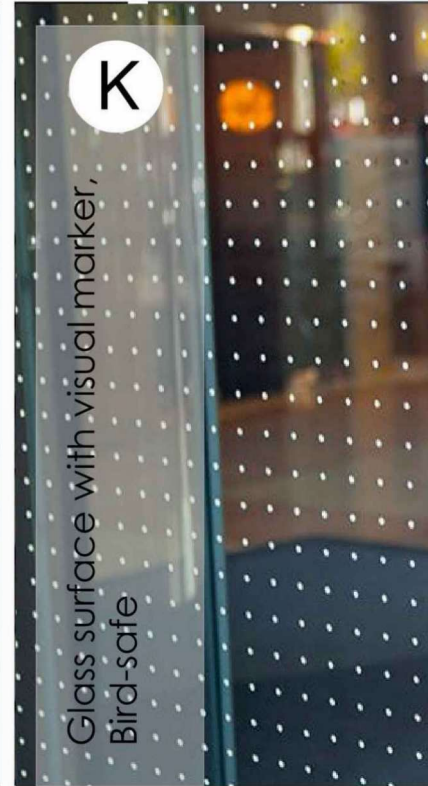
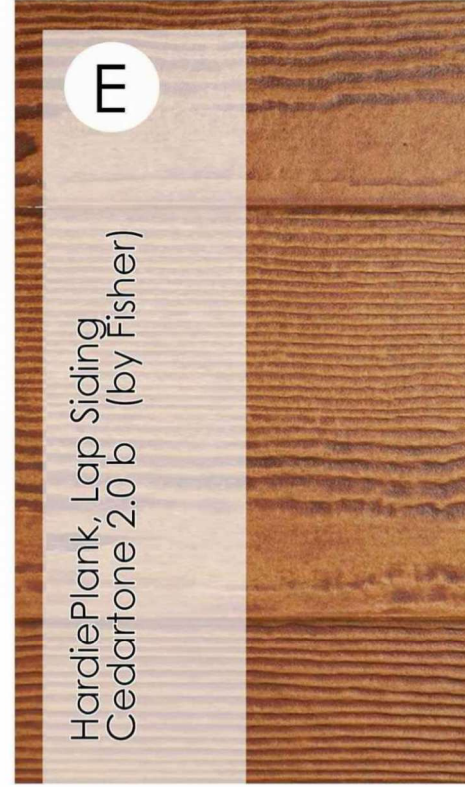
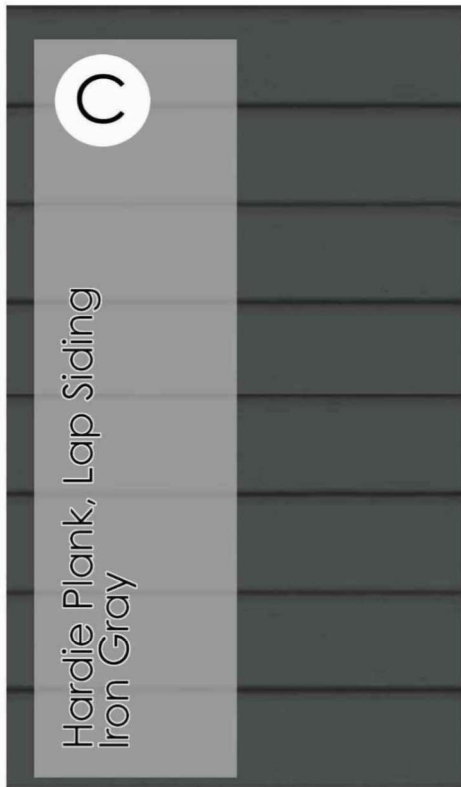
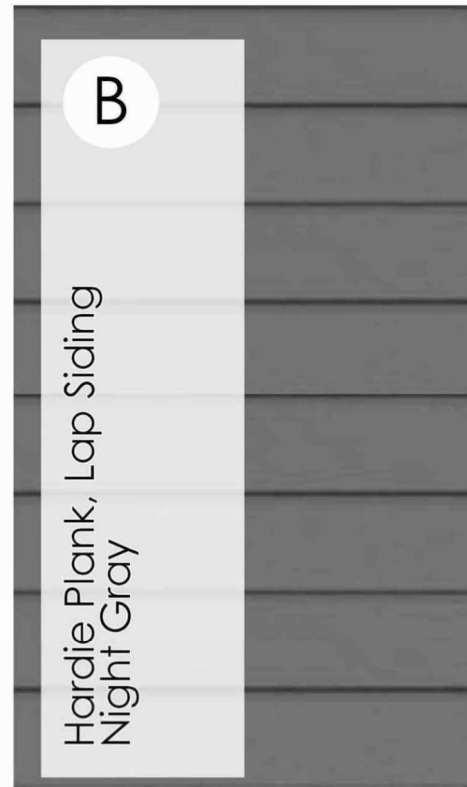
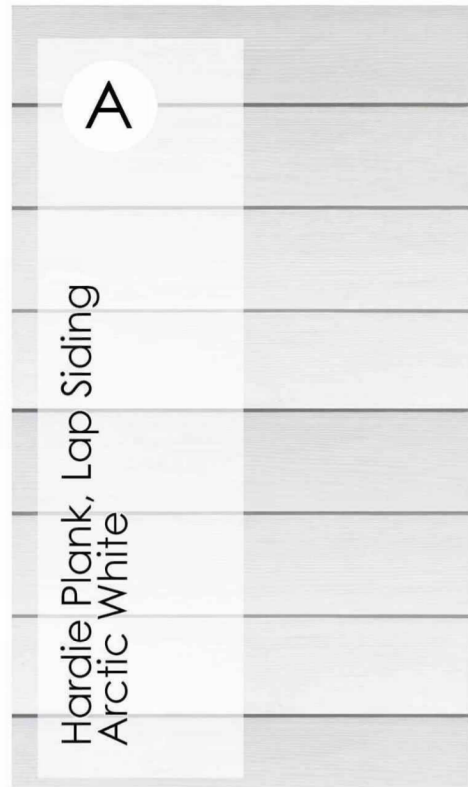
NOTES:



KEY PLAN

LEGEND

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- Ⓚ GLASS SURFACE WITH VISUAL MARKER, BIRD-SAFE



NOTES:

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**DEVELOPMENT PERMIT  
APPLICATION SET**

**MATERIALS**  
SCALE: N.T.S.

**DP10**



NOTES:



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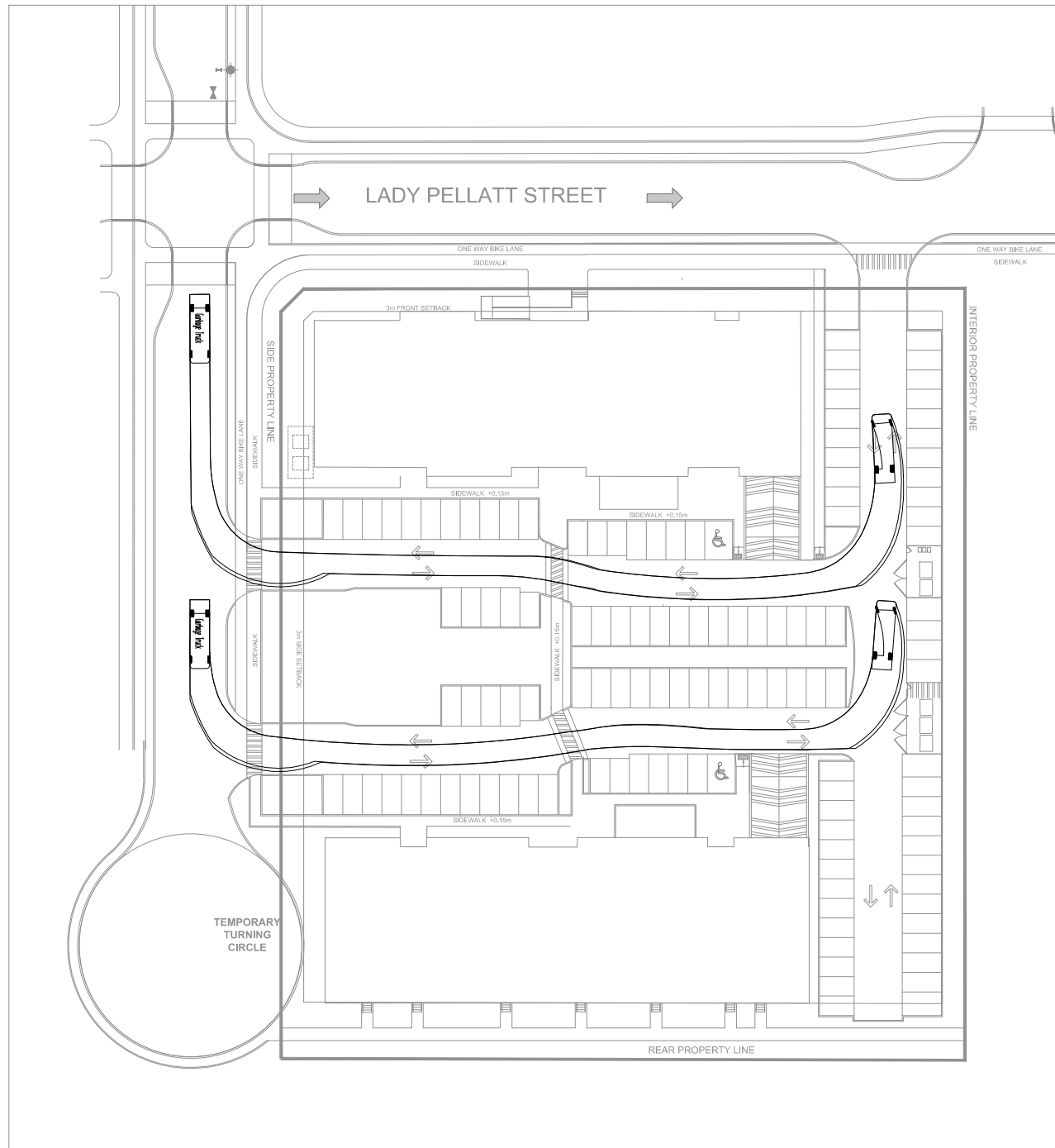
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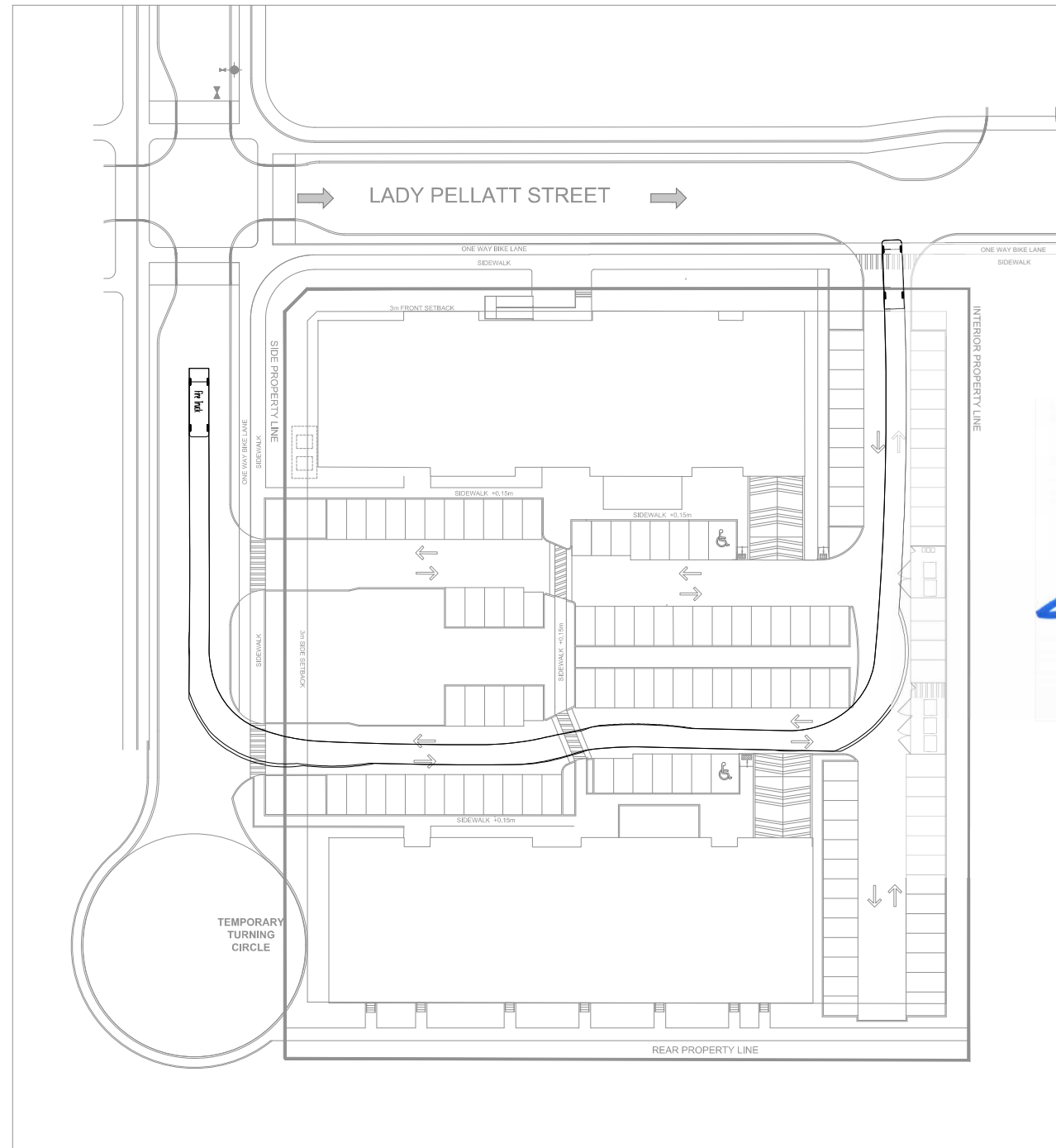
ARTISTIC RENDERING  
SCALE: N.T.S.

DP11

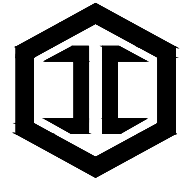
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REFUSE TRUCK



FIRE TRUCK



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E: RGARVEY@A77.CA

SEAL:



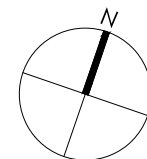
No.	Date	REVISION
6		
5		
4		
3		
2	24.02.29	Re-Submission
1	23.06.22	Submission

Project Number: 2133

Designed By: J.P.M.

Drawn By: D.D.

Checked By: R.G.



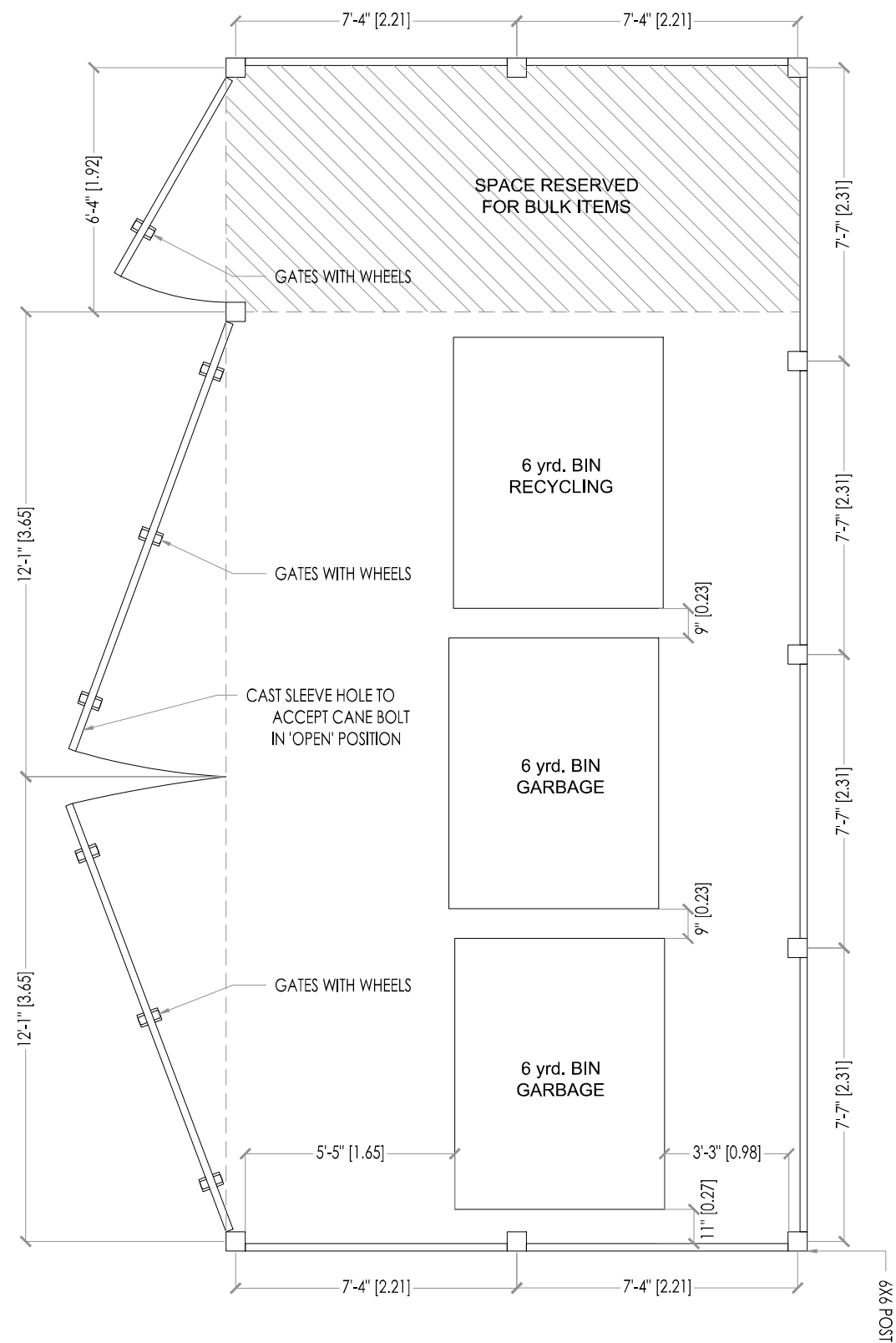
Noella Leclair Street,  
Ottawa, Ontario;

DEVELOPMENT PERMIT  
APPLICATION SET

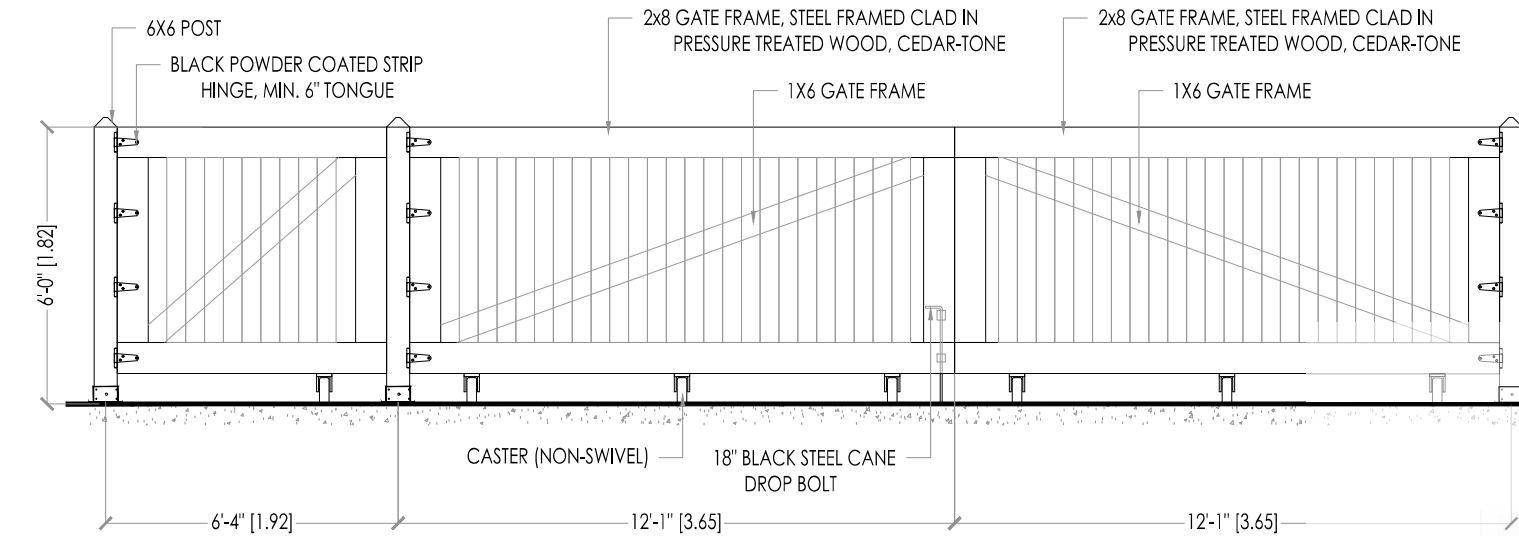
VEHICLE FLOW STUDY  
SCALE: N.T.S.

DP12

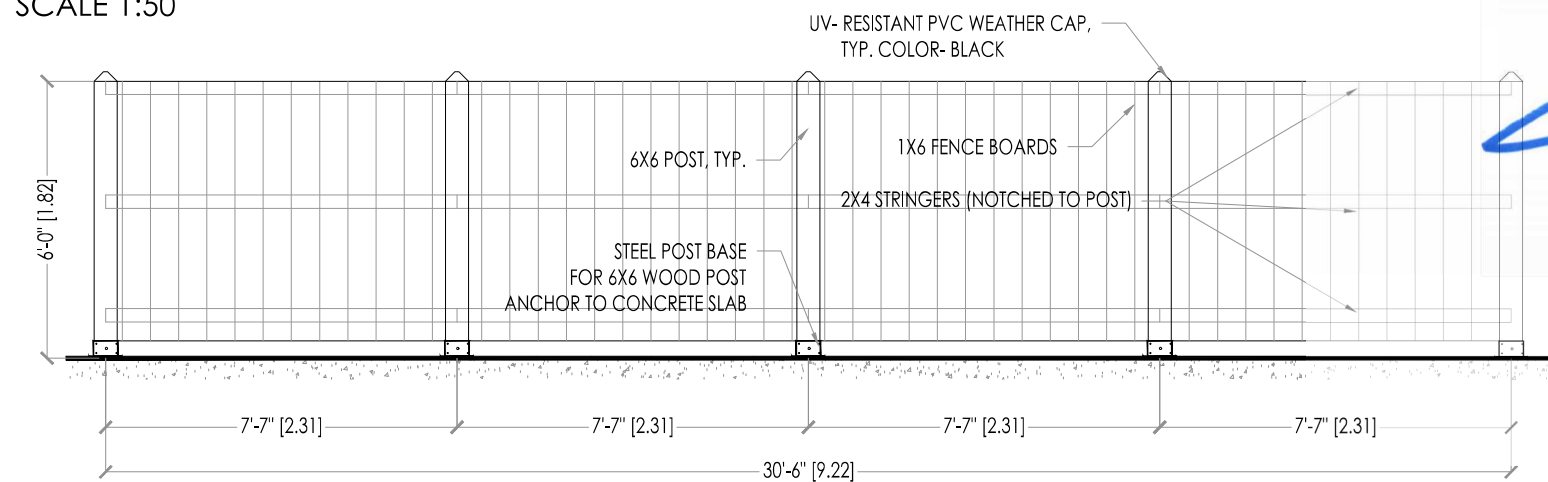
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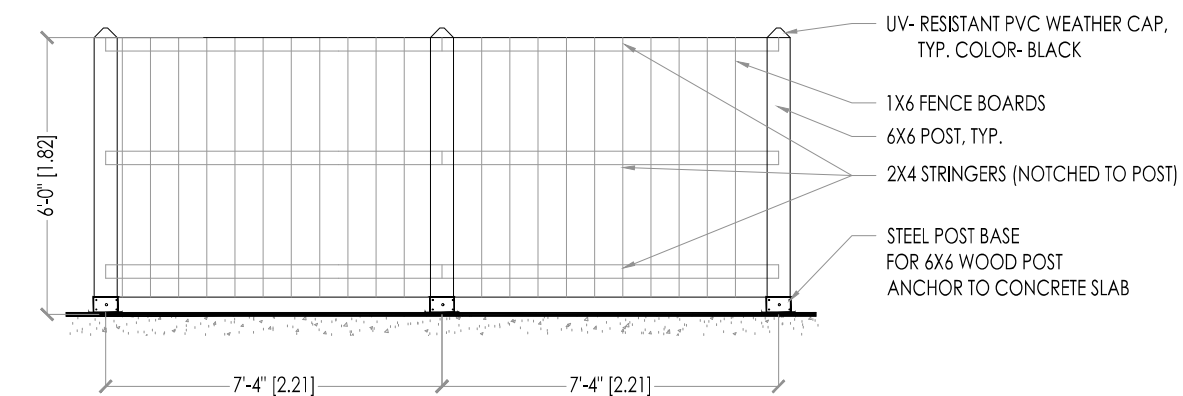
FLOOR PLAN  
SCALE 1:50



ELEVATION FRONT  
SCALE 1:50



ELEVATION REAR  
SCALE 1:50



ELEVATION SIDES  
SCALE 1:50

NOTES:

REFUSE ENCLOSURE- FINAL DETAILS TO BE CONFIRMED



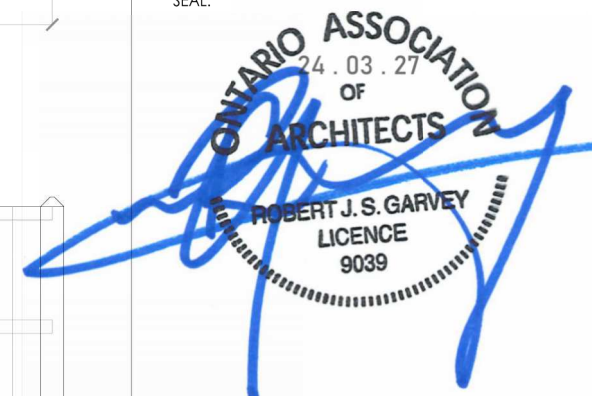
101-57158 Symington Road  
Springfield, MB R2J 4L6  
Ph: 204-777-1972  
info@icdev.ca

Consultant



ROBB GARVEY  
ARCHITECTURE 77 INC.  
201-57158 SYMINGTON RD 20C  
SPRINGFIELD, MB R2J 4L6  
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E: RGARVEY@A77.CA

SEAL:



No.	Date	REVISION
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1	23.06.22	Submission

Project Number: 2133

Designed By: J.P.M.

Drawn By: D.D.

Checked By: R.G.

Noella Leclair Street,  
Ottawa, Ontario;

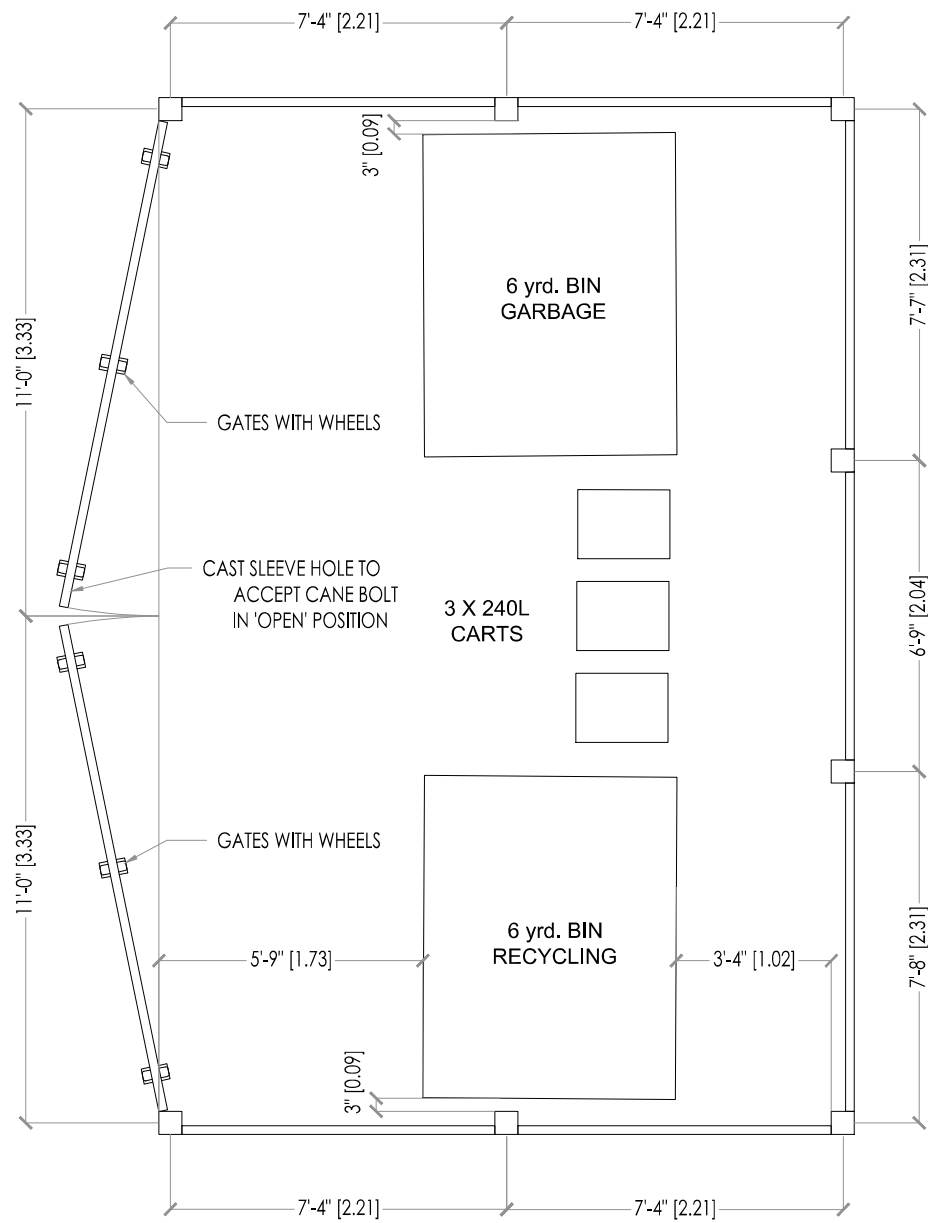
DEVELOPMENT PERMIT  
APPLICATION SET

REFUSE ENCLOSURE  
SCALE: As Indicated

DP13

APPLICATION No. D07-12-23-0095

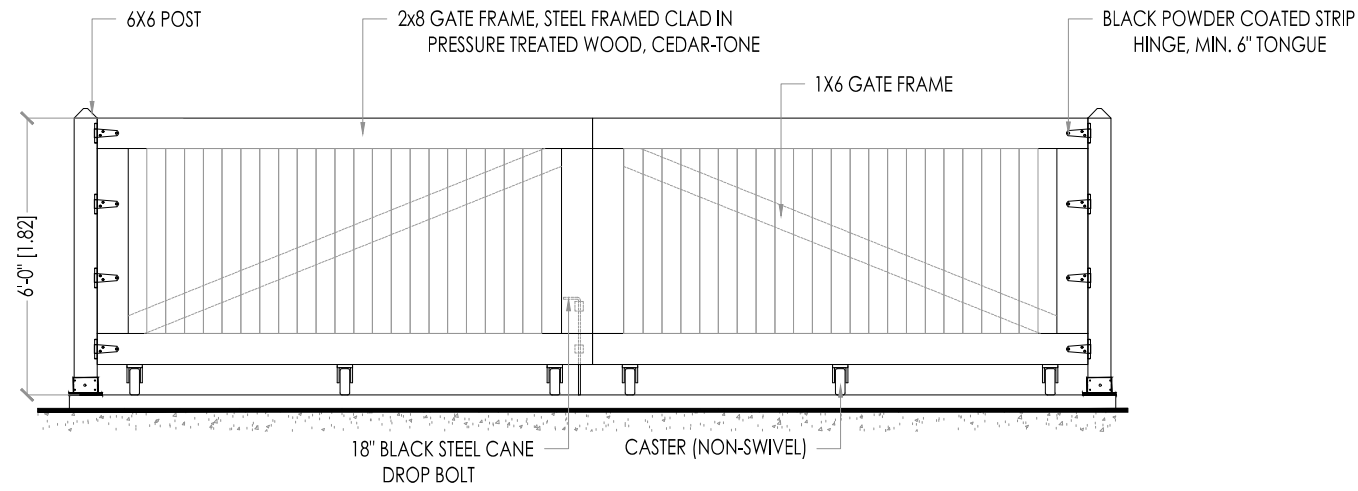
PLAN No. 19033



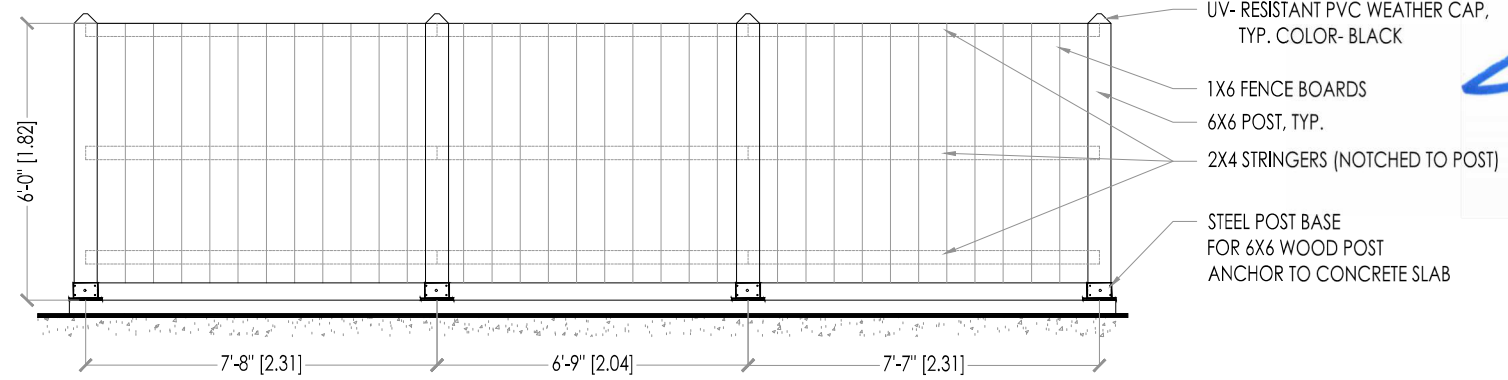
FLOOR PLAN  
SCALE 1:50

NOTES:

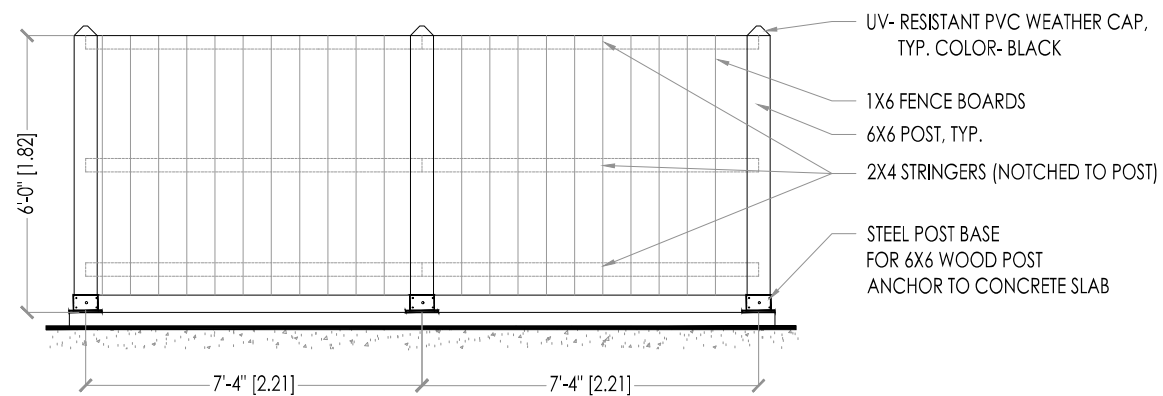
REFUSE ENCLOSURE- FINAL DETAILS TO BE CONFIRMED



ELEVATION FRONT  
SCALE 1:50



ELEVATION REAR  
SCALE 1:50



ELEVATION SIDES  
SCALE 1:50

SEAL:



No.	Date	REVISION
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2	24.02.29	Re-Submission
1	23.06.22	Submission

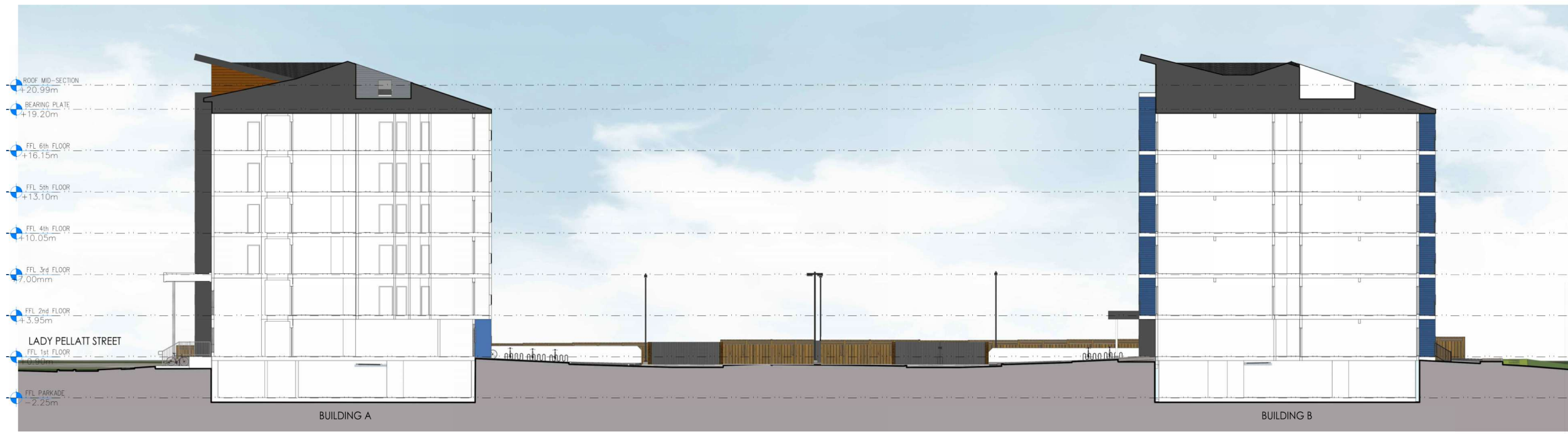
Project Number: 2133  
Designed By: J.P.M.  
Drawn By: D.D.  
Checked By: R.G.

Noella Leclair Street,  
Ottawa, Ontario;

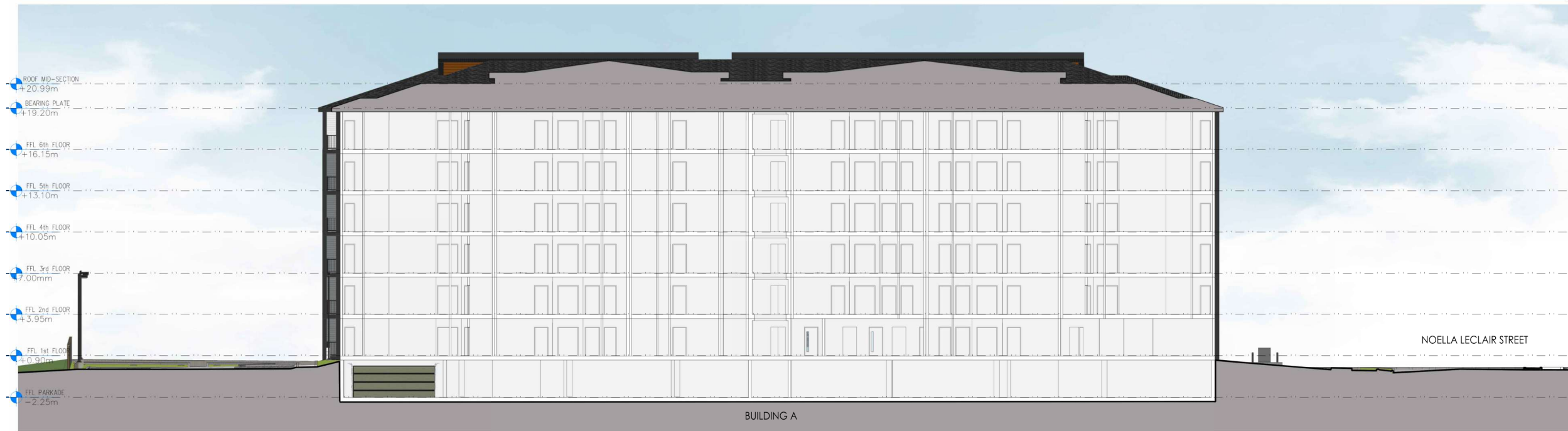
DEVELOPMENT PERMIT  
APPLICATION SET

REFUSE ENCLOSURE  
SCALE: As Indicated

DP14



BUILDINGS SECTION NORTH-SOUTH



BUILDING A- SECTION LONGITUDINAL SECTION (EAST- WEST)

No.	Date	REVISION
6		
5		
4		
3		
2	24.02.29	Re-Submission
1	23.06.22	Submission

Project Number: 2133  
Designed By: J.P.M.  
Drawn By: D.D.  
Checked By: R.G.

Noella Leclair Street,  
Ottawa, Ontario;

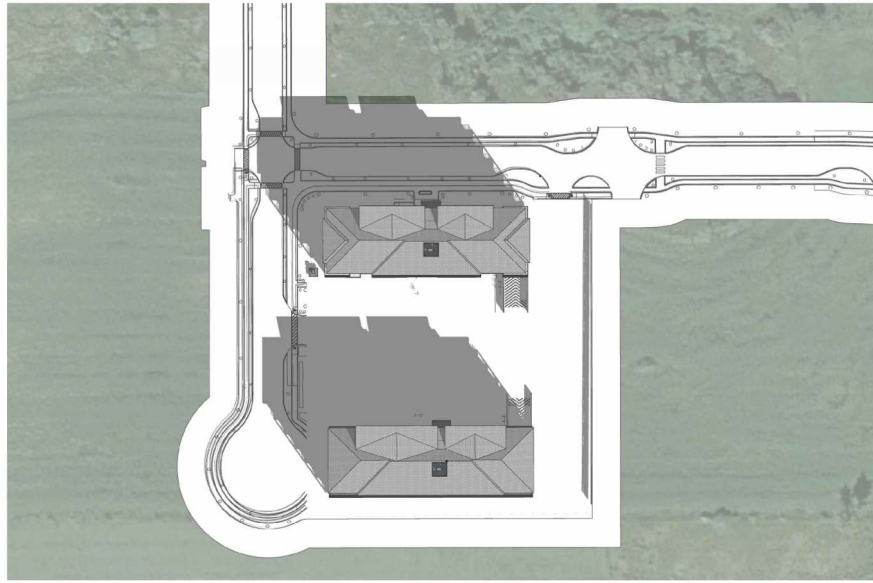
DEVELOPMENT PERMIT  
APPLICATION SET

STREETSCAPE CROSS  
SECTION  
SCALE: 1:350

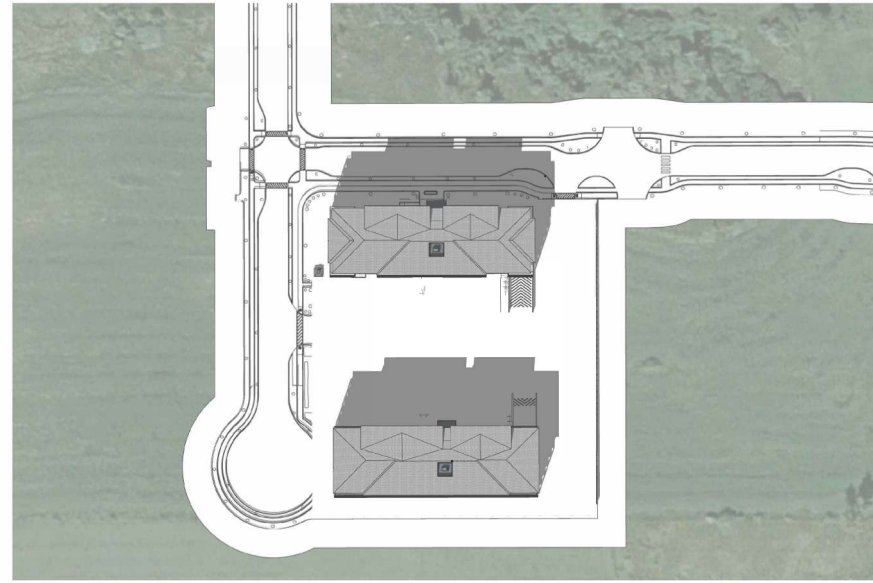
DP15

NOTES:

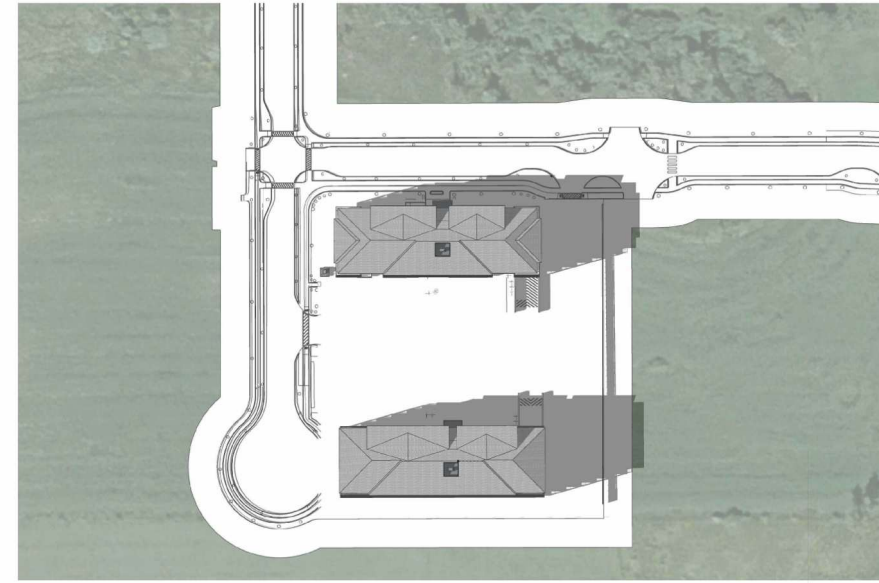




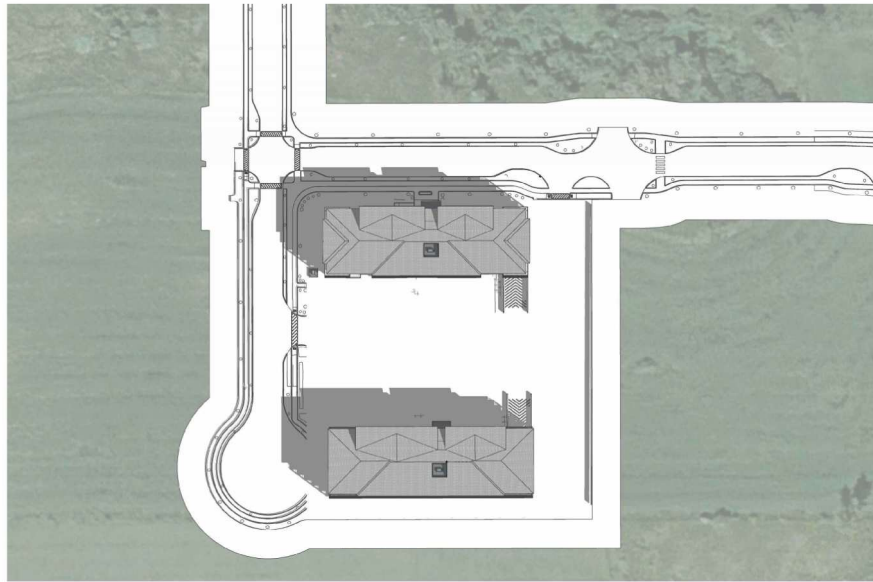
UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
20th March 09AM



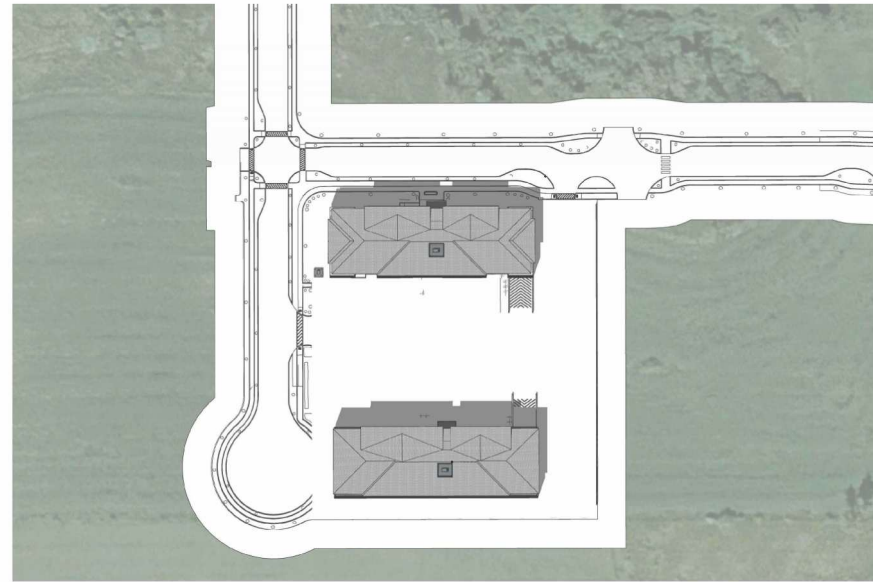
UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
20th March 12PM



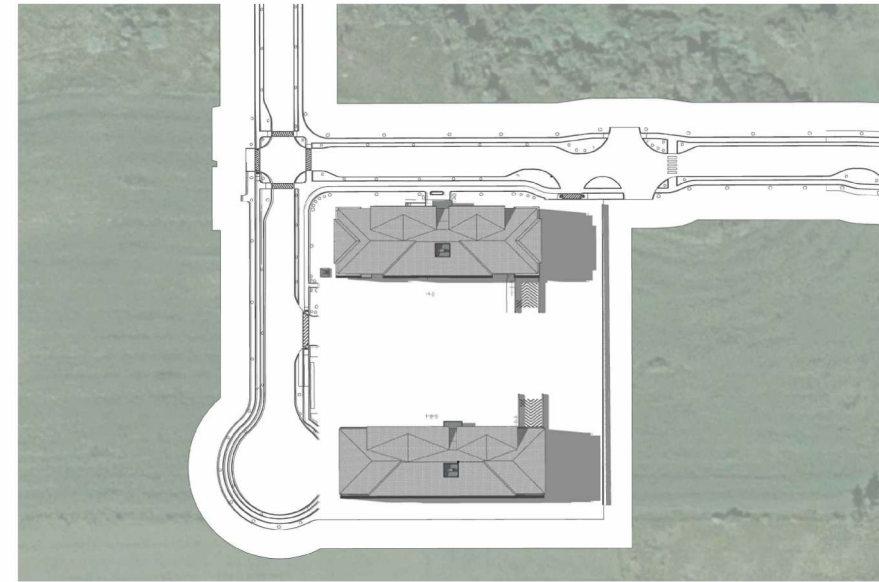
UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
20th March 03PM



UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
21st June 09AM

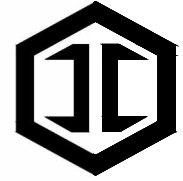


UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
21st June 12PM



UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
21st June 03PM

NOTES:



**IRONCLAD  
DEVELOPMENTS INC.**  
101-57158 Symington Road  
Springfield, MB R2J 4L6  
Ph: 204-777-1972  
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Consultant  
**ROB GARVEY  
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201-57158 SYMINGTON RD 20C  
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E: RGARVEY@A77.CA

SEAL:



No.	Date	REVISION
6		
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2	24.02.29	Re-Submission
1	23.06.22	Submission

Project Number: 2133  
Designed By: J.P.M.  
Drawn By: D.D.  
Checked By: R.G.

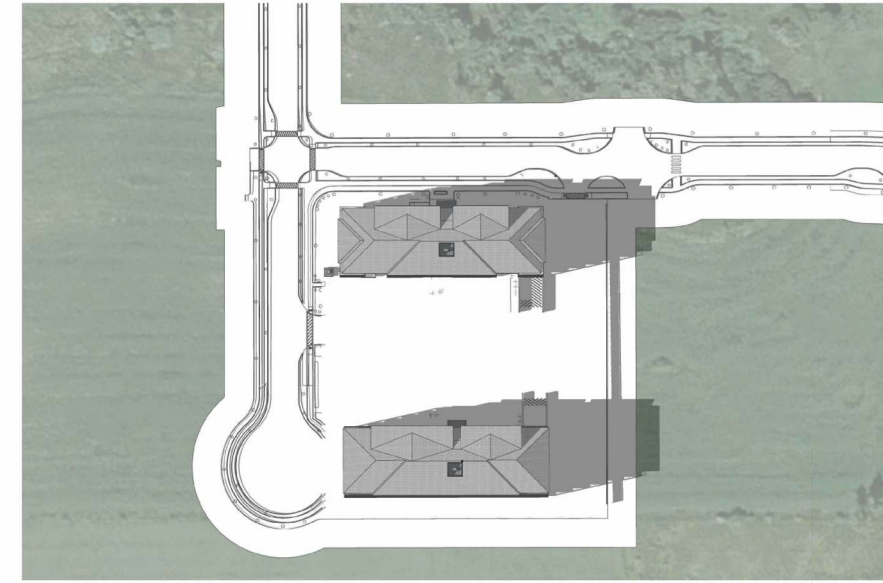
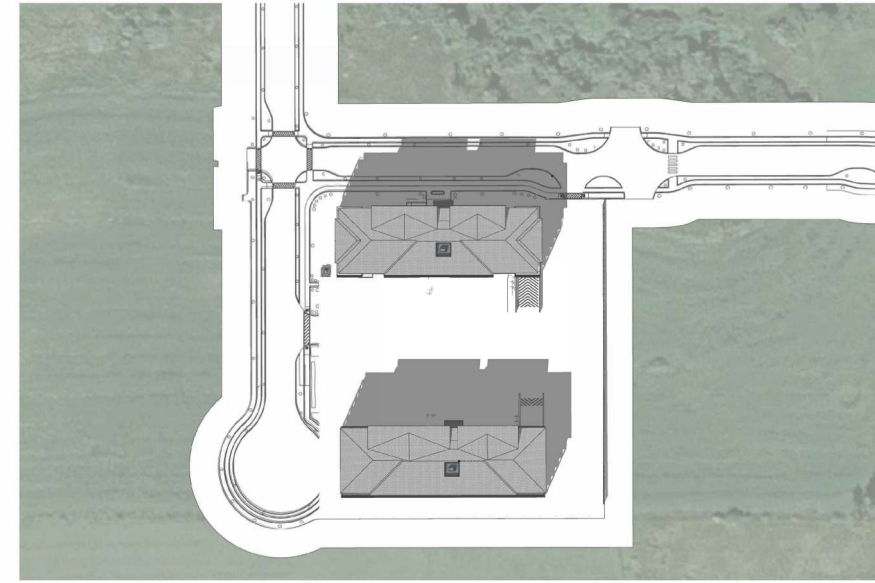
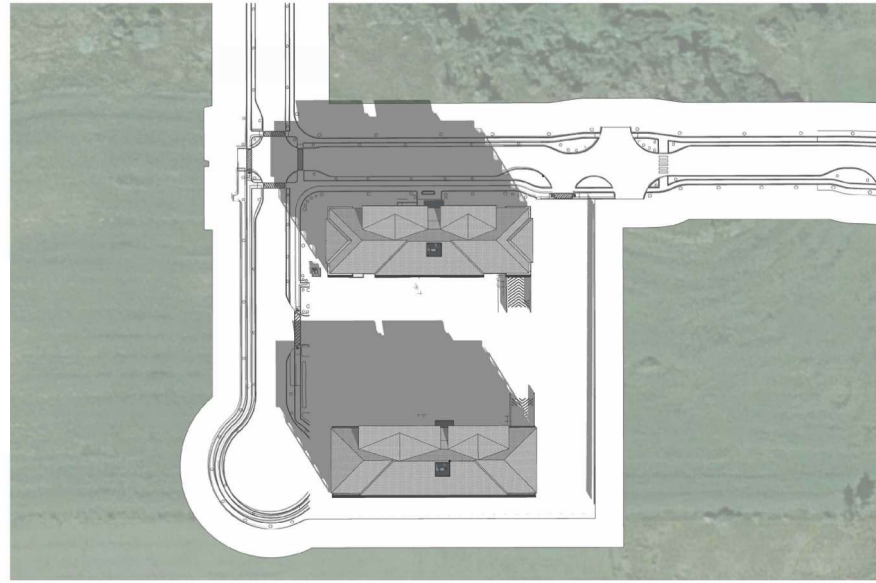
Noella Leclair Street,  
Ottawa, Ontario;

DEVELOPMENT PERMIT  
APPLICATION SET

SHADOW STUDY  
SCALE: N.T.S.

**DP16**

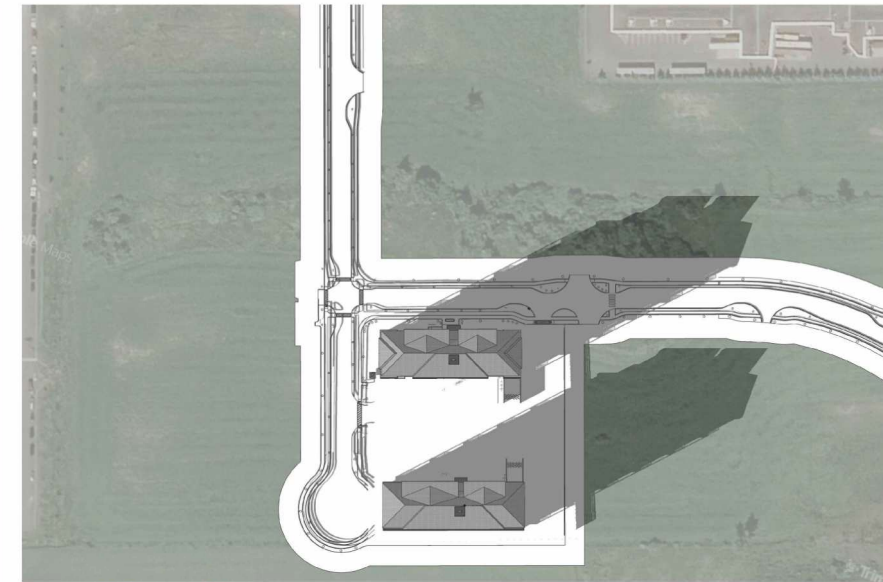
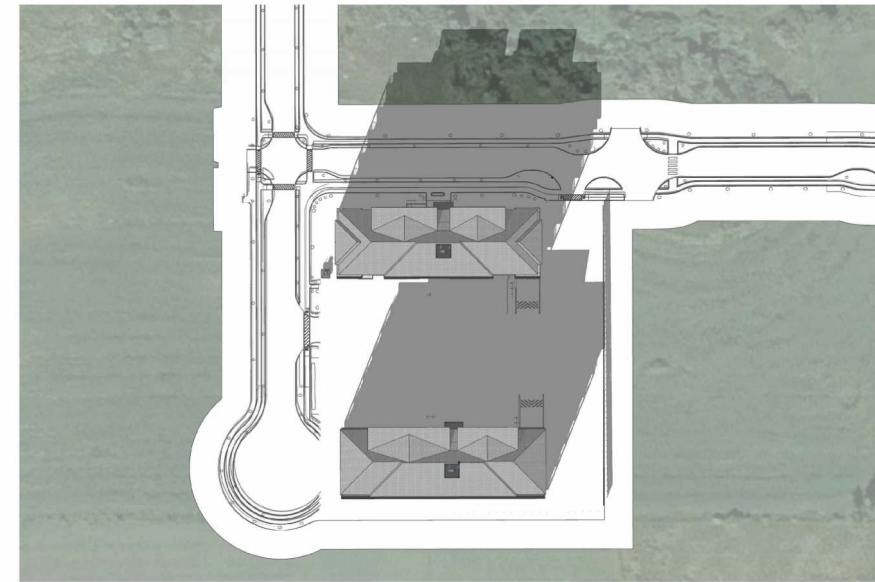
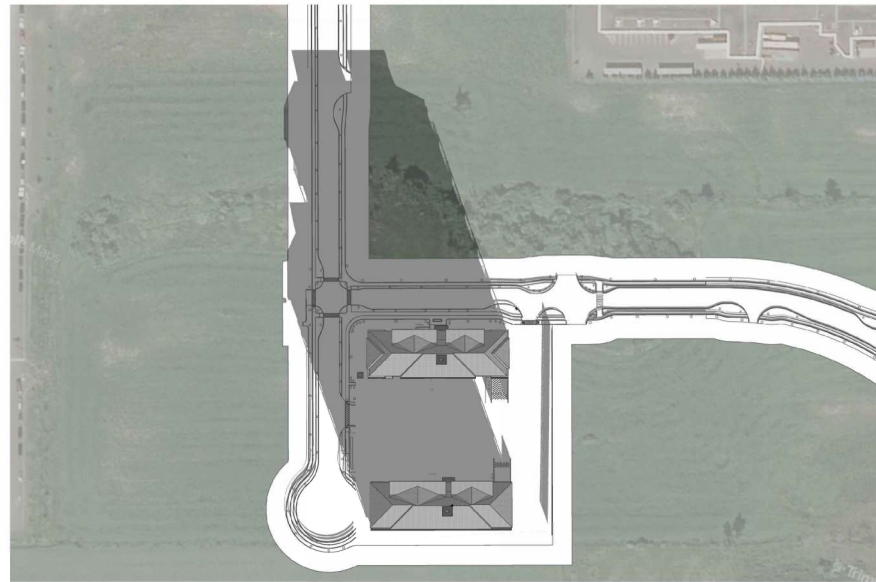
APPLICATION No. D07-12-23-0095



UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
22nd September 09AM

UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
22nd September 12PM

UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
22nd September 03PM

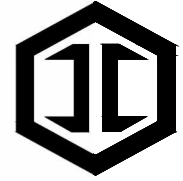


UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
21st December 09AM

UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
21st December 12PM

UTC-05:00 Noella Leclair Street, Ottawa,  
ON;  
21st December 03PM

NOTES:



**IRONCLAD DEVELOPMENTS INC.**  
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info@icdev.ca



Consultant  
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E: RGARVEY@A77.CA

SEAL:



No.	Date	REVISION
6		
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2	24.02.29	Re-Submission
1	23.06.22	Submission

Project Number: 2133  
Designed By: J.P.M.  
Drawn By: D.D.  
Checked By: R.G.

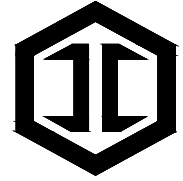
Noella Leclair Street,  
Ottawa, Ontario;

DEVELOPMENT PERMIT  
APPLICATION SET

SHADOW STUDY  
SCALE: N.T.S.

**DP17**

APPLICATION No. D07-12-23-0095



**IRONCLAD**  
DEVELOPMENTS INC.

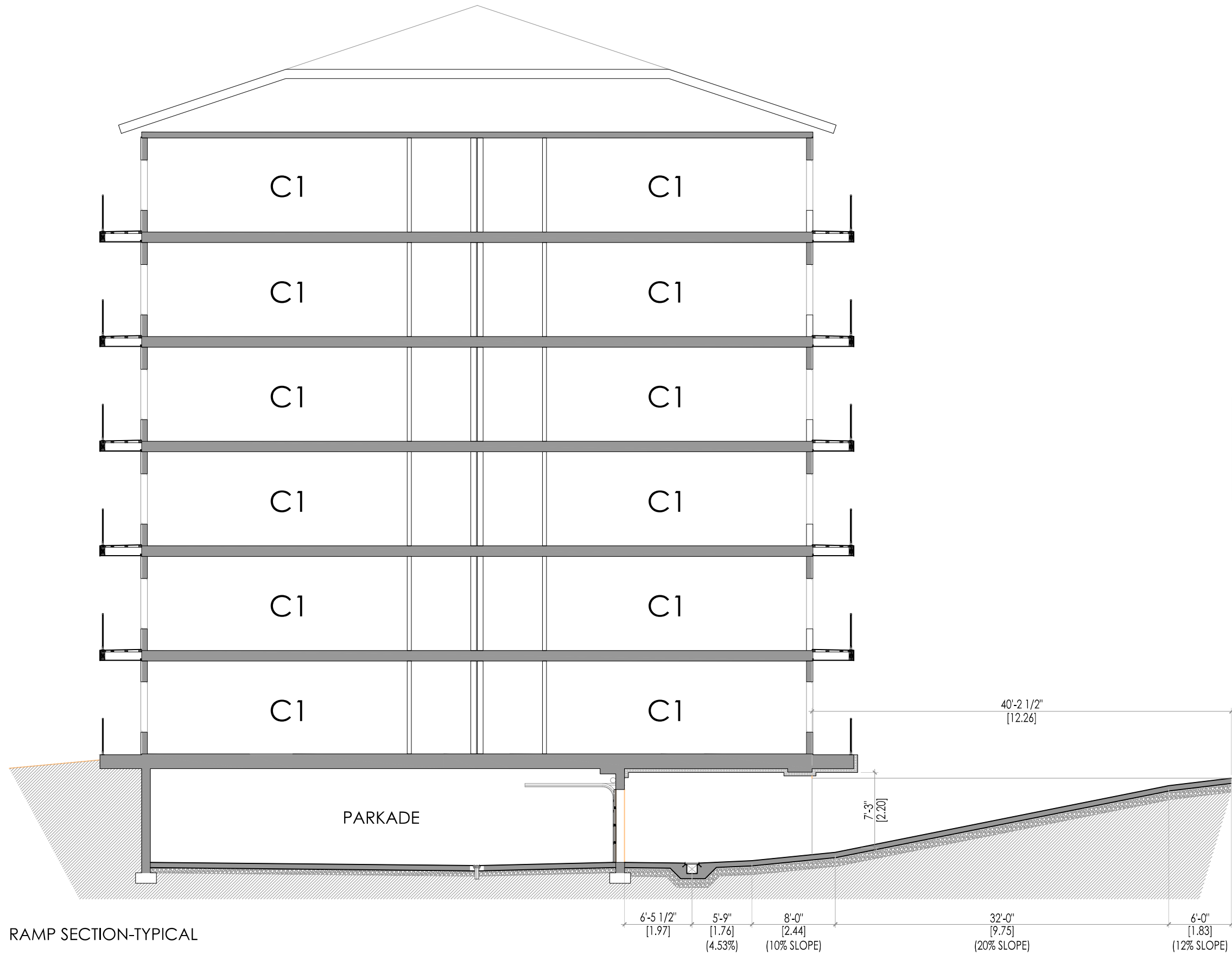
101-57158 Symington Road  
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Ph: 204-777-1972  
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Consultant



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ARCHITECTURE 77 INC.  
201-57158 SYMINGTON RD 20E  
SPRINGFIELD, MB R2J 4L6  
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E: RGARVEY@A77.CA

SEAL:



NOTES:

No.	Date	REVISION
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2	24.02.29	Re-Submission
1	23.06.22	Submission

Project Number: 2133  
Designed By: J.P.M.  
Drawn By: D.D.  
Checked By: R.G.

Noella Leclair Street,  
Ottawa, Ontario;

DEVELOPMENT PERMIT  
APPLICATION SET

RAMP SECTION  
TYPICAL  
SCALE: 1:120

DP18

APPLICATION No. D07-12-23-0095