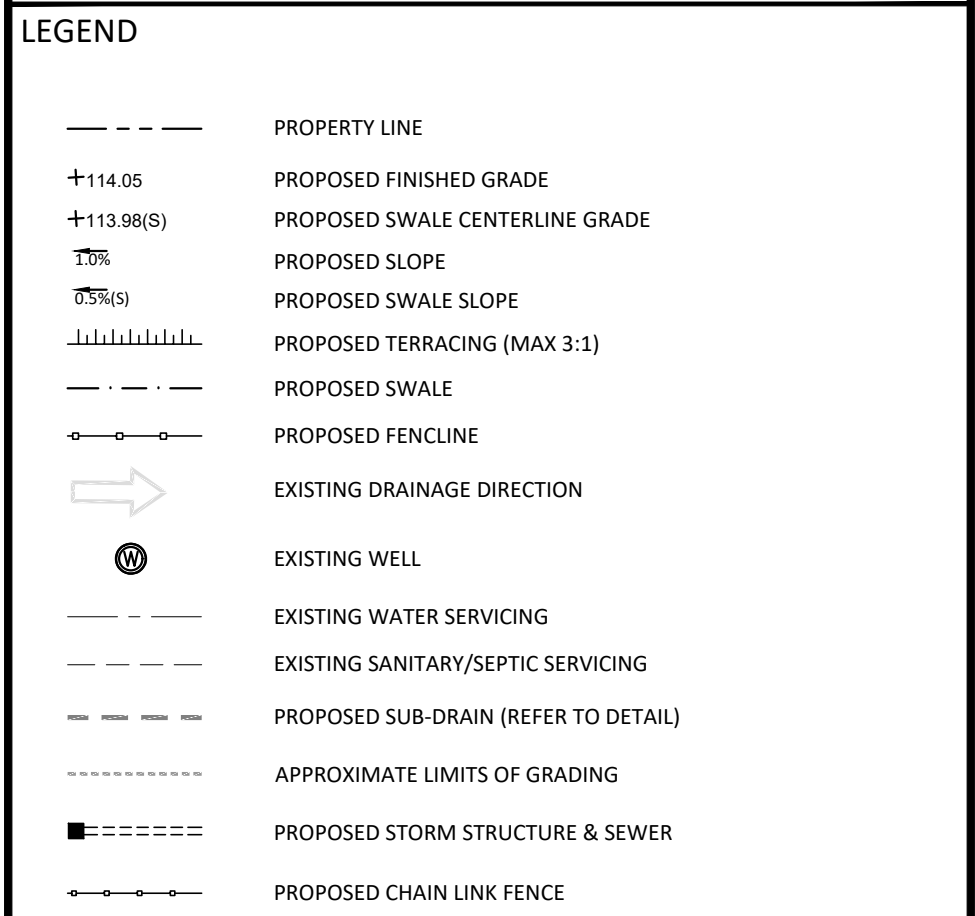
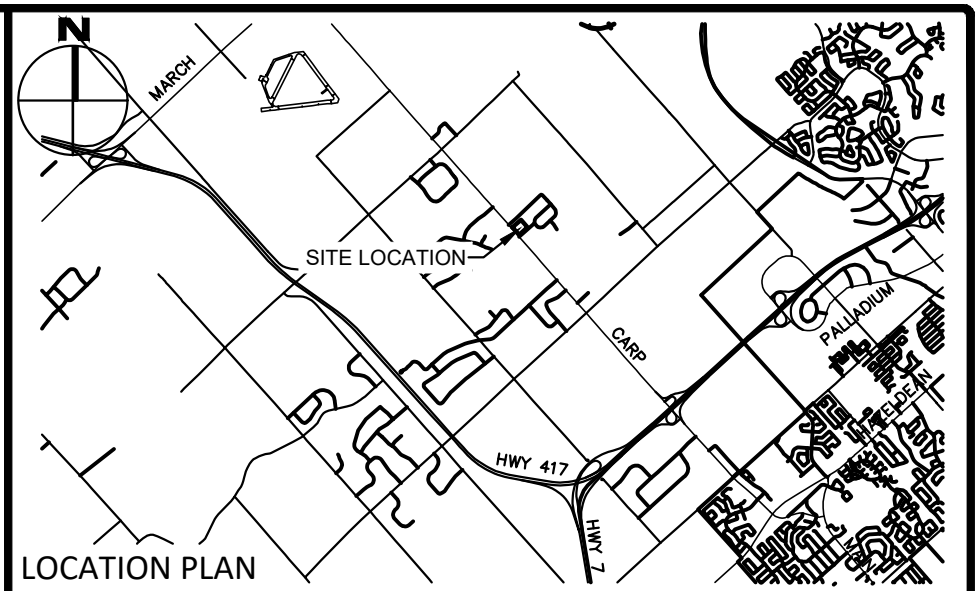
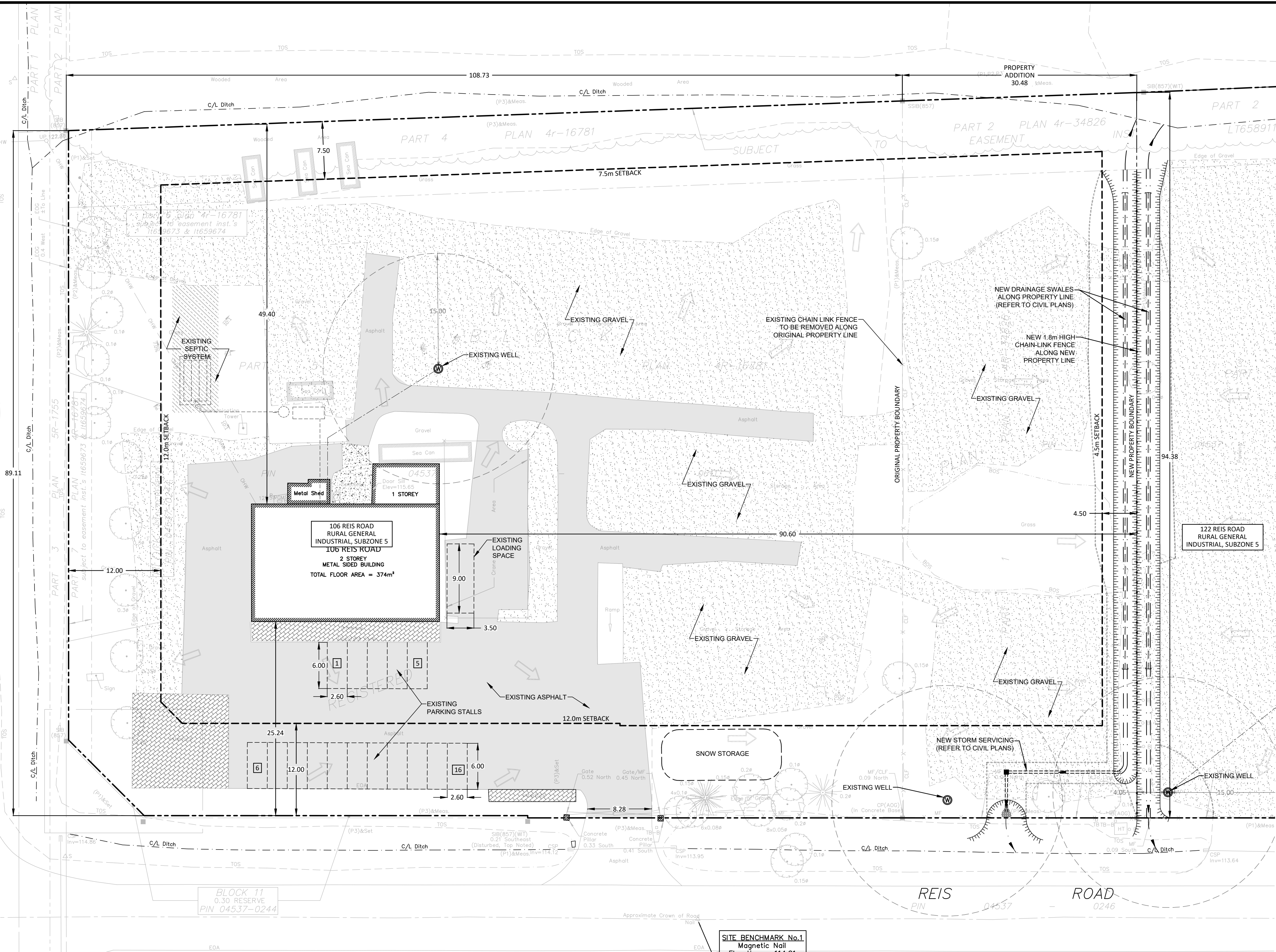


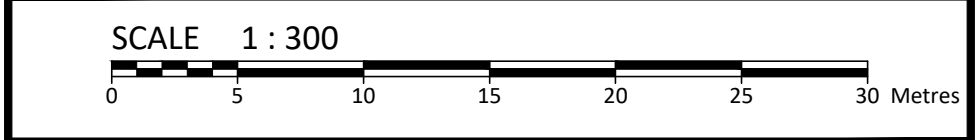
REGIONAL ROAD NO. 5 ( Known as Carp Road )



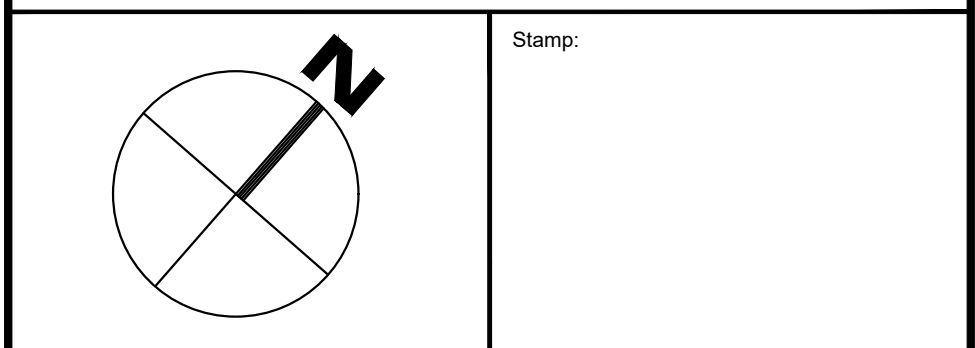
**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

No.	Revisions	Date
2	ISSUED FOR SITE PLAN CONTROL AMENDMENT	FEB. 09, 2024
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	OCT. 13, 2023

Check and verify all dimensions before proceeding with the work. Do not scale drawings



**McINTOSH PERRY**  
115 Walgreen Road, RR3, Carp, ON K0A 1L0  
Tel: 613-836-2184 Fax: 613-836-3742  
www.mcintoshperry.com



Client:  
**GRACE MONUMENTS INC.**  
106 REIS ROAD  
CARP, ON K0A 1L0

Project:  
**SITE PLAN CONTROL AMENDMENT**  
106 REIS ROAD, CARP, ON K0A 1L0

Drawing Title:  
**SITE PLAN**

Scale: 1:500 Project Number: CCO-23-3606  
 Drawn By: J.H.  
 Checked By: B.S.C. Drawing Number:  
 Designed By: C100

Provision	Required	Provided
Minimum Lot Width	30m	139m
Minimum Lot Area	4,000m²	12,698m²
Minimum Front Yard Setback	12m	25.2m
Minimum Rear Yard Setback	7.5m	49.4m
Minimum Interior Side Yard Setback	4.5m	90.6m
Minimum Corner Side Yard Setback	12m	23.8m
Maximum Principal Building Height	15m	<15m
Maximum Lot Coverage	50%	3%
Location of Outdoor Storage	Permitted in Rear Yard & Interior Side Yards	Rear Yard and Side Yard
Outdoor Storage Screening	Screened from Public Street by Opaque Screen with Minimum Height of 1.8m	None per Approved Site Plan
Minimum Required Parking	0.8 Spaces per 100 m2 GFA (Industrial) 2.4 Spaces per 100 m2 GFA (Office)	16
Required Parking Space Size	2.6m x 5.2m	2.6m x 6.0m
Minimum Width of Driveway Providing Access to Parking	3.0m (Single Lane), 6.0m (Double Lane)	8.3m
Minimum Required Loading Space Rate (350-999m² GFA)	1	1

P:\CCO-23-3606\Drawings\CCO-23-3606-SP.dwg  
 User: jhanson  
 Date: 2024-02-12 12:04:51  
 Last Modified By: jhanson  
 Last Plotted: Monday, February 12, 2024 2:08:51 PM

D07-12-22-0118

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