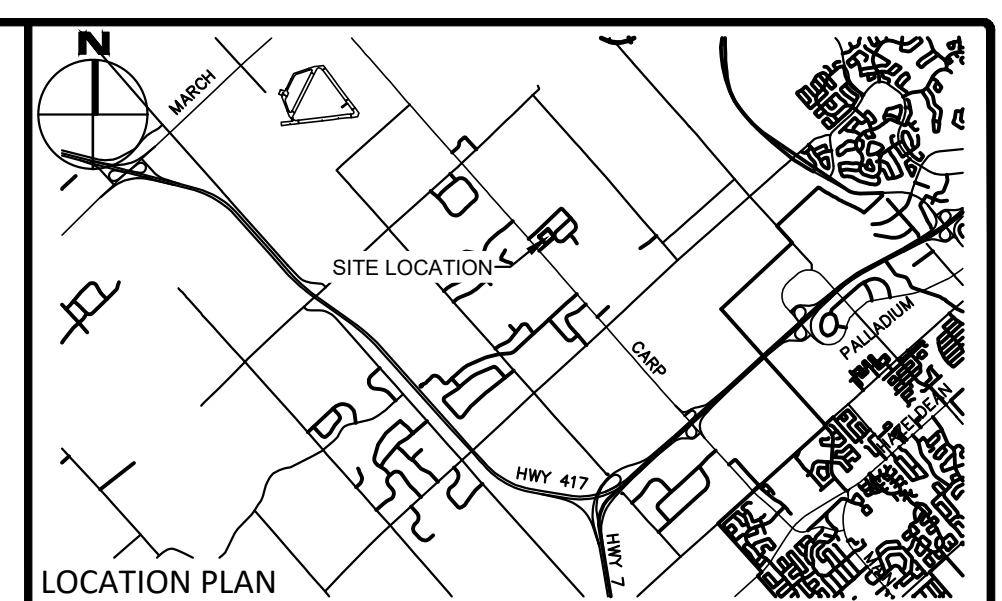


SITE BENCHMARK No.1
Magnetic Nail
Elevation = 114.91
N: 5018283.34
E: 345352.20

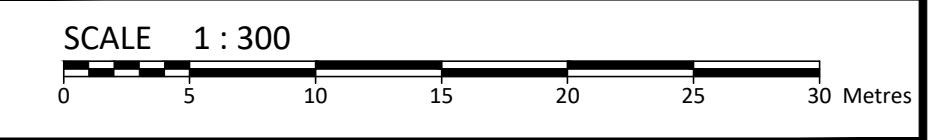


- LEGEND**
- PROPERTY LINE
 - +114.05 PROPOSED FINISHED GRADE
 - +113.98(S) PROPOSED SWALE CENTERLINE GRADE
 - 0.5% PROPOSED SLOPE
 - 0.5% PROPOSED SWALE SLOPE
 - ||||| PROPOSED TERRACING (MAX 3:1)
 - - - - PROPOSED SWALE
 - - - - PROPOSED FENCE LINE
 - EXISTING DRAINAGE DIRECTION
 - ⊙ EXISTING WELL
 - - - - EXISTING WATER SERVICING
 - - - - EXISTING SANITARY/SEPTIC SERVICING
 - - - - PROPOSED SUB-DRAIN (REFER TO DETAIL)
 - - - - APPROXIMATE LIMITS OF GRADING
 - - - - PROPOSED STORM STRUCTURE & SEWER
 - PROPOSED CHAIN LINK FENCE

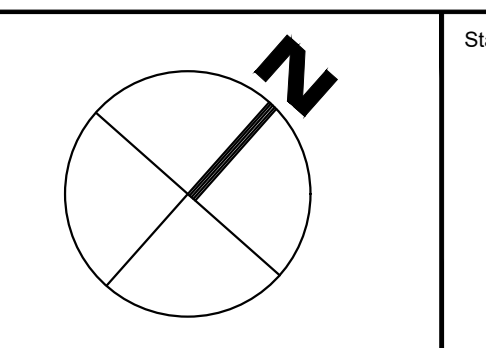
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

No.	Revisions	Date
2	REISSUED FOR SITE PLAN CONTROL AMENDMENT	FEB. 09, 2024
1	ISSUED FOR SITE PLAN CONTROL AMENDMENT	OCT. 13, 2023

Check and verify all dimensions before proceeding with the work. Do not scale drawings.



McINTOSH PERRY
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www.mcintoshperry.com



Client: **TNT TILE & MARBLE INC.**
122 REIS ROAD, CARP, ON K0A 1L0

Project: **SITE PLAN CONTROL AMENDMENT**
122 REIS ROAD, CARP, ON K0A 1L0

Drawing Title: **SITE PLAN**

Scale: 1:500	Project Number: CCO-23-3606
Drawn By: J.H.	
Checked By: B.S.C.	Drawing Number: C100
Designed By:	

RG5 ZONE PROVISIONS

Provision	Required	Provided
Minimum Lot Width	30m	59.1m
Minimum Lot Area	4,000m ²	5,654m ²
Minimum Front Yard Setback	12m	19.8m
Minimum Rear Yard Setback	7.5m	32.1m
Minimum Interior Side Yard Setback	4.5m	19.8m
Maximum Principal Building Height	15m	<15m
Maximum Lot Coverage	50%	11%
Location of Outdoor Storage	Permitted in Rear Yard & Interior Side Yards	Rear Yard and Side Yard
Outdoor Storage Screening	Screened from Public Street by Opaque Screen with Minimum Height of 1.8m	None per Approved Site Plan
Minimum Required Parking (Light Industrial Use)	0.8 Spaces per 100 m ² GFA (first 5000 m ² of GFA)	6
Required Parking Space Size	2.6m x 5.2m	2.6m x 6.0m
Minimum Width of Driveway Providing Access to Parking	3.0m (Single lane), 6.0m (Double Lane)	9.0m
Minimum Required Loading Space Rate (350-999m ² GFA)	1	1

REVISION: 11/20/2023, Project: Project CCO-23-3606, Location: CCO-23-3606, Drawing: CCO-23-3606-SP.dwg
 LAST SAVED: Monday, February 12, 2024, LAST SAVED BY: J. Hanson
 LAST PLOTTED: Monday, February 12, 2024, CTR FILE USED: ---

D07-12-08-0119

XXXXX