

THE NUKK

652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705

RE-ISSUED FOR SITE PLAN APPROVAL SUBJECT TO AN EASEMENT AS IN
OC2553461
CITY OF OTTAWA, ON.

2024.02.06

OWNER	NUKK Developments																																																					
NAME OF PROJECT:	The NUKK																																																					
LOCATION:	652 Flagstaff Drive																																																					
ITEM	BUILDING CODE DATA MATRIX			Ontario OBC REFERENCE References are to Division B unless noted [A] for Division A or [C] for Division C.																																																		
1	Project Description:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration		PART 3																																																		
2	Major Occupancy(s)	GROUP D, E		3.1.2.1.(1)																																																		
3	Gross Building Area (m2)	Existing: --- m ²	New: 1,347 m ²	Total: 1,347 m ²																																																		
4	Net Area (m2)	Existing: --- m ²	New: 1,185 m ²	Total: 1,185 m ²																																																		
5	Number of Storeys Above Grade:	1		3.2.1.1 & 1.1.3.2																																																		
5b	Building Height:	11.5m																																																				
6	Number of Streets Building is Facing:	2		3.1.1.10 & 3.2.5.5																																																		
6b	Number of Fire Fighter Access Lanes:	2																																																				
7	Building Classification:	GROUP D, E		3.2.2.20-83																																																		
8	Sprinkler System Proposed:	<input type="checkbox"/> Entire Building <input type="checkbox"/> In Lieu of Roof Rating <input type="checkbox"/> Basement Only <input type="checkbox"/> Not Required		3.2.1.5 3.2.2.20-83 3.2.2.17																																																		
9	Standpipe & Hose Required:	<input type="checkbox"/> Yes <input type="checkbox"/> No		3.2.9																																																		
10	Fire Alarm Required:	<input type="checkbox"/> Yes <input type="checkbox"/> No		3.2.4																																																		
11	Water Service/Supply is Adequate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		N/A																																																		
12	High Building:	<input type="checkbox"/> Yes <input type="checkbox"/> No		3.2.6																																																		
13	Construction Restrictions:	<input type="checkbox"/> Combustible permitted <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both		3.2.2.20-83																																																		
14	Actual Construction:	<input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-combustible <input type="checkbox"/> Both																																																				
14	Mezzanine(s):	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Mezzanine(s) Area (m2)		3.2.1.1.(3)-(8)																																																		
15	Occupant load based on:	DESIGN OF BUILDING - ALTERATION		3.2.2.20-83 & 3.2.1.4																																																		
		Occupancy	# of Bedrooms	Persons/Room	Occupant Load																																																	
		Basement	N/A	N/A	N/A	N/A																																																
		1st Floor	D, E	N/A	N/A	360																																																
		2nd Floor	N/A	N/A	N/A	N/A																																																
		Total:	N/A	N/A	N/A	360																																																
16	Barrier-Free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Explain)		3.8																																																		
17	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		3.3.1.2.(1) & 3.3.1.19.(1)																																																		
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floors: N/A Roof: RESERVED Mezzanine: N/A FRR of Supporting Members (Hours) Floors: N/A Roof: RESERVED Mezzanine: N/A		Listed Design No. or Description (SG-2) RESERVED RESERVED RESERVED Listed Design No. or Description (SG-2) RESERVED RESERVED RESERVED	3.2.2.10-83 & 3.2.1.4																																																	
19	Spatial Separation - Construction of Exterior Walls	<table border="1"> <thead> <tr> <th>Wall</th> <th>Area of EBF (m2)</th> <th>L.D. (m)</th> <th>L/H or H/L</th> <th>Permitted Max. % of Openings</th> <th>Proposed Max. % of Openings</th> <th>MIN. FRR (Hours)</th> <th>Listed Design or Description</th> <th>Type of Construction Required</th> <th>Type of Cladding Required</th> </tr> </thead> <tbody> <tr> <td>NORTH</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>EAST</td> <td>---</td> <td>RESERVED</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>SOUTH</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> </tr> <tr> <td>WEST</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> <td>---</td> </tr> </tbody> </table>		Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed Max. % of Openings	MIN. FRR (Hours)	Listed Design or Description	Type of Construction Required	Type of Cladding Required	NORTH	---	---	---	---	---	---	---	---	---	EAST	---	RESERVED	---	---	---	---	---	---	---	SOUTH	---	---	---	---	---	---	---	---	---	WEST	---	---	---	---	---	---	---	---	---	3.2.3
Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed Max. % of Openings	MIN. FRR (Hours)	Listed Design or Description	Type of Construction Required	Type of Cladding Required																																													
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SOUTH	---	---	---	---	---	---	---	---	---																																													
WEST	---	---	---	---	---	---	---	---	---																																													
20	Other - Describe:																																																					



ARCHITECTURAL DRAWINGS

- SP01 SITE PLAN
- SP02 SITE PLAN_DETAILS
- A001 GENERAL NOTES
- A100 LEVEL 100 PLAN
- A101 ROOF PLAN
- A200 ELEVATIONS
- A201 ELEVATIONS

OBC MATRIX - PART 3
1:1

EXPOSING BUILDING FACE - OBC 3.2.3.1

BUILDING FACE (ELEVATION)	LIMITING DISTANCE (m)	EXPOSING BUILDING FACE (m2)	AREA OF UNPROTECTED OPENINGS (m2)	% OF UNPROTECTED OPENINGS (PROVIDED)	% OF UNPROTECTED OPENINGS (PERMITTED)
BUILDING 01 NORTH	XXm	XXm2	XXm2	XX%	XX%
EAST	XXm	XXm2	XXm2	XX%	XX%
SOUTH	XXm	XXm2	XXm2	XX%	XX%
WEST	XXm	XXm2	XXm2	XX%	XX%
BUILDING 02 NORTH	XXm	XXm2	XXm2	XX%	XX%
EAST	XXm	XXm2	XXm2	XX%	XX%
SOUTH	XXm	XXm2	XXm2	XX%	XX%
WEST	XXm	XXm2	XXm2	XX%	XX%

EXPOSING BUILDING FACE - PART 9
1:50

STRUCTURAL SCHEDULES

FOOTING SCHEDULE		
FOOTING	SIZE	NOTES
F1		
F2		

STEEL POST SCHEDULE		
POST	SIZE	NOTES
SP1		
SP2		

WOOD POST SCHEDULE		
POST	SIZE	NOTES
P1		
P2		

STEEL LINTEL SCHEDULE		
LINTEL	SIZE	NOTES
SL1		
SL2		

WOOD LINTEL SCHEDULE		
LINTEL	SIZE	NOTES
L1		
L2		
L3		
L4		

STEEL BEAM SCHEDULE		
LINTEL	SIZE	NOTES
SB1		
SB2		

BEAM SCHEDULE		
LINTEL	SIZE	NOTES
B1		
B2		

STRUCTURAL SCHEDULES
1:50

ROOF ASSEMBLIES

ASSEMBLIES SUBJECT TO CHANGE WITH COORDINATION OF STRUCTURAL ENGINEERING + SOILS REPORT

FLAT ROOF - TORCHED-ON MEMBRANE - TYPICAL

- 2-PLY SBS MBM TORCH ADHERED MEMBRANE (250 gm2 CAP SHEET AND 180 gm2 BASE SHEET)
- 2-PLY SBS MBM TORCH ADHERED FLASHING (250 gm2 CAP SHEET AND 180 gm2 BASE SHEET)
- 3mm ASPHALT PROTECTION BOARD, ADHERED
- W/ SELF ADHESIVE FIRE TAPE AT SEAMS
- 2 LAYERS 63mm RIGID FOAM INSULATION (TAPERED TO PROVIDE SLOPES TO DRAINS), CHEMICALLY ADHERED
- 14mm SELF ADHERED SBS VAPOUR RETARDER MEMBRANE
- 12.7mm GYPSUM SHEATHING

ROOF ASSEMBLIES
1:50

FLOOR ASSEMBLIES

ASSEMBLIES SUBJECT TO CHANGE WITH COORDINATION OF STRUCTURAL ENGINEERING + SOILS REPORT

CONCRETE SLAB - TYPICAL FLOOR

- 152mm POURED CONC. SLAB (MIN. 32 MPa W 5-8% AIR ENTRAINMENT) C/W 150mm x 150mm GALVANIZED W.W.M OR FIBRE MESH REINFORCING W/ SAW-CUT CONTROL JOINTS
- 6mm POLY VAPOUR BARRIER
- 2 LAYERS R5 C.I. (12.7mm RIGID INSULATION)
- 203mm GRANULAR 'A' ON SUB-BASE UNDISTURBED SOIL

FLOOR ASSEMBLIES
1:50

WALL ASSEMBLIES

ASSEMBLIES SUBJECT TO CHANGE WITH COORDINATION OF STRUCTURAL ENGINEERING + SOILS REPORT

FOUNDATION WALL - UNINSULATED

- POURED CONCRETE FOUNDATION WALL C/W REINFC
- WATERPROOFING MEMBRANE
- DRAINAGE SHEET ('PLATION' OR SIM.)
- PARGING TO 200MM BELOW GRADE

102mm WOOD STUDS PARTITION - TYPICAL

- 12.7mm GYPSUM BOARD
- 102mm STEEL STUDS @ 406mm O.C
- 12.7mm GYPSUM BOARD

150mm STEEL STUDS PARTITION - TYPICAL

- 12.7 mm GYPSUM BOARD
- 152mm STEEL STUDS @ 406mm O.C
- 12.7 mm TYPE 'X' GYPSUM BOARD - TO UNDERSIDE OF STEEL DECK

150mm STEEL STUDS PARTITION - DEMISING WALL 1-HR PARTITION ULC DESIGN NO. W 407

- 15.9 mm TYPE 'X' GYPSUM BOARD
- 152mm STEEL STUDS @ 406mm O.C
- SOUND ATTENUATION BATTS
- 15.9 mm TYPE 'X' GYPSUM BOARD - TO UNDERSIDE OF STEEL DECK

150mm STANDING SEAM WALL - TYPICAL R-22 (MW Insul.) + R-10 (C.I.) + 32

- 15.9mm GYPSUM BOARD
- 6mm POLY VAPOUR BARRIER
- 152mm STUD WALL (152mm STEEL STUDS @ 406mm O.C) C/W 152mm MINERAL WOOL R22 (RSI 3.87)
- 15.9mm EXTERIOR GRADE GYPSUM SHEATHING
- VAPOUR PERMEABLE AIR & WATER BARRIER
- 2 LAYERS R5 C.I. (12.7mm RIGID INSULATION)
- 12.7mm HORIZONTAL METAL FURRING
- AMERI-CANA 24 GAUGE METAL SIDING (BLACK)

150mm STANDING SEAM WALL - TYPICAL R-22 (MW Insul.) + R-10 (C.I.) + 32

- 152mm STUD WALL (152mm STEEL STUDS @ 406mm O.C) C/W 152mm MINERAL WOOL R22 (RSI 3.87)
- 15.9mm EXTERIOR GRADE GYPSUM SHEATHING
- VAPOUR PERMEABLE AIR & WATER BARRIER
- 2 LAYERS R5 C.I. (12.7mm RIGID INSULATION)
- 12.7mm HORIZONTAL METAL FURRING
- FLATSTOCK STEEL SIDING (ORANGE)

WALL SCHEDULE
1:50

DOOR SCHEDULE

Type Mark	Location	Count	HEIGHT	WIDTH	Material	Frame Material	Finish	HARDWARE	FIRE RATING	COMMENTS
D102	CRU ENTRANCE/EXIT	14	2030	915	ALUMINUM	EXTRUDED ALUMINUM	RESERVED			
D103		12	2110	925						
D103		2	2110	950						
D102	MECHANICAL ROOM	1	2110	1070	ALUMINUM	EXTRUDED ALUMINUM	BLACK ANODIZED			
D101		1	2110	1850						
D101		1	2110	1870						
D101		1	2110	1885						
D101		11	2110	1900						

ROOM AREAS AND FINISHES SCHEDULE

ROOM	LEVEL	NAME	FLOOR	BASE	WALL	CEILING	AREA (SQFT)	AREA (SQM)	COMMENTS
Grand total: 43									
FINISHES									
Not Placed									
204AA	Not Placed	MEZZANINE				Not Placed			
204B	Not Placed	COMMERCIAL UNIT 02				Not Placed			
204BB	Not Placed	MEZZANINE				Not Placed			
204C	Not Placed	COMMERCIAL UNIT 03				Not Placed			
204CC	Not Placed	MEZZANINE				Not Placed			
204D	Not Placed	COMMERCIAL UNIT 05				Not Placed			
204DD	Not Placed	MEZZANINE				Not Placed			
204E	Not Placed	COMMERCIAL UNIT 04				Not Placed			
204EE	Not Placed	MEZZANINE				Not Placed			
204F	Not Placed	COMMERCIAL UNIT 06				Not Placed			
204FF	Not Placed	MEZZANINE				Not Placed			
204G	Not Placed	COMMERCIAL UNIT 06				Not Placed			
204GG	Not Placed	MEZZANINE				Not Placed			
204H	Not Placed	COMMERCIAL UNIT 07				Not Placed			
204HH	Not Placed	MEZZANINE				Not Placed			
204I	Not Placed	COMMERCIAL UNIT 08				Not Placed			
204II	Not Placed	MEZZANINE				Not Placed			
204J	Not Placed	COMMERCIAL UNIT 09				Not Placed			
204JJ	Not Placed	MEZZANINE				Not Placed			
204K	Not Placed	COMMERCIAL UNIT 10				Not Placed			
204KK	Not Placed	MEZZANINE				Not Placed			
204L	Not Placed	COMMERCIAL UNIT 11				Not Placed			
204LL	Not Placed	MEZZANINE				Not Placed			
204M	Not Placed	COMMERCIAL UNIT 12				Not Placed			
204MM	Not Placed	Room				Not Placed			
204N	Not Placed	COMMERCIAL UNIT 01				Not Placed			
204NN	Not Placed	MECH./ UTILITY				Not Placed			
204O	Not Placed	Room				Not Placed			
204P	Not Placed	UNIT 08 - PATIO				Not Placed			
204Q	Not Placed	UNIT 06 - PATIO				Not Placed			
204R	Not Placed	UNIT 09 - PATIO				Not Placed			
204S	Not Placed	UNIT 10 - PATIO				Not Placed			
204T	Not Placed	UNIT 11 - PATIO				Not Placed			
204U	Not Placed	UNIT 07 - PATIO				Not Placed			
204V	Not Placed	UNIT 01 - PATIO				Not Placed			
204W	Not Placed	UNIT 02 - PATIO				Not Placed			
204X	Not Placed	UNIT 03 - PATIO				Not Placed			
204Y	Not Placed	UNIT 05 - PATIO				Not Placed			
204Z	Not Placed	UNIT 04 - PATIO				Not Placed			

Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.

THE NUKK

652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

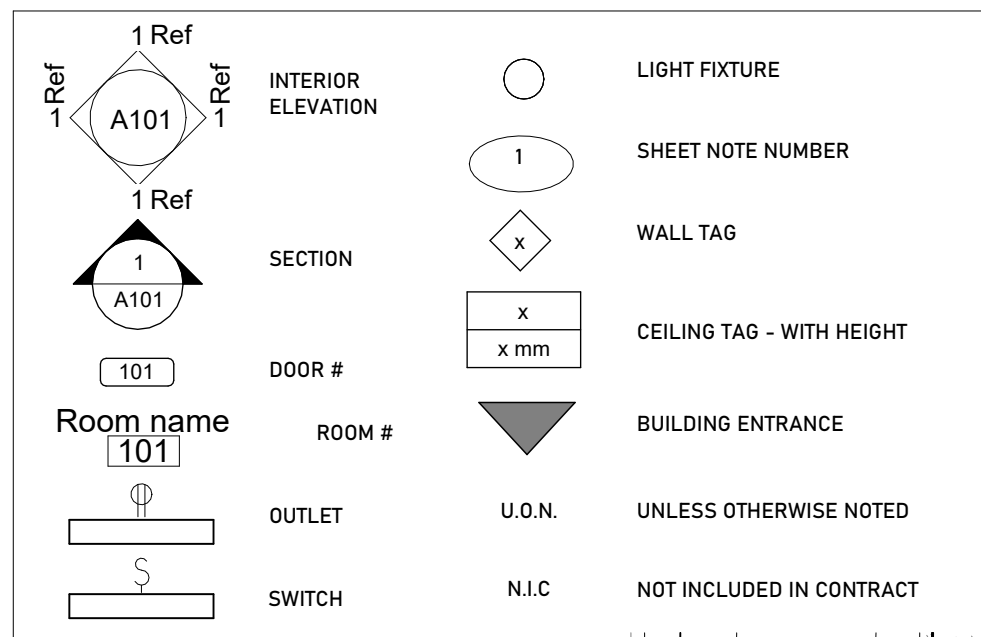
LEGENDS & SCHEDULES

Project number 22021
Date 2024.02.06
Drawn by SB
Checked by JSL

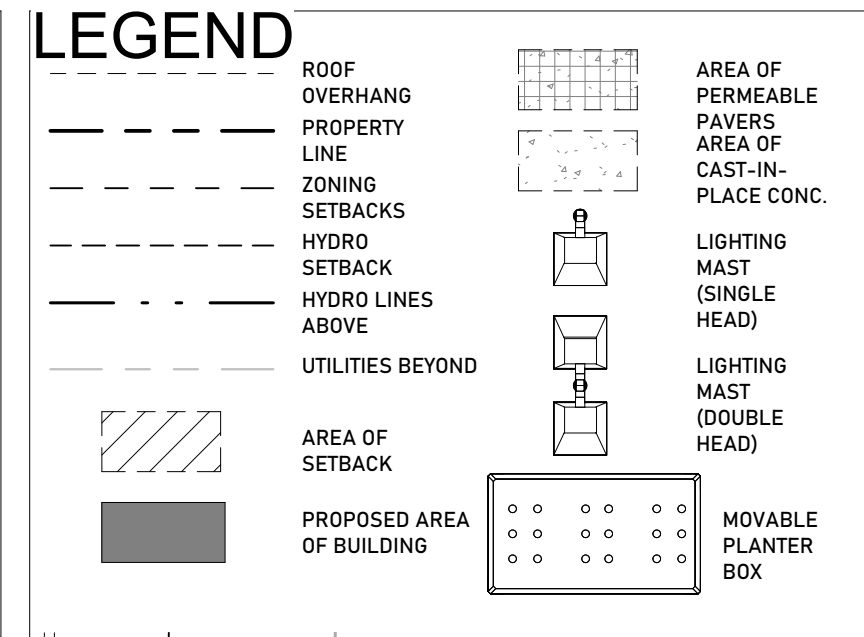
A002

Scale 1:50

DRAWING LEGEND



SITE PLAN LEGEND



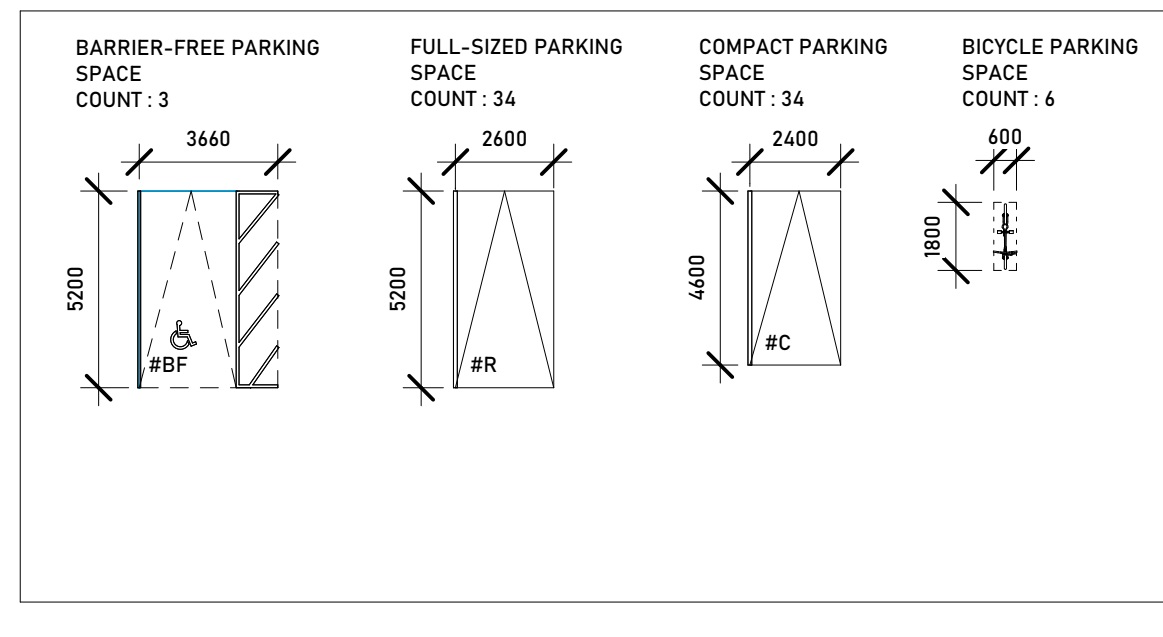
ZONING STATISTICS

ZONE: LC7 [694]	TYPE: LOCAL COMMERCIAL ZONE	REQUIRED	PROVIDED
MIN. LOT WIDTH:		NO MIN.	
MIN. LOT AREA:		NO MIN.	47,248 m ² / 47.2 HA
MIN. FRONT YARD SETBACK:		3 m	3 m
MIN. CORNER SIDE YARD SETBACK:		3 m	3 m
MIN. INTERIOR SIDE YARD SETBACK:		5 m	5 m
MIN. REAR YARD SETBACK:		NO MINIMUM	5 m
MIN. LANDSCAPE AREA FRONT YARD:		3 m buffer	3 m buffer
MAX. BUILDING HEIGHT:		12.5 m	6.97 m
MAX. FLOOR SPACE INDEX:		NO MAX.	31%

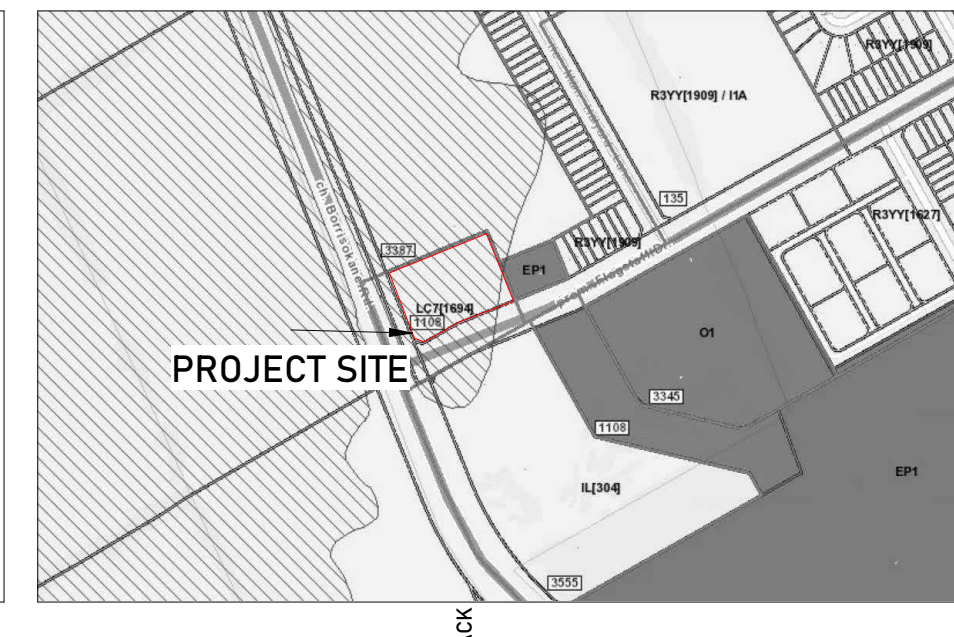
PARKING STATISTICS

ZONE: LC7 [694]	TYPE: LOCAL COMMERCIAL ZONE	REQUIRED	PROVIDED
FULL-SIZED PARKING SPACES (5.2m D x 2.4m W)		3.4 per 100 m ² of gross leasable floor area : 44	33
COMPACT-SIZED PARKING SPACES (4.8m D x 2.4m W) As per section 106 (3) - Parking Space provisions		Max. 50% of Regular sized parking spaces : 35	31
		TOTAL SPACES : 67	
BARRIER-FREE PARKING SPACES		1 Space for 20-99 vehicle parking spaces	3
BIKE PARKING SPOTS		1 per 250 m ² of gross floor area : 6	6
MIN. DRIVE AISLE WIDTH		6.7 m	6.7 m

PARKING SPACE LEGEND

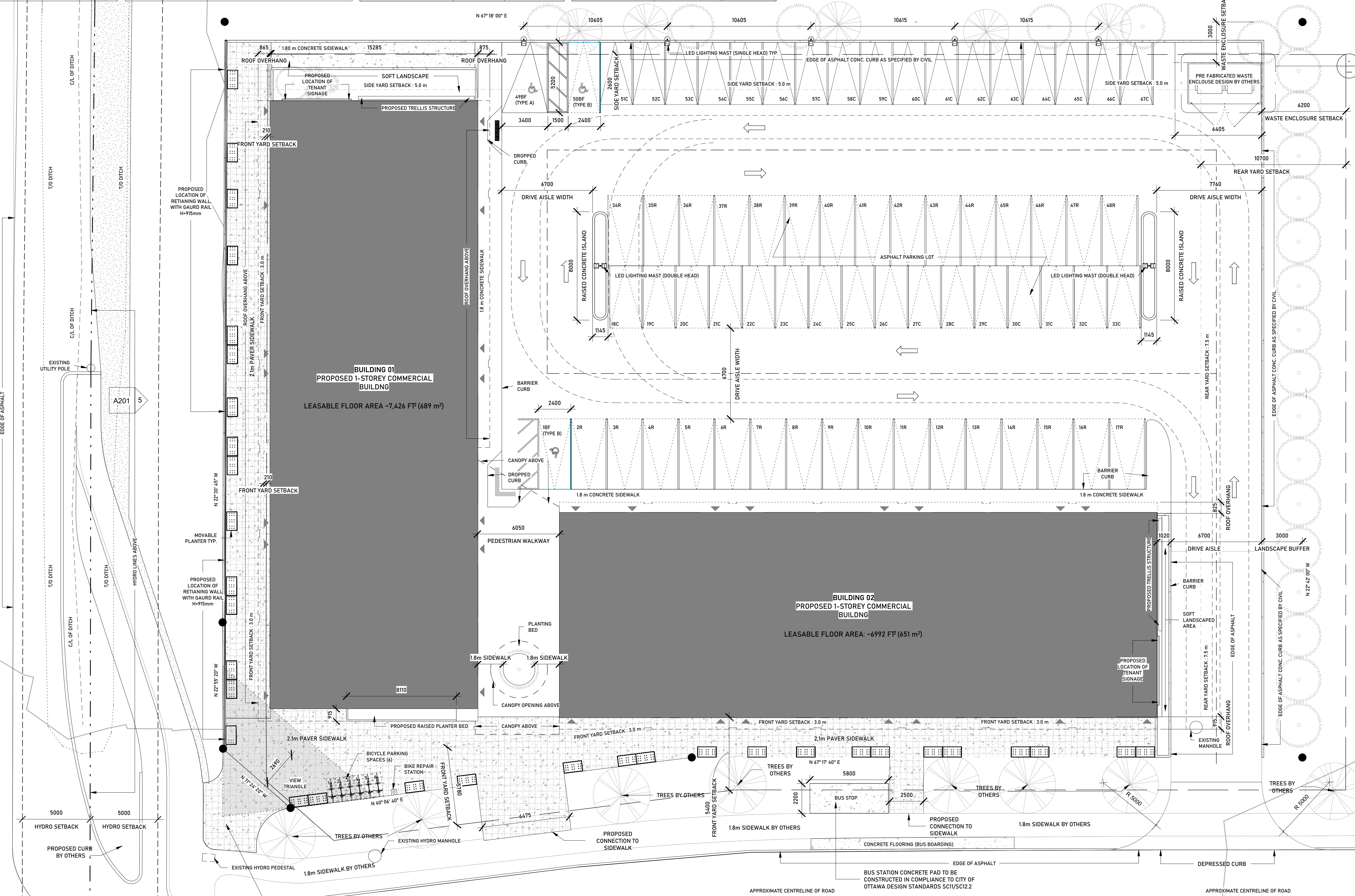


CONTEXT PLAN



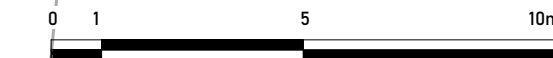
NOTE:
 1. SITE PLAN BASED ON TOPOGRAPHIC SURVEY PROVIDED BY: J.D. Barnes Limited, Suite 103, 42 Steacie Drive, Ottawa, ON K2K 2A9, Tel: 613-731-7244
 DATE: March 30, 2023
 2. ALL SNOW IS TO BE REMOVED FROM SITE.
 3. ALL PLANTING/LANDSCAPING IN THIS PLAN IS FOR GRAPHICAL PURPOSES ONLY. FOR EXACT SPECIFICATIONS OF PLANT SPECIES, REFER TO LANDSCAPE DRAWINGS.

BORRISOKANE ROAD



1 SITE PLAN
1:150

FLAGSTAFF DRIVE



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.

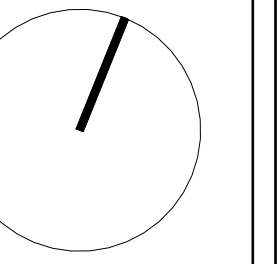
No.	Description	Date
6	ISSUED FOR MARKETING PLANS	2023.04.25
7	ISSUED FOR PLANNER COORDINATION	2023.04.24
8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
9	RE-ISSUED FOR COORDINATION	2023.05.26
10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
11	ISSUED FOR 50% DD	2023.06.21
12	ISSUED FOR COORDINATION	2023.07.14
13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23
16	ISSUED FOR PLANNING RESUBMISSION	2024.02.09
17	ISSUED FOR SPA	2024.03.28

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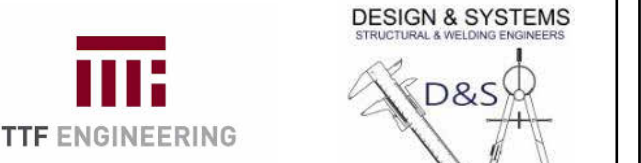
SITE PLAN

Project number	22021
Date	2024.02.06
Drawn by	GLM
Checked by	JSL

SP01
Scale: As indicated



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.



No.	Description	Date
5	ISSUED FOR CIVIL COORDINATION	2023.04.05
6	ISSUED FOR MARKETING PLANS	2023.04.25
7	ISSUED FOR PLANNER COORDINATION	2023.04.24
8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
9	RE-ISSUED FOR COORDINATION	2023.05.26
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14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23

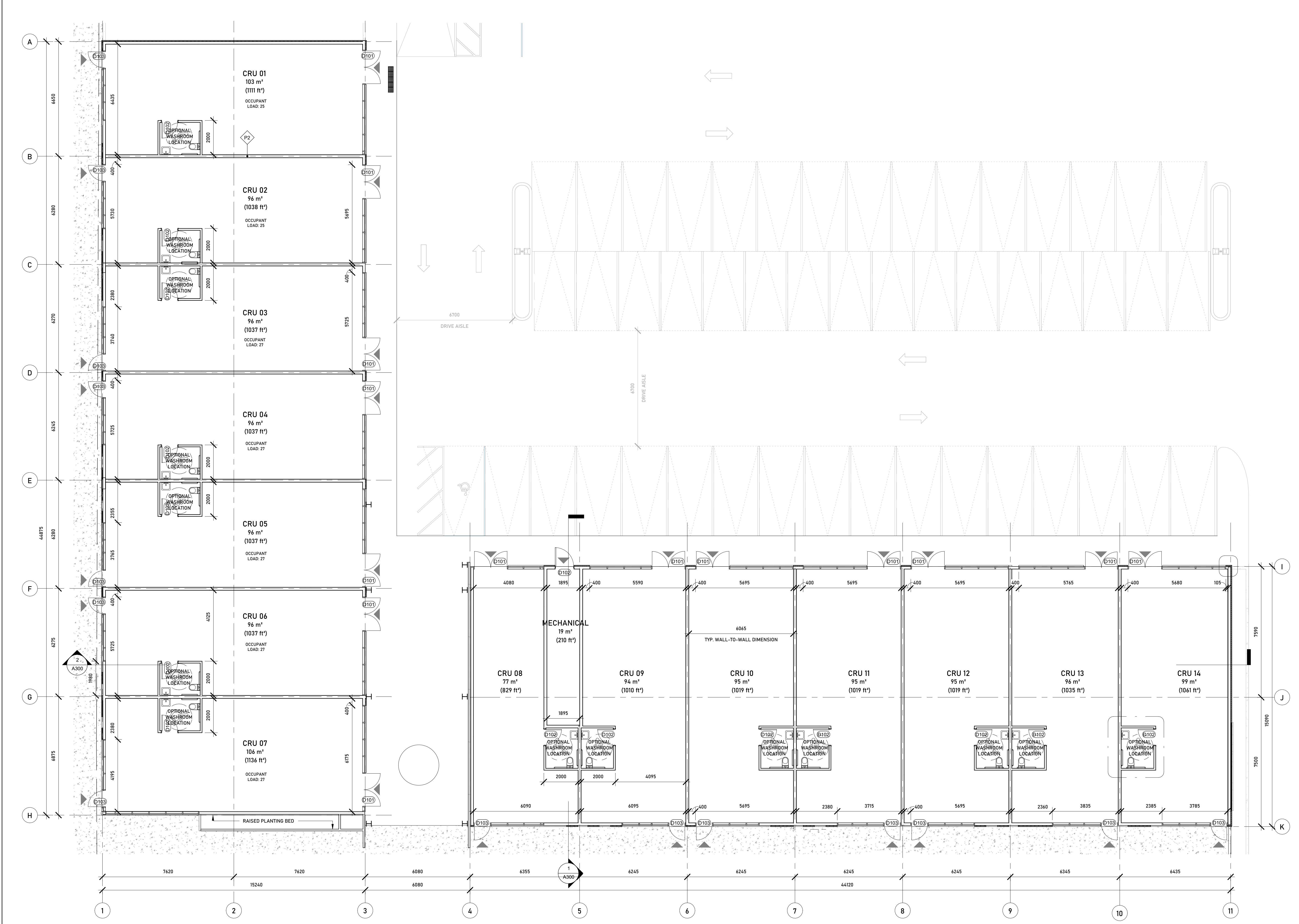
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LEVEL 100 PLAN

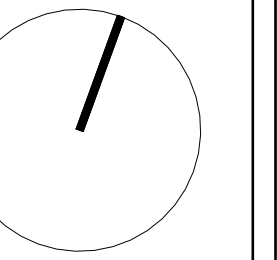
Project number	22021
Date	2024.02.06
Drawn by	MB
Checked by	JSL

A100

Scale 1 : 100



1 LEVEL 100 LEASABLE AREA
 1 : 100



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.



No.	Description	Date
1	ISSUED FOR PRE-DESIGN MEETING	2022.10.19
2	ISSUED FOR CLIENT COORDINATION	2022.11.22

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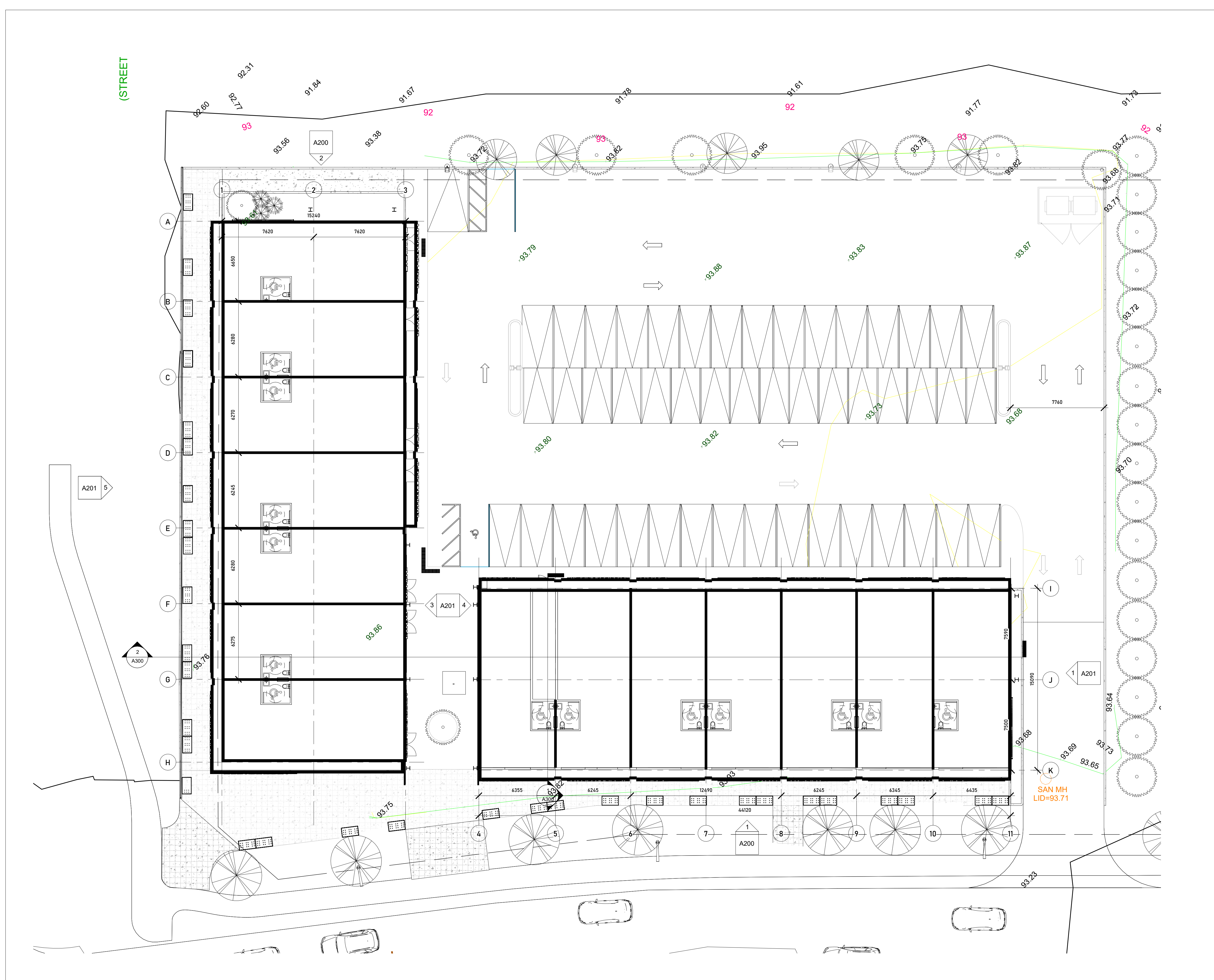
MEZZANINE LEVEL PLAN

Project number	22021
Date	2024.02.06
Drawn by	MB
Checked by	JSL

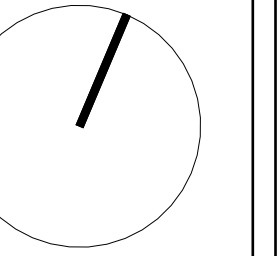
SK_101

Scale	1 : 150
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2024-04-04 3:41:07 PM



1 MEZZANINE FLOOR
1 : 150



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.



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5	ISSUED FOR CIVIL COORDINATION	2023.04.05
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9	RE-ISSUED FOR COORDINATION	2023.05.26
10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
11	ISSUED FOR 50% DD	2023.06.21
12	ISSUED FOR COORDINATION	2023.07.14
13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23

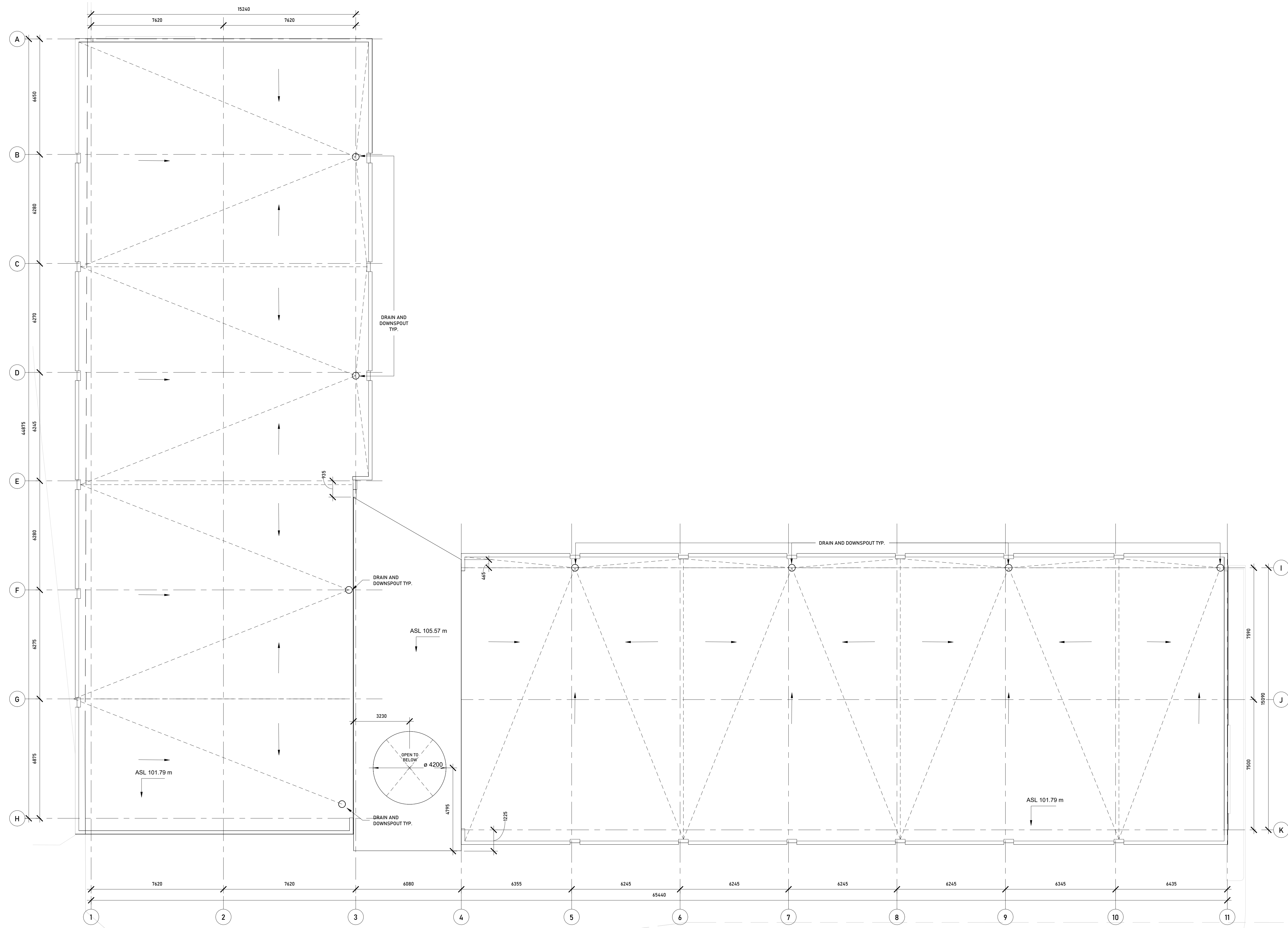
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CITY OF OTTAWA, ON.

ROOF PLAN

Project number	22021
Date	2024.02.06
Drawn by	MB
Checked by	JSL

A101

Scale 1 : 100



1 T/O CANOPY ROOF
1 : 100

- LEGEND**
- 1 HORIZONTAL METAL SIDING - CHARCOAL
 - 2 FLATSTOCK METAL SIDING - CHARCOAL
 - 3 FLATSTOCK METAL SIDING - ORANGE
 - 4 EXTERIOR GLAZING - BLACK, ANODIZED
 - 5 LED BACKLIT SIGNAGE
 - 6 FIBRE CEMENT PANELS - ORANGE
 - 7 CONC. BLOCK SKIRTING

Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.

DESIGN & SYSTEMS
ARCHITECTURE & ENGINEERING

TTF ENGINEERING

FOTENN
Planning + Design

CGH
TRANSPORTATION

Palmer SLR
PART OF

GRADIENTWIND
ENGINEERS & SCIENTISTS

Ruhland & Associates Ltd
landscape architecture • urban design • site planning

LRL ENGINEERING

NUKK

25:8 ARCHITECTURE
URBAN DESIGN



2 ELEVATION - NORTH
1:100



1 ELEVATION - SOUTH
1:100

No.	Description	Date
5	ISSUED FOR CIVIL COORDINATION	2023.04.05
6	ISSUED FOR MARKETING PLANS	2023.04.25
7	ISSUED FOR PLANNER COORDINATION	2023.04.24
8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
9	RE-ISSUED FOR COORDINATION	2023.05.26
10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
11	ISSUED FOR 50% DD	2023.06.21
12	ISSUED FOR COORDINATION	2023.07.14
13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23

THE NUKK
652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

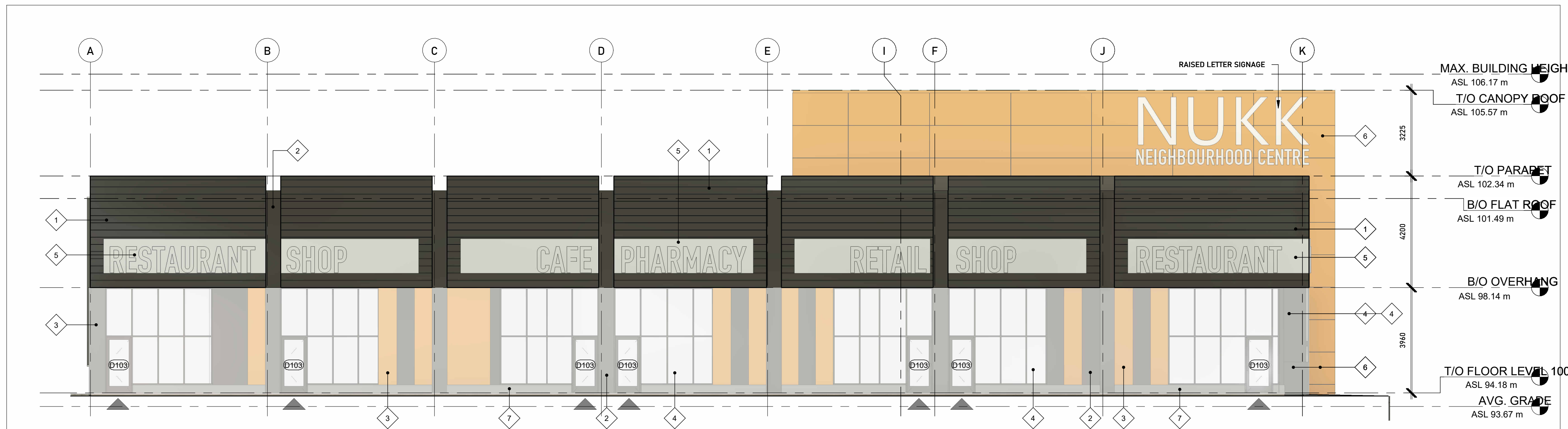
ELEVATIONS

Project number	22021
Date	2024.02.06
Drawn by	MB
Checked by	JSL
A200	
Scale	As indicated



4 ELEVATION - WALKWAY EAST
1:100

3 ELEVATION - WALKWAY WEST
1:100



2 ELEVATION - EAST
1:100



1 ELEVATION - WEST
1:100

- LEGEND
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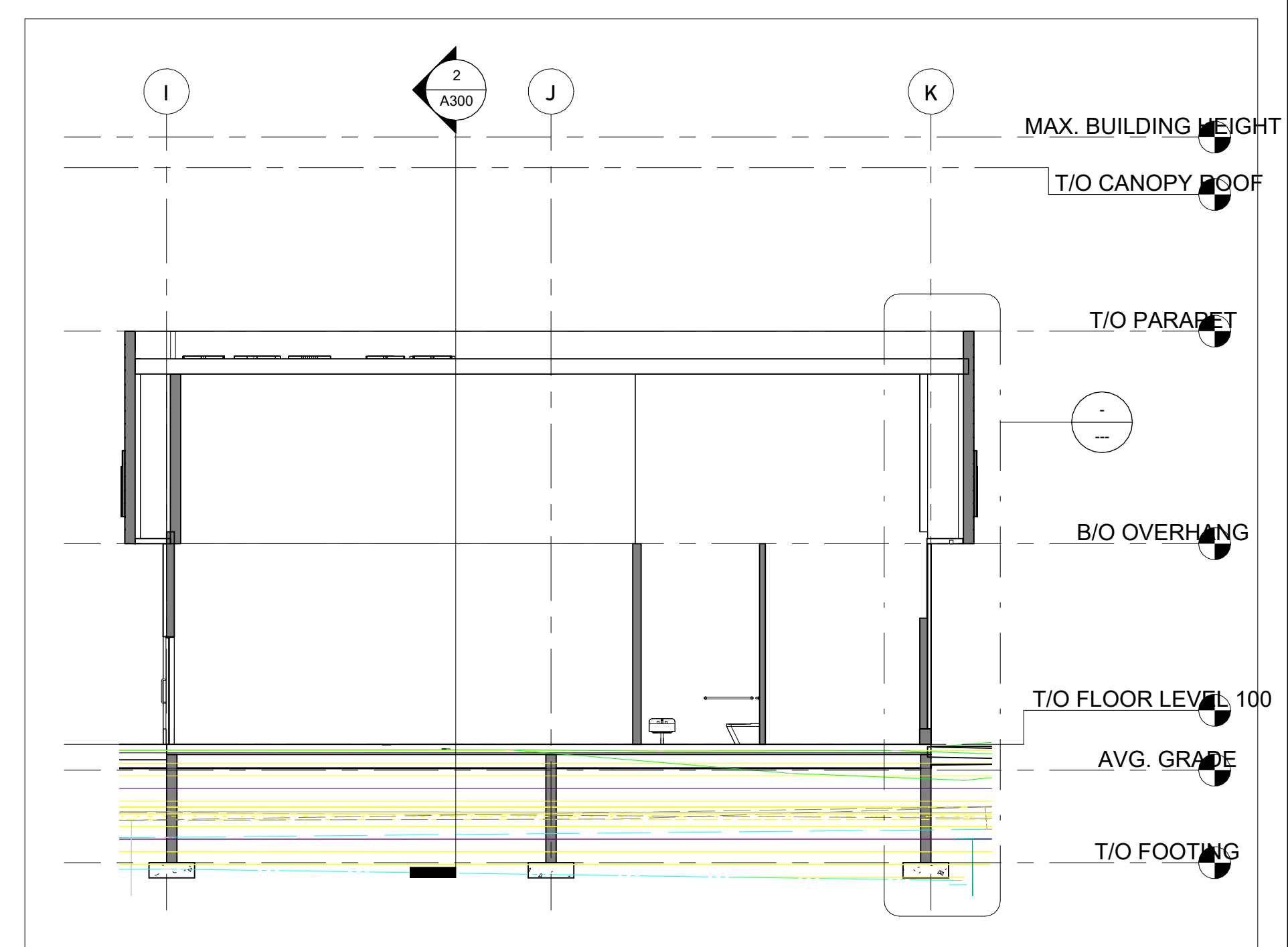
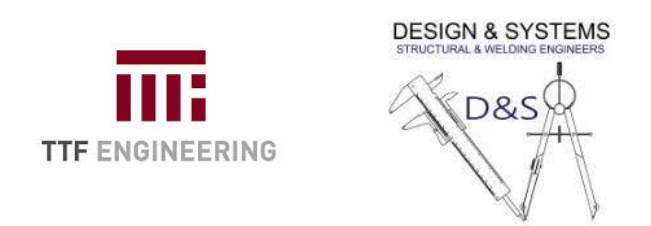
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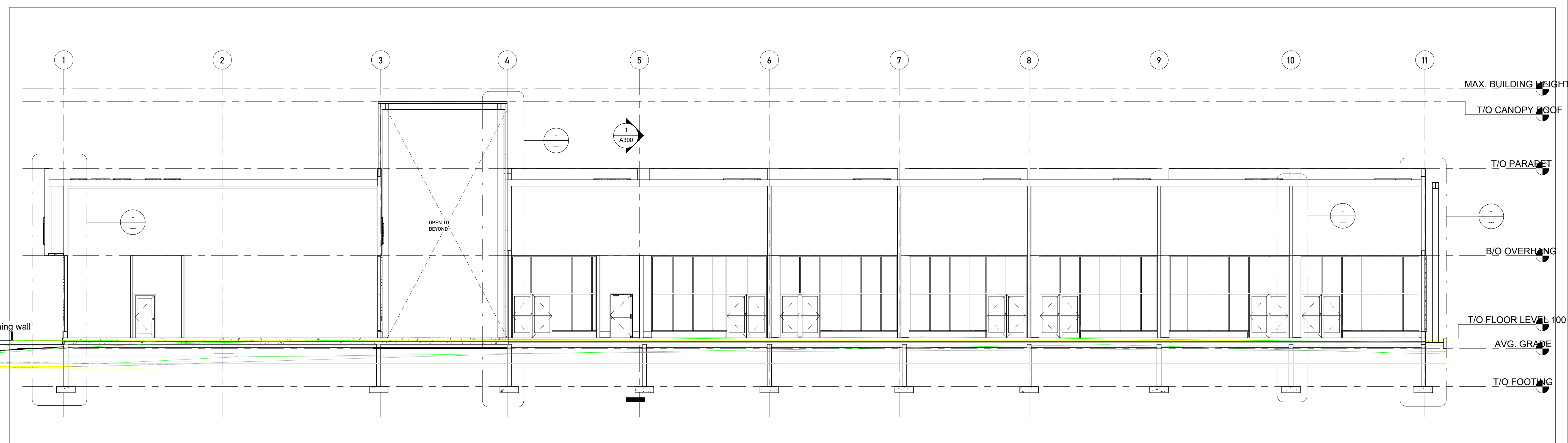
ELEVATIONS

Project number	22021
Date	2024.02.06
Drawn by	MB
Checked by	JSL
A201	
Scale	As indicated

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1 Section 1
1:100



2 Section 2
1:100

No.	Description	Date

THE NUKK
652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

SECTIONS

Project number	22021
Date	2024.02.06
Drawn by	SB
Checked by	JSL

A300
Scale 1:100