THE NUKK

652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
RE-ISSUED FOR SITE PLAN APPROVAL SUBJECT TO AN EASEMENT AS IN
OC2553461
2024.02.06 CITY OF OTTAWA, ON.

·		2nd Floor Total: Floors: Roof: Mezzanine: Floors: Roof: Mezzanine: Walls	Yes Yes Horizontal Assemblies F N// FRR of Supporting Meml N// Permitted Max. % of Openings	RR (Hours) A Ders (Hours) A RVED	N/A N/A No (Explain) No RESEF	Listed D	esign No. or Description (SG esign No. or Description (SG Type of Construction Required	RESERVED	3.8 3.3.1.2.(1) & 3.3.1 3.2.2.1083 & 3
Hazardous Subs	stances: Resistance Rating (FRR)	2nd Floor Total: Floors: Roof: Mezzanine: Floors: Roof: Mezzanine:	Yes Yes Horizontal Assemblies F N// FRR of Supporting Meml N// RESEF N//	RR (Hours) A Deers (Hours) A RX/ED A	N/A No (Explain) No RESEF	Listed D	esign No. or Description (SG	RESERVED RESERVED	3.3.1.2.(1) & 3.3.1
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			N/A	N/A	N/A				
		1001	<u> </u>			N/A			
		1st Floor	D, E	N/A	N/A	360			
		Basement	N/A	N/A	N/A	N/A			
			Occupancy	# OI Bedrooms	reisuns/Room	Occupant Load	_		
Occupant load b	based on:	DESIGN OF BI			Dersons/Doom	Occupant Land			3.2.2.2083 & 3.
)	Mezzanine(s) Are	ea (m2)		3.2.1.1.(3)-(8
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			<u>-</u>						3.2.2.2083
	estrictions:						oth		3.2.0
	Supply is Adequate:								N/A 3.2.6
									3.2.4
	<u> </u>								3.2.9
									3.2.2.17
									3.2.1.5
Sprinkler Systen	m Proposed:								3.2.1.5
		GROUP D, E	Testing Distriction						3.2.2.2083
		2							
		2							3.1.1.10 & 3.2.
Building Height:		11.5m							3.2.1.1 & 1.1.3
	eys Above Grade:	1	Existing.	111	I VEVV.	1, 100 111	ı olal. İ	, 100 III	
	54 (1112)							<u>′</u>	1.1.3.2
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			☐ Alteration						24.04./4\
CONTIANING M	MERCHANTILE SHOPS AND		☐ Addition	_					
COMMERCIAL	SHOPPING CENTRE,		■ New						TAKIS
Project Descript	tion:								PART 3
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									Division B unle noted [A] fo
			BUIL	DING CODE DATA I	MATRIX				References are
									Ontario OBC REFERE
LOCATION:		652 Flagstaff I	Urive						2
NAME OF PRO	JECT:	The NI IKK							
OVVINLIX		NOKK Develop	onients						
	Project Description COMMERCIAL CONTIANING MERSONAL BL Major Occupant Gross Building Net Area (m2) Number of Store Building Height: Number of Fire Building Classif Sprinkler System Standpipe & Ho Fire Alarm Required Mater Service/S High Building: Construction Reactual Construct Mezzanine(s):	Project Description: COMMERCIAL SHOPPING CENTRE, CONTIANING MERCHANTILE SHOPS AND PERSONAL BUSINESSES, 14 UNITS TOTA Major Occupancy(s) Gross Building Area (m2) Net Area (m2) Number of Storeys Above Grade: Building Height: Number of Streets Building is Facing: Number of Fire Fighter Access Lanes: Building Classification: Byrinkler System Proposed: Standpipe & Hose Required: Fire Alarm Required: Water Service/Supply is Adequate: High Building: Construction Restrictions: Actual Construction:	Project Description: COMMERCIAL SHOPPING CENTRE, CONTIANING MERCHANTILE SHOPS AND PERSONAL BUSINESSES, 14 UNITS TOTAL. Major Occupancy(s) Gross Building Area (m2) Number of Storeys Above Grade: 1 Suilding Height: 11.5m Number of Streets Building is Facing: 2 Number of Fire Fighter Access Lanes: 2 Suilding Classification: Sprinkler System Proposed: Standpipe & Hose Required: Water Service/Supply is Adequate: High Building: Construction Restrictions: Actual Construction: Mezzanine(s): The NUKK 652 Flagstaff I GROUP D, E GR	NAME OF PROJECT: The NUKK COCATION: 652 Flagstaff Drive BUIL Description: COMMERCIAL SHOPPING CENTRE, SONTIANING MERCHANTILE SHOPS AND PERSONAL BUSINESSES, 14 UNITS TOTAL. Major Occupancy(s) GROUP D, E Existing: Net Area (m2) Number of Storeys Above Grade: Suilding Height: Number of Streets Building is Facing: Number of Fire Fighter Access Lanes: 2 Suilding Classification: GROUP D, E Sprinkler System Proposed: GROUP D, E Sprinkler System Proposed: GROUP D, E Standpipe & Hose Required: Not Required Yes Nater Service/Supply is Adequate: In James Adequate: Yes Nater Service/Supply is Adequate: In James Adequate: Yes Combustible permitted Actual Construction: Mezzanine(s):	NAME OF PROJECT: The NUKK BUILDING CODE DATA I Project Description: COMMERCIAL SHOPPING CENTRE: CONTIANING MERCHANTILE SHOPS AND PLERSONAL BUSINESSES, 14 UNITS TOTAL. Major Occupancy(s) GROUP D, E Gross Building Area (m2) Let Area (m2) Number of Storeys Above Grade: Lining Height: Sulding Height: Sulding Feighter Access Lanes: Sprinkler System Proposed: Sprinkler System Proposed: Standpipe & Hose Required: Standpipe & Hose Require	AAME OF PROJECT: The NUKK 652 Flagstaff Drive BUILDING CODE DATA MATRIX NAME OF PROJECT: The NUKK	MAME OF PROJECT: The NUKK	BULDING CODE DATA MATRIX BULDING CODE DATA	



ARCHITECTURAL DRAWINGS

SP01 SITE PLAN
SP02 SITE PLAN_DETAILS

A001 GENERAL NOTES

A100 LEVEL 100 PLAN
A101 ROOF PLAN

A200 ELEVATIONS
A201 ELEVATIONS

PLANNER

FOTENN PLANNING + DESIGN

Ottawa, ON K2P 2H7,

LRL ENGINEERING 5430 Canotek Road, Ottawa, ON K1J 9G2 (613) 842-3434 CGH TRANSPORTATIO 13 Markham Avenue, Ottawa, ON K2G 3Z1 LANDSCAPE ARCHITEC

RUHLAND & ASSOCIATES LTD.

1750 Courtwood Crescent, Suite 2

Ottawa, ON K2C 2B5

WIND + SOUND ENG GRADIENT WIND 127 Walgreen Road Ottawa, Ontario KOA 1L0 STRUCTURAL ENGINEE

DESIGN & SYSTEMS INC.

2378 Holly Lane, Suite 251,
Ottawa, ON KIV 7P1
(613) 739-7365



1. THE CONTRACTOR WILL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH EACH OTHER AND WITH AS-BUILT DRAWINGS PROVIDED BY THE OWNER AND WILL AT ONCE REPORT TO THE ARCHITECT ERRORS. INCONSISTENCIES. OR OMISSIONS. THE CONTRACTOR WILL TAKE FIELD MEASUREMENTS AND VERIFY FIELD CONDITIONS. THE CONTRACTOR WILL SUPERVISE AND DIRECT THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND HAS CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK. ADDITIONAL WORK THAT COULD HAVE REASONABLY BEEN FORESEEN BY THE GENERAL CONTRACTOR, AS NOTED ABOVE, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COST

2. INTENT OF CONTRACT DOCUMENTS

THE INTENT OF THE CONTRACT DOCUMENTS IS TO ALLOW FOR THE PERFORMANCE OF THE WORK. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, ALL SYSTEMS AND EQUIPMENT WILL BE COMPLETED AND APPROPRIATELY OPERABLE, FURNISH AND INSTALL ALL SPECIFIED ITEMS AS COMPLETE SYSTEMS. ALL PROVISIONS ARE TO BE MADE TO PROVIDE ALL INCIDENTAL ACCESSORY, AND OTHER ITEMS NOT SPECIFIED BUT REQUIRED FOR A COMPLETE AND FINISHED ASSEMBLY.

3. DEFECTIVE WORK

NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES WILL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL WILL BE CONSTRUED AS AN

4. AS BUILT DRAWINGS

DURING THE COURSE OF CONSTRUCTION, ACTUAL LOCATIONS OF CONSTRUCTION ITEMS DENOTED IN THE CONSTRUCTION DOCUMENTS WILL BE INDICATED TO SCALE IN CONTRASTING INK ON THE DRAWINGS FOR ALL RUNS OF MECHANICAL, SPRINKLER, PLUMBING, AND ELETRICAL WORK; INCLUDING SITE UTILITIES AND CONCEALED DEVIATION FROM THE DRAWINGS. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR WILL PROVIDE A SET OF ORIGINAL DOCUMENTS FOR "AS-BUILT" DOCUMENTATION. THIS SET WILL BE CONSPICUOUSLY MARKED "AS-BUILTS" AND DELIVERED TO THE ARCHITECT.

ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB AND ANY OMISSIONS IN THESE NOTES OR IN THE OUTLINE OF WORK WILL NOT BE CONSTRUED AS RELIEVING THE CONTRACTOR OF SUCH RESPONSIBILITIES IMPLIED BY SCOPE OF WORK EXCEPT FOR ITEMS SPECIFICALLY NOTED.

6. UNENFORCEABLE WORK

SHOULD ANY PORTION OF THE CONTRACT DOCUMENTS PROVE TO BE, FOR WHATEVER REASONS, UNENFORCEABLE, SUCH UNENFORCEBILITY WILL NOT EXTEND TO THE REMAINDER OF THE CONTRACT NOR WILL IT VOID ANY OTHER PROVISIONS OF THE CONTRACT. THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF ANY UNENFORCAEABLE CONDITIONS WITHIN 5 BUSINESS DAYS OF ITS DISCOVERY.

THROUGHOUT THE DURATION OF THE PROJECT, THE CONTRACTOR WILL REFRAIN FROM ACTIONS THAT COULD LEAD TO THE FILING OF CLAIMS OF LIEN BY SUBCONTRACTORS, SUPPLIERS OF MATERIALS, LABOR, SERVICE, EQUIPMENT, OR ANY OTHER INDIVIDUAL OR COMPANY SO ENTITLED UNDER GOVERNING LAWS AND REGULATIONS LINEESS REASONABLE AND JUSTIFIABLE CAUSE CAN BE SHOWN APPROVAL FOR PAYMENT WILL BE CONTINGENT LIPON THE CONTRACTOR'S OBTAINING AND FURNISHING TO THE ARCHITECT SIGNED RELEASES FROM SUCH INDIVIDUALS OR COMPANIES. SHOULD A LEIN BE REGISTERED IN ACCORDANCE WITH THE LAWS OF THE PLACE OF WORK, IT WILL BE THE GENERAL CONTRACTORS RESPONSIBLITY, WITHOUT COST TO THE OWNER, TO REMOVE THE LIEN IS SUCH A FASHION THAT THE WORK CAN PROCEED AND LIMIT ANY IMPACT TO THE DELIVERY SCHEDULE.

THE CONTRACTOR IS RESPONSIBLE FOR REVIEW AND VERIFICATION OF CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR WILL SUBMIT THEM IN WRITING TO THE ARCHITECT AND IS RESPONSIBLE FOR OBTAINING A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WORK IN QUESTION, OR RELATED WORK.

9. WORK SHOULD COMPLY APPLICABLE CODES

THE GENERAL CONTRACTOR IS TO EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE LOCAL PROVINCIAL, AND FEDERAL CODES, MANUFACTURER'S RECOMMENDATIONS, AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO: OBC, NBC, ULC (LATEST ENFORCED EDITIONS). IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE REASONABLE, TIMELY AND SUITABLE RESOLUTION TO ANY ISSUES NOTED BY ANY AUTHORITY HAVING

DETERMINE EQUALITY BASED UPON INFORMATION SUBMITTED BY THE CONTRACTOR.

DO NOT SCALE DRAWINGS; DIMENSIONS WILL GOVERN. DETAILS WILL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DETAILS WILL GOVERN OVER SMALL

SCALE DETAILS. WRITTEN SPECIFICATIONS TO WORK IN CONJUNCTION WITH DRAWINGS.

JURISDICTION

CLARIFY ALL DISCREPANCIES RELATIVE TO CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND FIELD CONDITIONS PRIOR TO SUBMITING BIDS AND COMMENCING WORK.

THERE WILL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED, THE ARCHITECT ALONE WILL

THE CONTRACTOR WILL BE RESPONSIBLE FOR PRINTING AND THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER THEIR JURISDICTION.

DO NOT PROCEED WITH ANY WORK REQUIRING A CHANGE TO THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. FAILURE TO OBTAIN AUTHORIZATION WILL INVALIDATE ANY CLAM FOR EXTRA COMPENSATION.

ALL INSTALLED PLUMBING, MECHANICAL AND ELECTRICAL EQUIPMENT WILL OPERATE QUIETLY AND FREE OF VIBRATION. ITEMS FOUND TO OPERATE OUTSIDE OF THIS REQUIREMENT WILL BE FIXED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.

UPON COMPLETION OF THE WORK BY THE CONTRACTOR, THE CONTRACTOR WILL NOTIFY THE ARCHITECT IN WRITING OF SUCH COMPLETION. THE ARCHITECT WILL PREPARE A PUNCH-LIST OF CORRECTIONS, UNSATISFACTORY, NON-COMPLIANT, AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE UNDER THE TERMS OF THE OWNER/CONTRACTOR AGREEMENT.

ALL MATERIALS WILL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. MANUFACTURED MATERIALS AND EQUIPMENT WILL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS, U.O.N.

18 INSURANCE

THE CONTRACTOR AND SUBCONTRACTORS WILL PURCHASE, PROVIDE PROOF OF, AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY, AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW, IN ADDITION TO THE TERMS OF THE OWNER'S CONTRACT. WHICHEVER IS GREATER. THE CONTRACTOR WILL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS IN CONNECTION WITH

THE WORK.

VERIFY IN THE FIELD THAT NO CONFLICTS EXIST WHICH WOULD PROHIBIT THE LOCATION OF ANY AND ALL MECHANICAL. TELEPHONE, ELECTRICAL, LIGHTING AND PLUMBING (TO INCLUDE ALL REQUIRED PIPING, DUCTWORK, AND CONDUIT), ENSURE THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF

20. PROTECTION OF WORK PROVIDE PROTECTION TO ALL EXISTING AND COMPLETE FINISHES IN ALL SPACES WITHIN OR ADJACENT TO THE SCOPE OF WORK, THE CONTRACTOR WILL PATCH.

REFINISH, AND REPAIR ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. MATCH EXISTING ADJACENT FINISH, OR AS NOTED HEREIN.

CORRECT ANY DEFECTS FOUND IN EXISTING BUILDING CONSTRUCTION WHICH AFFECTS THE SCOPE OF WORK. THIS INCLUDE BUT IS NOT LIMITED TO UNEVEN SURFACES

AND FINISHES AT GYPSUM BOARD OR DAMAGED FIREPROOFING. PATCH AND REPAIR SURFACES TO MATCH ADJACENT, ADJOINING SURFACES.

22. TERMINOLOGY

COMMONLY UNDERSTOOD CONSTRUCTION TERMINOLOGY IS USED THROUGHOUT THE CONTRACT DOCUMENTS. ACCEPTANCE OF THIS CONTRACT REPRESENTS AN UNDERSTANDING OF THE TERMS AND THERE WILL BE NO GROUND FOR NEGOTIATION OF ADDITIONAL COST SOLELY BASED ON TERMINOLOGY.

FURNITURE SHOWN IS FOR REFERENCE ONLY AND INSTALLED BY OTHERS, U.O.N.

PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM MIGRATING FROM CONSTRUCTION AREA.

CONTRACTOR WILL THOROUGHLY EXAMINE AND BECOME FIMILIAR WITH THE PREMISES AND WILL BASE THEIR BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT INDICATED ON THE CONTRACT DOCUMENTS.

ALL CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS CALLED FOR BY ANY WILL BE AS BINDING AS IF CALLED FOR BY ALL. ALL WORK SHOWN OR

REFERRED TO ON ANY CONTRACT DOCUMENT WILL BE PROVIDED AS THOUGH THEY ARE ON ALL RELATED DOCUMENTS.

27. CONTRACTOR RESPONSIBILITY TO ARCHITECT

IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY CONFLICTS HEREIN - EITHER APPARENT OR OBVIOUS - PRIOR TO THE START OF NEW WORK ON THAT ITEM, OR BEAR THE RESPONSIBILITY OF CORRECTING SUCH WORK AS DIRECTED BY THE ARCHITECT.

28. DUPLICATION OF DOCUMENTS

ALL DRAWINGS AND WRITTEN MATERIAL HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/OWNER AND THE SAME MAY NOT BE DUPLICATE, USED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT/OWNER.

GENERAL NOTES B:

1. THE GENERAL CONTRACTOR FOR THIS ALTERATION, HAS READ, AND IS FAMILIAR AND WILL ABIDE BY THE BUILDING RULES & REGULATIONS & HOUSE RULES.

2. REMOVE EXISTING DOORS, FRAMES, TRIM AND HARDWARE AS INDICATED. RETAIN ALL DOORS FOR RE-USE U.O.N

4. EXISTING ELECTRICAL PANELS, CONDUITS, ETC., AND PARTITIONS SUPPORTING THEM TO REMAIN. PROTECT AND/OR SUPPORT AS REQUIRED DURING DEMOLITION AND

5. PATCH AND REPAIR THROUGHOUT ALL EXISTING COLUMNS, WALLS TO REMAIN. PREPARE SURFACE FOR PAINTING AS REQUIRED. INCLUDE ANY SCARPATCHING, TYP.

6. GC. TO COORDINATE WALK THRU WITH ARCHITECT PRIOR TO COMMENCMENT OF WORK TO REVIEW SCOPE OF WORK.

7. GC TO PROVIDE AND LEGALLY DISPOSE OF ALL ITEMS NOT REMAINING ON SITE. COMPLY WITH ALL BUILDING CODE RULES AND REGULATIONS.

1. ALL PARTITIONS TO BE TO BE CONSTRUCTED AS NOTED.

2. PARTITIONS DIMENSIONED TO FINISH FACE U.O.N.

3. USE CEMENT BOARD OR APPROVED EQUAL AT ALL WET LOCATIONS.

4. USE CEMENTITIOUS BACKER BOARD ('DUROCK') OR EQUAL AT PARTITIONS SCHEDULED TO RECEIVE CERAMIC TILE (U.O.N.). REFER TO PLANS FOR ADDITIONAL

5. GC TO PATCH AND REPAIR ALL EXISTING DRYWALL AS REQUIRED INCLUDING DAMAGE DUE TO THE REMOVAL OF AND/OR NEW ELECTRICAL DEVICES. FINAL DRYWALL INSTALLATION TO ACHIEVE SMOOTH FINISH AND TO RECEIVE PAINT THROUGHOUT.

6. PROTECT ALL EXISTING TO REMAIN. REPAIR ALL ITEMS/ WALLS AFTER DEMOLITION AS REQUIRED TO PREPARE FOR NEW.

GENERAL NOTES D:

1. CONTRACTOR TO ABIDE BY REGULATIONS OUTLINED BY THE OBC AND SB-12.

2. ALL APPLICABLE CODES, LAWS, AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK, ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS.

3. CONTRACTOR WILL VISIT AND INSPECT THE JOB SITE TO BECOME FULLY KNOWLEDGEABLE OF EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. CONTRACTOR WILL COORDINATE WITH THE SITE VISIT WITH OWNER ANY QUESTION HE MAY HAVE PERTAINING TO BUILDING STADARDS AND EXISTING CONDITIONS THAT PROHIBIT THE PROPER INSTALLATION OF HIS WORK AS PER PLAN AND SPECIFICATION.

4. CONTRACTOR RESPONSIBLE FOR COORDINATING AND SECURING ALL REQUIRED AHJ INSPECTIONS.

5. BY SUBMISSION OF THE BID IT IS UNDERSTOOD THAT SUCH INSPECTION HAS BEEN MADE AND INCLUDES ALL THE MATERIAL & REQUIRED RELOCATION FOR ALL

6. THIS CONTRACTOR IS RESPONSIBLE FOR FIELD CONDITIONS AND FIELD COORDINATION WITH ALL OTHER TRADES.

7. ALL WALLS + CEILINGS P1 FINISH UNLESS OTHERWISE NOTED

8. WOOD FLOORING SAMPLE, BASEBOARDS/MATERIALS AND STAIN PROVIDED BY OWNER PRIOR TO INSTALLATION. BASEBOARD AND TRIM TO MATCH EXISTING. SELECTED BY OWNER INSTALLED BY CONTRACTOR.

9. TILE SAMPLES PROVIDED BY OWNER PRIOR TO INSTALLATION. GROUT + TRIM TO BE SUPPLIED AND INSTALLED BY CONTRACTOR. COLORS TO CONFIRMED BY OWNER

10. ALIGN NEW TILE FLOOR WITH ADJASCENT FLOOR FINISH. PROVIDE ARCHITECT APPROVED TRANSITION STRIP BETWEEN DISIMILAR FINISHES

11. INSTALL SIDING, ROOFING AND FLASHING AS RECOMMENDED BY MANUFACTURER

HAZARDOUS MATERIALS:

1. OWNER ACKNOWLEDGES THAT THE ARCHITECTS WILL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, REMOVAL, PRESENCE HANDLING, DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS SUBSTANCES, MATERIALS, WASTES IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO ASBESTOS, ASBESTOS PRODUCTS, PCB OR OTHER TOXIC SUBSTANCE, REPAIR WORK.

2. OWNER ACKNOWLEDGES THAT IT ACCEPTS RESPONSIBILITY FOR NOTIFYING THE APPROPRIATE GOVERNING AGENCIES FOR ANY DEMOLITON, CONSTRUCTION OR ANY QUESTIONS THAT RISES RELATED TO ASBESTOS WILL BE REFERRED TO THE OWNER FOR RESOLUTION. THE ARCHITECT WILL NOT BE REQUIRED TO DO ANY WORK NOR RENDER ANY OPINION RELATED TO ASBESTOS.

3. THE OWNER WILL RETAIN AN INDEPENDENT CONSULTANT WHO IS TRAINED AND EXPERIENCED IN IDENTIFICATION AND SURVEY OF EXISTING SITES PRIOR TO START OF DEMOLITION AND / OR CONSTRUCTION. IF REQUIRED

4. ALL CONTRACTORS AND SUBCONTRACTORS WILL REPORT THE PRESENCE OF ANY MATERIAL OR ASSEMBLY SUSPECTED TO CONTAIN ASBESTOS UPON DISCOVERY. THE WORK WILL BE CARRIED OUT PER THE ENGINEERING CONSULTANT RECOMMENDATIONS.

CONSTRUCTION NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION WILL CONFORM TO THE ONATRIO BUILDING CODE, AND LAWS GOVERNING THE PLACE OF WORK. CONTRACTOR TO OBTAIN CERTIFICATE OF OCCUPANCY. AND PROOF OF RELEASE OF LIENS PRIOR TO FINAL PAYMENT. SUBSTITUTIONS WILL NOT BE MADE WITHOUT THE CONSENT OF THE ARCHITECT. THE CONTRACT FOR CONSTRUCTION AND THE GENERAL CONDITIONS WILL BE SET FORTH IN THE AGREEMENT BETWEEN OWNER AND CONTRACTOR. THE GENERAL CONTRACTOR WILL REVIEW ALL DRAWINGS AND SITE CONDITIONS, AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH CONSTRUCTION. THE GENERAL CONTRACTOR WILL BE FAMILIAR WITH ALL APPLICABLE CODES AND BE RESPONSIBLE FOR SAFETY DURING CONSTRUCTION. THE GENERAL CONTRACTOR WILL CARRY BUILDERS' RISK INSURANCE FOR 100% OF THE VALUE OF THE WORK IN PLACE AS WELL AS WORKMAN'S COMPENSATION INSURANCE AND CURRENT WSIB.

2. AS REQUIRED BY LAW. THE GENERAL CONTRACTOR WILL FULLY GUARANTEE ALL WORK FOR A PERIOD OF ONE (1) YEAR AS REQUIRED BY LAW. AT THE COMPLETION OF WORK, THE GENERAL CONTRACTOR WILL REMOVE ALL WASTE MATERIALS, CLEAN ALL NEW GLASS, TILE, FLOORS, PLUMBING FIXTURES AND ANY NEW WORK AS REQUIRED. THE CONTRACTOR WILL INDEMNIFY AND HOLD HARMLESS THE OWNER. THE ARCHITECT, THEIR AGENTS, AND THEIR EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES. LOSSES, AND EXPENSES - INCLUDING ATTORNEY'S FEES ARISING OUT OF R RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED THAT ANY SUCH CLAIM, DAMAGE,

(A) IS ATTRIBUTED TO BODILY INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THEREFROM, AND (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, ANY SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM OR ANYONE FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY

INDEMNIFIED HEREUNDER.

SPECIFICATIONS:

1. RESERVED 2. FRAMING AND ROUGH CARPENTRY:

CONCEALED SPACES WITHIN WALL, PARTITION, FLOOR, STAIR, PIPE AND DUCT OPENINGS IN SUCH CONSTRUCTION WILL BE FIRESTOPPED TO PREVENT PASSAGE OF FLAME, SMOKE, FUME, AND HOT GASES. BLOCK BETWEEN JOISTS AT BEARING SURFACES AND UNSUPPORTED EDGES OF PLYWOOD. DOUBLE FRAMING STUDS TO BE SPRUCE-PINE-FIR EXTREME FIBER STRESS NOT LESS THAN 850 PSI. WHERE FLUSH FRAMING OCCURS USE GALVANIZED TECO HANGERS FOR STUDS - CORNERS TO BE MIN. (3) 2X4'S NAILED 16D @ 24" O.C.. PROVIDE SOLID BRIDGING FOR JOISTS @ 8'-0" O.C. MIN.. BEARING FOR

ALL JOISTS, HEADERS AND INTERIOR STUDS TO BE 2X4" U.O.N.

SPRAY FOAM INSULATE AROUND ALL EXTERIOR WALL PENETRATIONS. PROVIDE 4LB SPRAY FOAM INSULATION OR OWNER APPROVED

4 PAINTING.

5. GYPSUM BOARD

PAINT ALL INTERIOR GYPSUM BOARD AND WOOD SURFACES. CORRECT ALL MINOR SURFACE DEFECTS AS REQUIRED. OWNER TO MAKE ALL COLOR SELECTIONS. IT IS IN THE INTENT OF THESE SPECIFCATIONS TO REQUIRE COMPLETE FINISHING ON ALL SURFACES. THE FOLLOWING IS LIST INCLUDED - FRAME, TRIM, AND BASE MOLDINGS. ONE (1) COAT PRIMER - TWO(2) COATS SEMI-GLOSS LATEX.

APPLICATION WILL BE TAPE JOINT SYSTEM. FINISH JOINT, NAIL DIMPLES, CORNERS AND EDGES WILL RECEIVE THREE (3) COATS CEMENT

TAPE. ALLOW 24 HOURS TO DRY BETWEEN ALL JOINTS BEING CONCEALED. PROVIDE METAL CORNER BEAD AT CORNERS AND AROUND ALL OPENINGS

FIRE SAFETY:

1. ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKABLE AREA. ACCESS TO ALL AREAS TO BE CONTROLLED BY THE OWNER AND/OR GENERAL CONTRACTOR.

2. STORE ALL MATERIALS IN AN ORDERLY FASHION.

3. ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURED CONTAINERS. ALL SUCH MAIERLALS ARE TO BE KEPT AWAY FROM HEAT.

4. ALL FLAMMABLE MATERIALS TO BE USED & STORED IN ADEQUATELY VENTILATED SPACES.

5. ALL ELECTRICAL POWER TO BE SHUT OFF WHERE THERE IS EXPOSED CONDUIT.

6. GENERAL CONTRACTOR TO ENSURE THERE IS NO LEAKAGE OF NATURAL GAS IN BUILDING OR ANY FLAMMABLE GAS USED IN

7. PROVIDE FIRE STOPPING AT ALL PENETRATIONS IN FIRE RATED ASSEMBLIES

8. PROVDE FIRE DAMPERS FOR ALL SHARED HVAC DUCTING

MECHANICAL:

1. EXISTING FURNACE TO REMAIN. CONSTRUCTION OF BULKHEADS TO BE INCLUDED IN BID PRICE. PROVIDE DUCT WORK, REISTER & RETURNS AS REQUIRED. ENSURE ALL NEW MECHANICAL EQUIPMENT IS OPERATING AND COMISSIONED TO MANUFACTURER'S

2. RECONNECT EXISTING MECHANICAL EQUIPMENT AND ENSURE FUNCTIONALITY

1. ALL WORK WILL COMPLY WITH THE ESA STANDARDS. VERIFY SERVICE REQUIRED PRIOR TO CONSTRUCTION. CONVENIENCE OUTLETS WILL BE 16" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. SWITCHES AND COUNTERTOP RECEPTACLES WILL BE 44" ABOVE

2. GC. TO COORDINATE ANY DEMOLITION OF ELECTRICAL SCOPE OF WORK WITH OWNER. ALL ELECTRICL WORK TO BE CERTIFIED BY ESA.

3. GC WILL REVIEW SWITCHING AND FINAL LIGHTING LOCATIONS WITH OWNER. REPLACE ALL EXISTING RECEPTACLES AND SWITCHES

4. G.C. TO ENSURE THAT ALL REMAINING EXISTING ELECTRICAL OUTLETS CIRCUITS ARE IN WORKING CONDITION & WIRING IS UP TO CODE. 5. U.O.N. MOUNTING HEIGHT OF ALL OUTLETS WILL BE 18" A.F.F. TO CENTERLINE OF FINISH PLATE. G.C. TO VERIFY EXISTING OUTLET REQUIREMENTS W/ OWNER.

6. COORDINATE CABLE TV CONNECTION WITH OWNER. ADD ANY ADDITIONAL WIRING REQUIRED FOR FINAL CONNECTIONS.

7. ALL EXISTING ELECTRICAL RECEPTACLES AND SWITCHES WILL BE CHANGED BY CERTIFIED ELECTRICIAN TO BE NEW. ALL EXISTING

8. GC WILL COORDINATE FINAL SWITCH LOCATIONS AND CONTROLS WITH OWNER

9. LIGHT FIXTURES SUPPLIED BY OWNER INSTALLED BY CONTRACTOR

10. TV & APPLIANCES BY OWNER.

TO OBC STANDARDS.

PLUMBING:

1. PLUMBING CONTRACTOR WILL MAKE ALL FINAL CONNECTIONS TO ALL PLUMBING EQUIPMENT.

2. PLUMBING CONTRACTOR WILL MAKE ALL REMOVALS & FINAL CONNECTIONS TO ALL PLUMBING EQUIPMENT FOR NEW BATHROOMS. RECONNECT APPLIANCES AS SHOWN.

3. PLUMBING CONTRACTOR WILL BE RESPONSIBLE FOR THE FILING AND APPROVAL FROM THE BUILDING DEPARTMENT.

4. ALL WATER LINES MUST BE PRESSURE TESTED TO ENSURE THAT THEY HOLD BEFORE THE WALLS ARE CLOSED UP 5. ALL PLUMBING PIPING, VALVES, INSULATION, AND INSTALLATION METHODS AND REQUIREMENTS: CONTRACTOR TO STRICTLY ADHERE

6. ALL PIPING ARE SHOWN DIAGRAMMATICALLY AND DO NOT SHOW ALL OFFSETS, DROPS AND RISES OF RUNS. THE CONTRACTOR WILL ALLOW IN HIS BID FOR ROUTING OF PIPING TO AVOID OBSTRUCTIONS. EXACT LOCATIONS SUBJECT TO APPROVAL.

7. BATHROOM SINK, VANITY, MIRROR, TUBE, SHOWER, SHOWER ROD, TOILET, TOILET PAPER HOLDER, TOWEL RACK SUPPLIED BY OWNER INSTALLER BY CONTRACTOR PROVIDE SOLID WOOD BLOCKING IN WALL AS REQUIRED.

8. RE- INSTALL EXISTING WATER HEATER.

STRUCTURAL NOTES:

1.STRUCTURAL METAL

1. CONFORM TO CSA STANDARD CAN/CSA S16 LIMIT STATES DESIGN OF STEEL STRUCTURES.

2. NO CUTTING OR CHANNELING OF BUILDING STRUCTURE IS PERMITTED. (S)

3. CONFORM TO CSA STANDARD W55.3, RESISTANCE WELDING QUALIFICATIONS CODE FOR FABRICATORS OF STRUCTURAL MEMBERS USED IN BUILDINGS.

4. CONFORM TO CSA STANDARD W59, WELDED STEEL CONSTRUCTION (METAL ARC WELDING).

5. WELDING ELECTRODES - CSA STANDARD W48, FILLER METALS AND ALLIED MATERIALS FOR METAL ARC WELDING. 6. STRUCTURAL STEEL - CSA STANDARD G40.20/G40.21, GENERAL REQUIREMENTS FOR ROLLED OR WELDED STRUCTURAL QUALITY STEEL/STRUCTURAL QUALITY STEELS. GRADE 350W FOR GENERAL PURPOSE STRUCTURAL STEEL SHAPES, 300W FOR ANGLES, CHANNELS, RODS AND PLATES. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CSA STANDARD G40.20 GRADE 350W, HOT FORM WELDED OR HOLLOW STRUCTURAL SECTION, CLASS H.

7. HIGH STRENGTH BOLTS, NUTS AND WASHERS A.S.T.M. STANDARD A325, STANDARD SPECIFICATION FOR STRUCTURAL BOLTS, STEEL, HEAT TREATED 120/105 ksi MINIMUM TENSILE STRENGTH OR A325M, STANDARD SPECIFICATION FOR HIGH STRENGTH BOLTS FOR

STRUCTURAL STEEL JOINTS (METRIC). 8. ANCHOR RODS - A.S.T.M. F1554 GRADE 36

A) STRUCTURAL STEEL NOT EXPOSED: CAN/CGSB-1.40 OR CISC/CPMA 1-73a OVER NOMINAL CLEANING. SSPC SPECIFICATION SP2 AND SP3. B) STRUCTURAL STEEL INTERIOR EXPOSURE: TO RECEIVE A TOP COATING - CISC/CPMA 1-73a OVER BRUSH OFF BLAST CLEANING AS PER SSPC SPECIFICATION SP7/NACE No. 4. C) STRUCTURAL STEEL EXTERIOR EXPOSURE: CISC/CPMA OVER COMMERCIAL BLAST CLEANING AS PER SSPC SPECIFICATION SP6/NACE

D) STRUCTURAL STEEL TO RECEIVE SPRAY FIRE PROOFING - NO PAINT. E) REGIONS OF STEEL TO RECEIVE FIELD WELDING INCLUDING SHEAR STUD TO TOP FLANGE - NO PAINT.

F) HOT DIPPED GALVANIZED AS PER CAN/CSA-G164 HOT DIP GALVANIZING OF IRREGULARLY SHAPED ARTICLES. WOOD CONSTRUCTION NOTES

1. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS.

2. ALL WOOD FRAMING TO BE No.2 S.P.F. SURFACE DRY AT 19% MOISTURE CONTENT U.N.O.

3. ALL LINTELS #1 OR #2 GRADE U.O.N

4. WOOD JOISTS, BRIDGING AND BRACING DESIGN SHALL CONFORM TO CAN/CSA 086.1. FOR ENGINEERING DESIGN IN WOOD - LIMIT STATES

5. SAWN LUMBER SHALL CONFORM TO CAN/CSA 086.1 AND SHALL IDENTIFY LUMBER BY OFFICIAL GRADE MARKS. 6. JOIST AND ENGINEERED LUMBER SHOP DRAWINGS SHALL BE SINGLE SOURCE AND SHALL BE SIGNED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER RESPONSIBLE FOR DESIGN AND LICENSED TO PRACTICE IN ONTARIO.

7. SUBMIT DESIGN BRIEFS AND SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THE JOISTS. 8. HOIST JOISTS INTO POSITION IN ACCORDANCE WITH DESIGN DRAWINGS.

IS INSTALLED. 10. INSTALL PERMANENT BRACING AND RELATED COMPONENTS PRIOR TO APPLICATION OF LOADS TO JOISTS.

11. DO NOT CUT OR REMOVE ANY JOIST MEMBER UNLESS OTHERWISE STATED. 12. FASTENINGS SHALL CONFORM TO ONTARIO BUILDING CODE 2014 . ALL NAILS TO BE COMMON WIRE WITH A 3.25mm MINIMUM DIAMETER.

9. PROVIDE TEMPORARY HORIZONTAL AND CROSS BRACINGS TO HOLD JOIST PLUMB AND IN SAFE CONDITION UNTIL PERMANENT BRACING

13. NAILS SHALL BE ZINC COATED CONFORMING TO CSA B111. 14. BUILT UP WOOD POSTS, LINTELS AND BEAMS SHALL BE FASTENED TOGETHER WITH NAILS SPACED NOT MORE THAN 300 O/C OR 10mm DIAMETER BOLTS FITTED WITH WASHERS AND SPACED NOT MORE THAN 450 O/C.

15. ALL MANUFACTURED ITEMS FOR ROOF FRAMING SUCH AS TJI, MICROLAMS, PARALLAMS, INCLUDING HANGERS, NAILS FOR HANGERS, BRACKET CONNECTORS FOR COLUMN CAPS & BASES INCLUDING BOLTS, FOR THE ROOF FRAMING SYSTEM ARE TO BE SINGLE SOURCED.

1. ALL CONCRETE IS TO BE 3,600 PSI AT 28 DAYS, U.O.N BY ENGINEER.

Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.

DESIGN & SYSTEMS









No.	Description	Date
1	ISSUED FOR PRE-DESIGN MEETING	2022.10.19

GENERAL NOTES

THE NUKK

652 FLAGSTAFF DRIVE

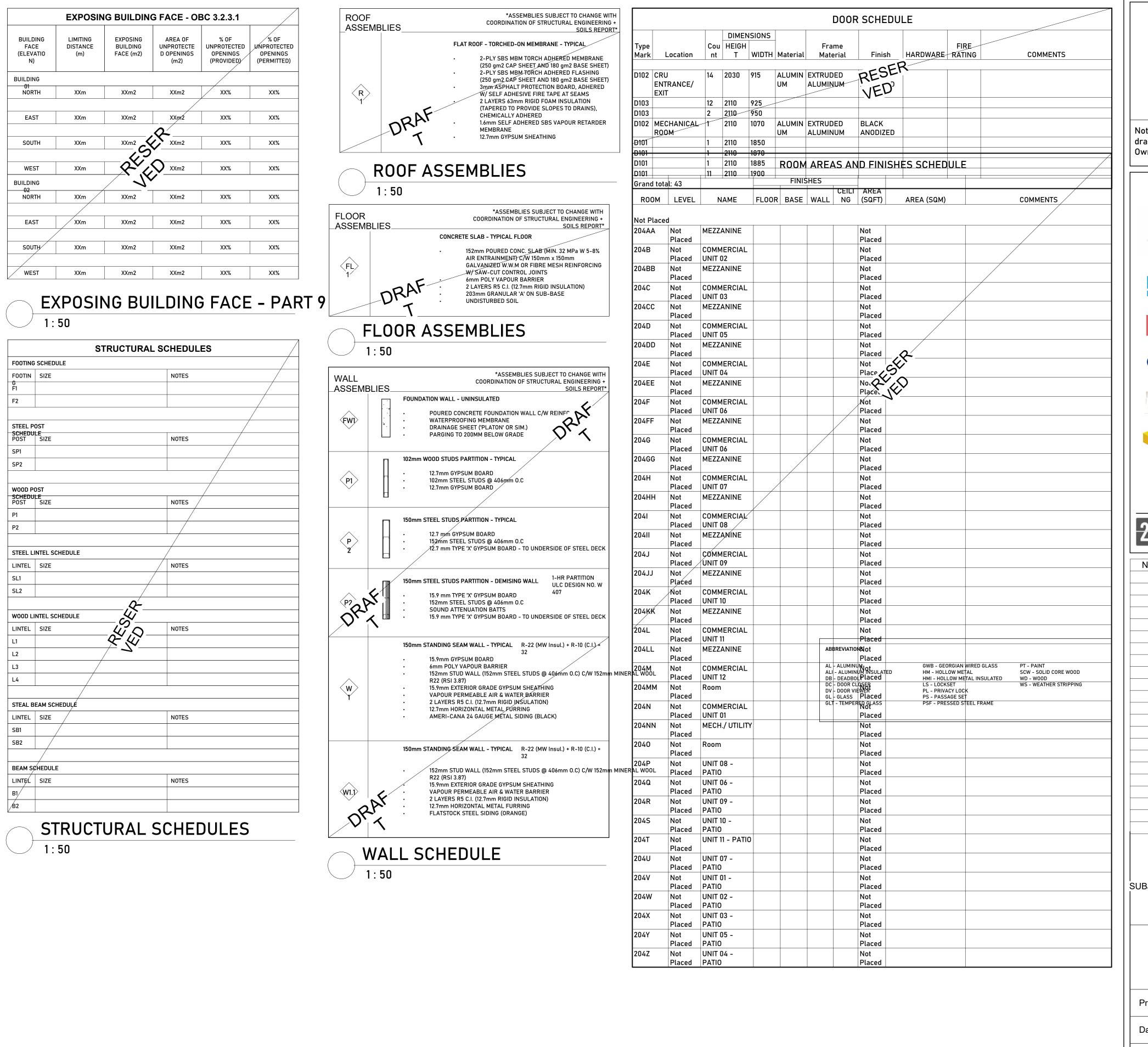
BLOCK 66, PLAN 4M1705

SUBJECT TO AN EASEMENT AS IN OC2553461

CITY OF OTTAWA, ON.

Project number	22021
Date	2024.02.06
Drawn by	XXX
Checked by	XXX

Scale



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.



2 5 6 ARCHITECTURE URBAN DESIGN

No.	Description	Date

THE NUKK

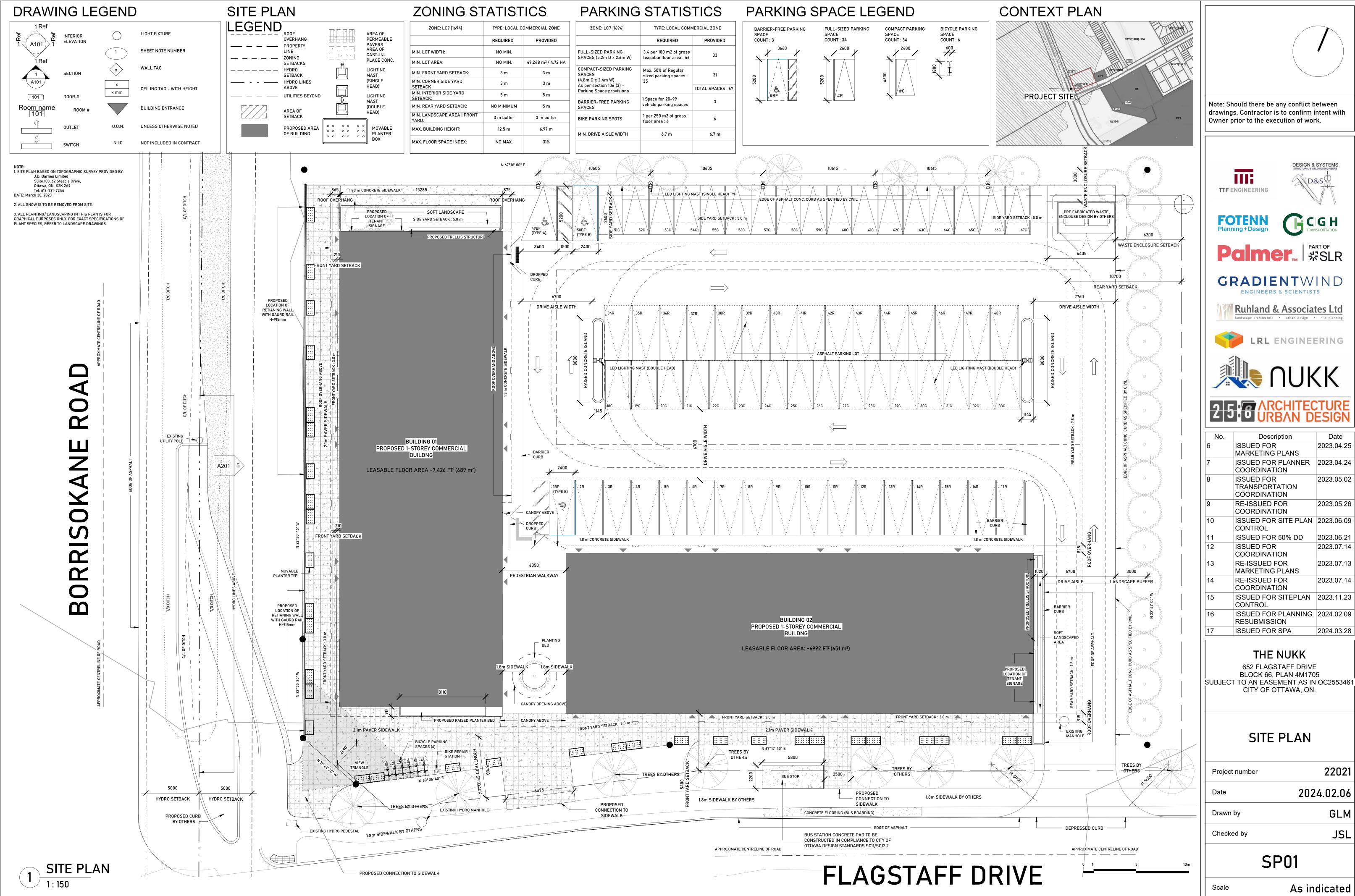
652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

LEGENDS & SCHEDULES

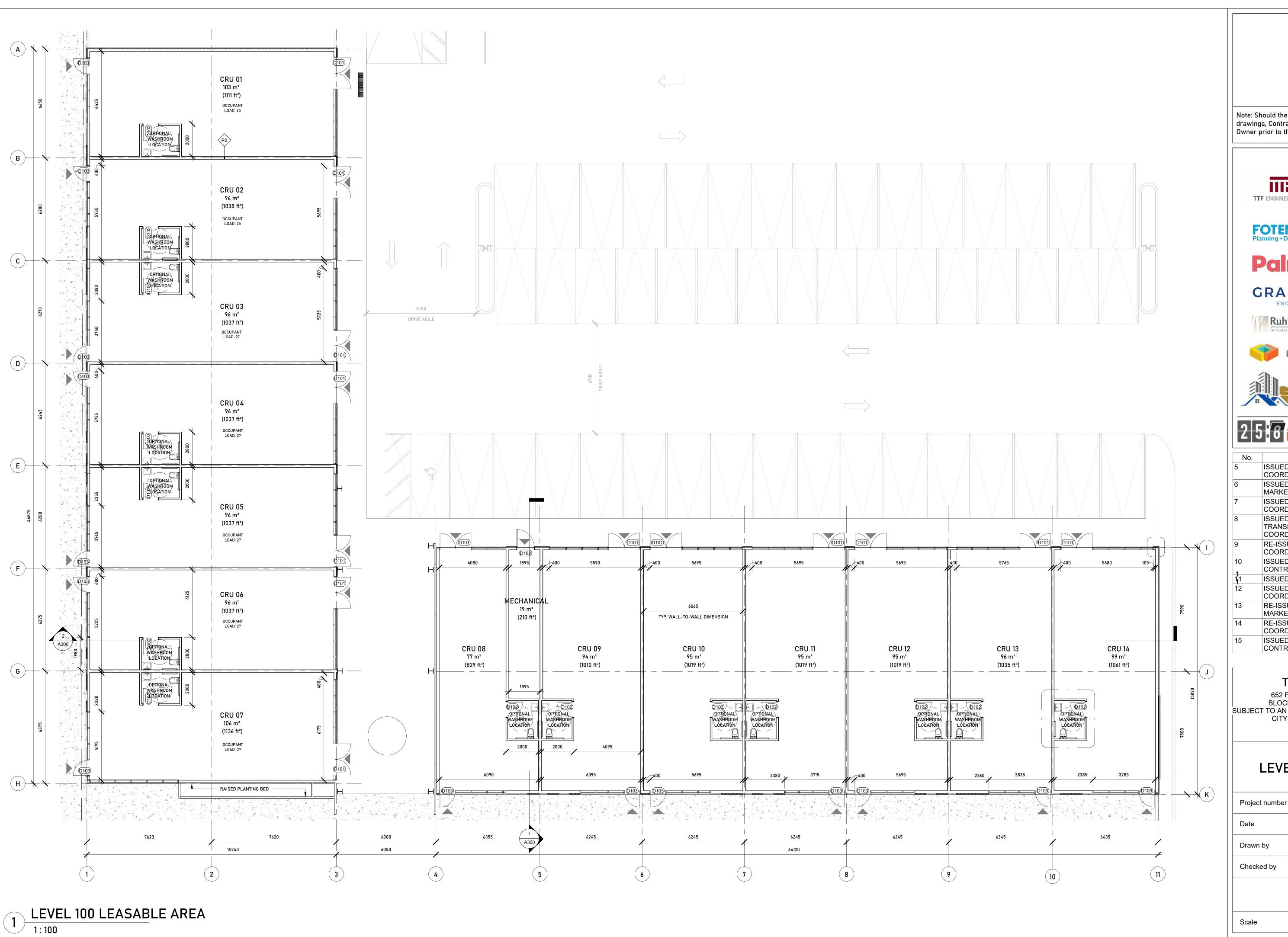
Project number	22021
Date	2024.02.06
Drawn by	SB
Checked by	JSL

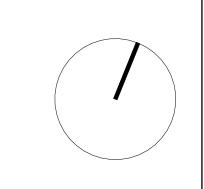
A002

Scale 1:50



$\downarrow \downarrow \downarrow$	Project number	22021
_	Date	2024.02.06
_	Drawn by	GLM
	Checked by	JSL
	C	001





Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.















No.	Description	Date
5	ISSUED FOR CIVIL COORDINATION	2023.04.05
6	ISSUED FOR MARKETING PLANS	2023.04.25
7	ISSUED FOR PLANNER COORDINATION	2023.04.24
8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
9	RE-ISSUED FOR COORDINATION	2023.05.26
10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
1 1/1	ISSUED FOR 50% DD	2023.06.21
12	ISSUED FOR COORDINATION	2023.07.14
13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23

THE NUKK

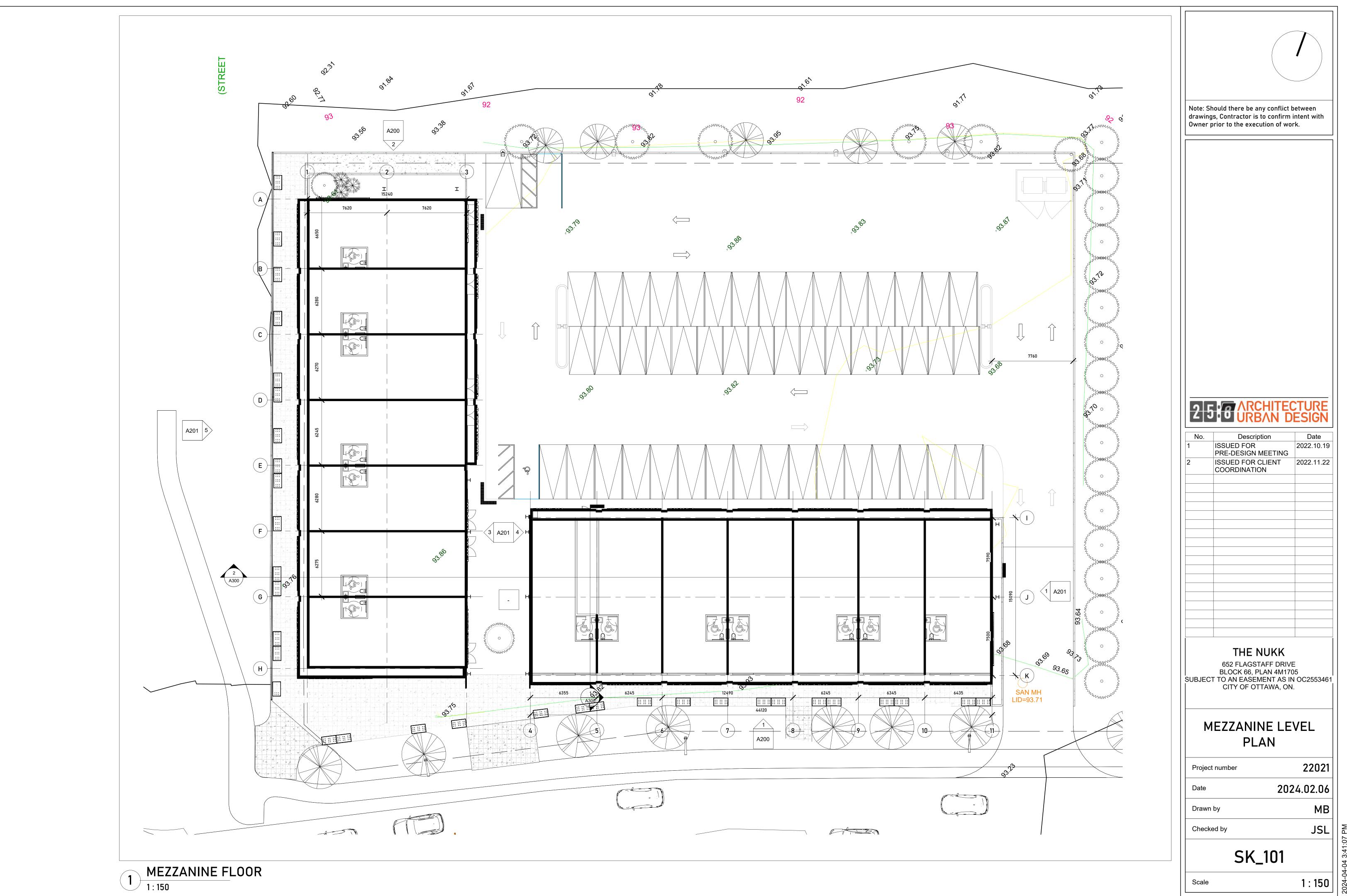
652 FLAGSTAFF DRIVE
BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

LEVEL 100 PLAN

Project number	22021
Date	2024.02.06
Drawn by	МВ
Checked by	JSL

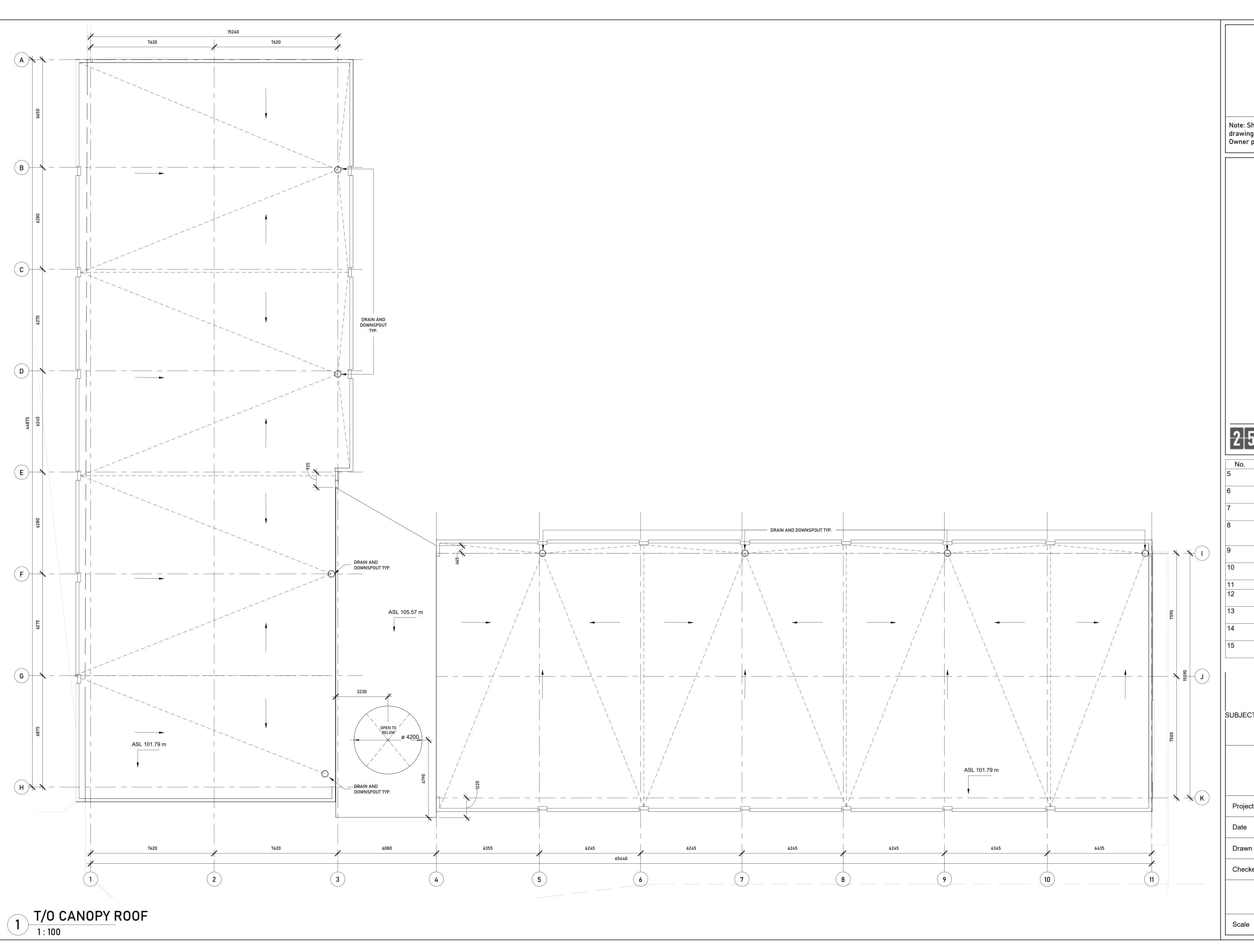
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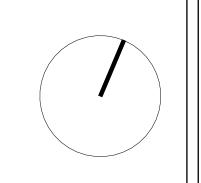
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No.	Description	Date
1	ISSUED FOR PRE-DESIGN MEETING	2022.10.19
2	ISSUED FOR CLIENT COORDINATION	2022.11.22

Date	2024.02.06
Drawn by	МВ
Checked by	JSL





Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.

2 5 6 ARCHITECTURE URBAN DESIGN

No.	Description	Date
5	ISSUED FOR CIVIL COORDINATION	2023.04.05
6	ISSUED FOR MARKETING PLANS	2023.04.25
7	ISSUED FOR PLANNER COORDINATION	2023.04.24
8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
9	RE-ISSUED FOR COORDINATION	2023.05.26
10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
11	ISSUED FOR 50% DD	2023.06.21
12	ISSUED FOR COORDINATION	2023.07.14
13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
14	RE-ISSUED FOR COORDINATION	2023.07.14
15	ISSUED FOR SITEPLAN CONTROL	2023.11.23

THE NUKK

652 FLAGSTAFF DRIVE BLOCK 66, PLAN 4M1705 SUBJECT TO AN EASEMENT AS IN OC2553461 CITY OF OTTAWA, ON.

ROOF PLAN

Project number	22021
Date	2024.02.06
Drawn by	МВ
Checked by	JSL

A101

1 : 100



Note: Should there be any conflict between drawings, Contractor is to confirm intent with Owner prior to the execution of work.

> DESIGN & SYSTEMS STRUCTURAL & WELDING ENGINEERS D&S

Ruhland & Associates Ltd





	No.	Description	Date
:HT	5	ISSUED FOR CIVIL COORDINATION	2023.04.05
	6	ISSUED FOR MARKETING PLANS	2023.04.25
	7	ISSUED FOR PLANNER COORDINATION	2023.04.24
	8	ISSUED FOR TRANSPORTATION COORDINATION	2023.05.02
	9	RE-ISSUED FOR COORDINATION	2023.05.26
	10	ISSUED FOR SITE PLAN CONTROL	2023.06.09
	11	ISSUED FOR 50% DD	2023.06.21
	12	ISSUED FOR COORDINATION	2023.07.14
	13	RE-ISSUED FOR MARKETING PLANS	2023.07.13
	14	RE-ISSUED FOR COORDINATION	2023.07.14
	15	ISSUED FOR SITEPLAN CONTROL	2023.11.23

BLOCK 66, PLAN 4M1705
SUBJECT TO AN EASEMENT AS IN OC2553461
CITY OF OTTAWA, ON.

	Project number	22021	
	Date	2024.02.06	
00	Drawn by	МВ	
	Checked by	JSL	

Scale

As indicated



<u>LEGEND</u>

HORIZONTAL METAL SIDING - CHARCOAL

2 FLATSTOCK METAL SIDING - CHARCOAL

3 FLATSTOCK METAL SIDING - ORANGE

4 EXTERIOR GLAZING - BLACK, ANODIZED

FIBRE CEMENT PANELS - ORANGE

ELEVATION - WEST

5 LED BACKLIT SIGNAGE

7 CONC. BLOCK SKIRTING

22021 2024.02.06 MB Drawn by JSL Checked by A201

Date

Scale

T/O FLOOR LEVEL 100 ASL 94.18 m

AVG. GRADE ASL 93.67 m

4

As indicated

