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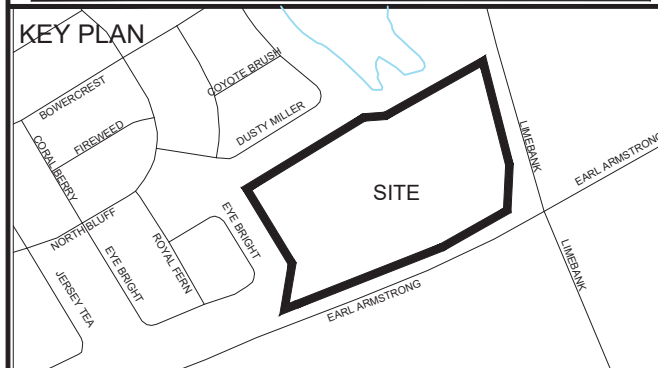
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ISSUES

No.	DESCRIPTION	DATE
1	SUBMISSION 1 FOR CITY REVIEW	2022-12-16
2	ISSUED FOR COORDINATION	2023-03-09
3	REVISED AS PER CITY COMMENTS	2023-04-06
4	ISSUED FOR TENDER	2023-04-27
5	REVISED AS PER CITY COMMENTS	2023-06-13
6	REVISED PER NEW SITE PLAN	2023-06-29
7	ISSUED FOR CONSTRUCTION	2023-07-28
8	REVISED EASEMENT	2023-08-11
9	RE-ISSUED FOR CONSTRUCTION	2023-09-06
10	REVISED MH LID ELEVATIONS	2023-10-06
11	REVISED BUILDING H	2023-11-03
12	REVISED STREET NAME	2024-01-10
13	REVISED PER NEW SITEPLAN 2024-02-08	2024-02-13

SEE 010, 011, 012 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS



CONSULTANTS

Owner / Applicant:
Urbandale Corporation

Architect:
Dredge Leahy Architecture Inc.

Civil Engineers:
IBI Group

Structural Engineers:
Cleland Jardine Engineering Ltd

Planning:
Fotenn

Landscape Architect:
CSW Landscape Architects Ltd

Surveyor:
Annis O'Sullivan Vollebakk Ltd

Geotechnical:
Paterson and Associates

Electrical:
JRP Engineering

Mechanical:
JRP Engineering



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PROJECT
1515 EARL ARMSTRONG PLAZA

PROJECT NO:
137404

DRAWN BY:
EH

PROJECT MGR:
SEL

CHECKED BY:
TRB

APPROVED BY:
TRB

SHEET TITLE
GENERAL PLAN

SHEET NUMBER
001

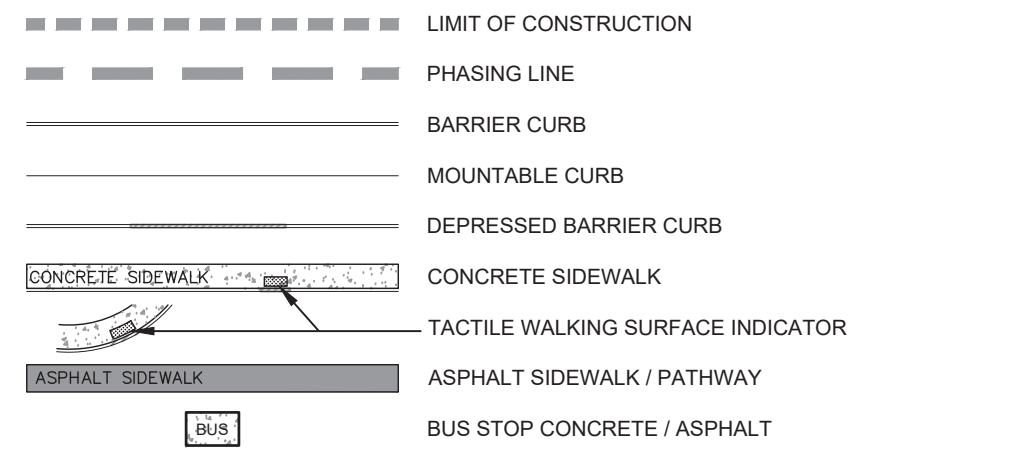
ISSUE
13

APPROVED
By Lily Xu at 3:21 pm, Feb 15, 2024

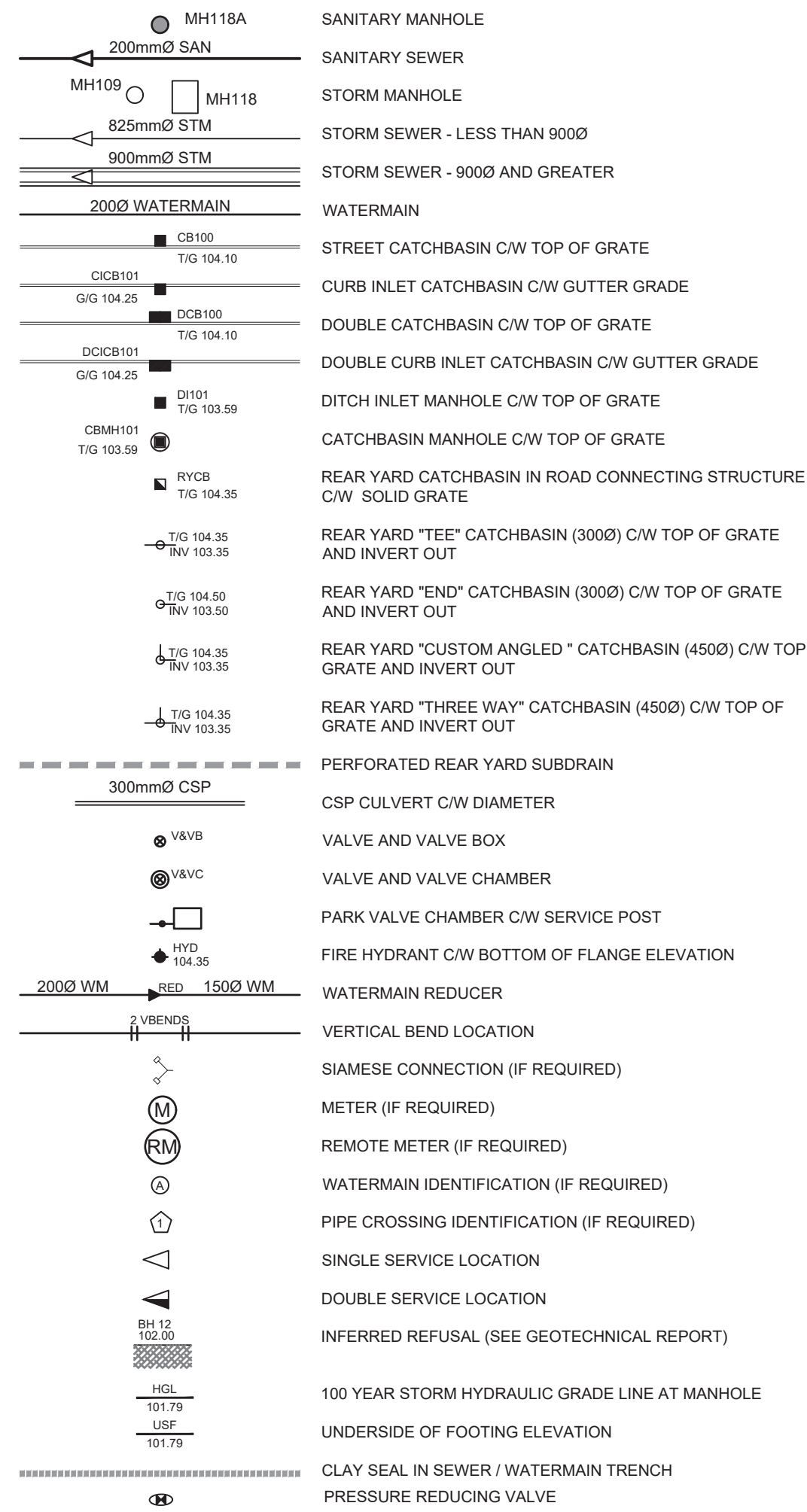
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

CITY FILE No. D07-12-22-0169 D07-16-22-0010
Last Saved: February 13, 2024, 10:08 AM by Dennis Dore
Printed: Tuesday, February 13, 2024, 2:04:08 PM by Dennis Dore

GENERAL LEGEND



SERVICING LEGEND



ROADWAY STRUCTURE:

CAR ONLY PARKING AREA (500mm)

50mm	- SUPERPAVE 12.5 ASPHALTIC CONCRETE
150mm	- OPSS GRANULAR "A" CRUSHED STONE
300mm	- OPSS GRANULAR "B" TYPE II

RUE BLANCA STREET, ACCESS LANES AND HEAVY TRUCK PARKING AREA (690mm)

40mm	- SUPERPAVE 12.5 ASPHALTIC CONCRETE
50mm	- SUPERPAVE 19.0 ASPHALTIC CONCRETE
150mm	- OPSS GRANULAR "A" CRUSHED STONE
450mm	- OPSS GRANULAR "B" TYPE II

STM STRUCTURE TABLE					
NAME	RIM ELEV.	INVERT IN	INVERT IN AS-BUILT	INVERT OUT	DESCRIPTION
CBMH56	92.20			NE89.136	15000 OPSD 701.011
CBMH59	92.60			EE89.954	15000 OPSD 701.011
EXMHSTM	91.44	SE87.244			24000 OPSD 701.061
MH50	93.25			N90.562	15000 OPSD 701.011
MH51	92.88	NW89.894 S90.434		EE89.834	15000 OPSD 701.011
MH51B	92.86	W89.744		EE89.419	15000 OPSD 701.011
MH52	92.61			SE90.100	15000 OPSD 701.011
MH54	92.74	NW89.583		EE89.533	12000 OPSD 701.010
MH57	92.33	SW88.915		NE87.915	15000 OPSD 701.011
MH58	92.48			SW89.561	15000 OPSD 701.011
MH58B	92.39	NE89.311		W89.261	15000 OPSD 701.011
MH60	92.75	W89.890		NE89.840	15000 OPSD 701.011
MH60B	92.71	SW89.602		NE88.952	15000 OPSD 701.011
MH61	92.72			S89.651	15000 OPSD 701.011
MH62	92.73	N89.582		SW89.282	15000 OPSD 701.011
MH62B	92.66	NE89.094		SW89.044	15000 OPSD 701.011
MH63	92.99	SW90.621		NE90.171	12000 OPSD 701.010
MH64	92.75	E90.669		S90.569	12000 OPSD 701.010
MH65	92.69	N90.103		SW89.803	12000 OPSD 701.010
MH111	92.79	W90.715 SW90.392 NE90.509 SE88.743		NW88.523	15000 OPSD 701.011
MH112	92.69	SE89.229 NE89.029 SW89.929		NW88.854	18000 OPSD 701.012
MH113	92.79	NE89.430 SW89.680		NW89.380	12000 OPSD 701.010

SAN STRUCTURE TABLE					
NAME	RIM ELEV.	INVERT IN	INVERT IN AS-BUILT	INVERT OUT	DESCRIPTION
EXMHSAN	91.76	E88.739			12000 OPSD 701.010
MH01A	93.30	W91.093		E91.073	12000 OPSD 701.010
MH02A	93.18	E91.058		W91.038	12000 OPSD 701.010
MH03A	92.51	SE89.670		NW89.360	12000 OPSD 701.010
MH04A	93.20	N90.667		S90.647	12000 OPSD 701.010
MH05A	92.55	SW89.187		NE89.167	12000 OPSD 701.010
MH06A	92.62	NE89.136		SW89.116	12000 OPSD 701.010
MH52A	92.72	NE90.566		SE90.506	12000 OPSD 701.010
MH54A	92.68	NW90.217		E90.157	12000 OPSD 701.010
MH60A	92.66	S90.415 NW90.555		NE90.355	12000 OPSD 701.010
MH62A	92.76	N90.358		SW90.328	12000 OPSD 701.010
MH63A	92.66	NE90.071 SE90.111		SW90.051	12000 OPSD 701.010
MH64A	92.72	E90.627		S90.477	12000 OPSD 701.010
MH66A	92.98	SW90.694 NE90.694		NW90.634	12000 OPSD 701.010
MH112A	92.70	SW90.068 NE89.927		NW89.828	12000 OPSD 701.010

Roof Drain Schedule		
Building ID	Restricted Flowrate (L/s)	100-Year Storage Volume (m3)
A	9.00	25.47
B	N/A	N/A
C	9.00	25.47
D	5.00	14.15
E	7.00	19.81
F	11.00	31.13
G	8.00	22.64
H	N/A	N/A
I	10.00	28.30
J	6.00	16.98
K	8.00	22.64
L	23.00	73.82

Pipe Interference Table			
Crossing No.	PIPE 1	PIPE 2	Clearance
1	STM Bottom 90.875	WTR Top 90.449	0.426
2	STM Bottom 90.734	SAN Top 90.517	0.217
3	STM Bottom 90.814	STM Top 90.580	0.234
4	WTR Bottom 89.831	SAN Top 89.128	0.703
5	WTR Bottom 89.868	STM Top 88.632	1.236
6	STM Bottom 91.022	STM Top 90.260	0.762
7	WTR Bottom 90.377	STM Top 90.126	0.251
8	WTR Bottom 90.104	STM Top 89.560	0.544
9	WTR Bottom 89.650	SAN Top 89.399	0.251
10	WTR Bottom 88.818	STM Top 88.933	0.884
11	WTR Bottom 89.738	STM Top 88.598	1.141
12	WTR Bottom 89.773	SAN Top 89.278	0.495
13	WTR Bottom 90.022	STM Top 89.479	1.543
14	SAN Bottom 90.946	WTR Top 90.560	0.386
15	WTR Bottom 90.389	SAN Top 89.539	0.850
16	WTR Bottom 89.775	STM Top 89.231	0.544
17	SAN Bottom 90.455	STM Top 89.905	0.550
18	WTR Bottom 90.152	STM Top 89.288	0.864
19	WTR Bottom 90.317	STM Top 90.028	0.289
20	WTR Bottom 91.165	STM Top 90.665	0.500
21	STM Bottom 90.691	WTR Top 90.379	0.312
22	SAN Bottom 90.666	WTR Top 89.985	0.681
23	WTR Bottom 90.830	STM Top 89.982	0.847
24	WTR Bottom 90.793	SAN Top 90.293	0.500
25	STM Bottom 90.429	WTR Top 90.127	0.302
26	WTR Bottom 89.965	STM Top 89.392	0.574
27	SAN Bottom 89.672	WTR Top 89.172	0.500
28	SAN Bottom 89.046	STM Top 88.780	0.266
29	SAN Bottom 90.931	STM Top 90.404	0.527
30	SAN Bottom 89.815	STM Top 89.551	0.264
31	STM Bottom 92.467	SAN Top 90.371	2.096
32	WTR Bottom 89.927	STM Top 89.545	0.382
33	SAN Bottom 90.393	STM Top 89.917	0.476
34	SAN Bottom 90.360	STM Top 90.000	0.360
35	SAN Bottom 90.564	STM Top 90.249	0.315
36	SAN Bottom 89.843	STM Top 89.561	0.283
37	SAN Bottom 90.399	STM Top 89.917	0.482
38	SAN Bottom 89.474	STM Top 89.219	0.255
39	SAN Bottom 88.756	STM Top 88.376	0.380
40	SAN Bottom 89.010	STM Top 88.568	0.442

WATERMAIN SCHEDULE				
Station	Description	Finished Grade	Top of Watermain	As Built Watermain
A 0+00.00	TEE	93.291	90.891	
0+022.28	VB	93.290	90.890	
B 0+025.36	BUILDING K CAP	93.439	91.039	
C 0+000.00	TEE	93.063	90.663	
0+007.76	50 TEE CONNECTION	93.233	90.833	
0+009.36	VB	93.240	90.840	
D 0+012.27	BUILDING B CAP	93.262	90.862	
E 0+000.00	TEE	92.539	90.139	
0+001.65	V BEND	92.588	90.188	
0+001.90	V BEND	92.595	90.350	
0+004.10	V BEND	92.595	90.350	
0+004.35	V BEND	92.587	90.187	
0+012.00	DMA CHAMBER	92.815	90.413	
0+036.83	HYD	92.547	90.147	
0+071.65	HYD	92.559	90.159	
F 0+079.42	TEE	92.537	90.137	
I 0+000.00	TEE	92.537	90.137	
0+001.00	22 1/2 BEND	92.39	89.990	
0+002.72	VB	92.374	89.974	
0+006.44	11 1/4 BEND	92.346	89.946	
0+065.85	VB	92.47	90.070	
0+067.85	TEE	92.500	90.100	
0+069.83	VB	92.534	90.134	
0+156.35	RED 200 150	92.611	90.211	
0+163.81	45 BEND	92.656	90.256	
0+166.38	45 BEND	92.657	90.257	
0+167.63	50 TEE CONNECTION	92.661	90.261	
0+168.97	VB	92.666	90.266	
J 0+170.22	BUILDING L CAP	92.661	90.260	
K 0+000.00	TEE	92.188	89.788	
0+010.88	VB	92.382	89.982	
0+032.08	45 BEND	92.386	89.986	
0+033.50	45 BEND	92.407	90.007	
L 0+037.25	BUILDING I CAP	92.594	90.194	
M 0+000.00	TEE	92.489	90.089	
0+002.00	VB	92.637	90.237	
N 0+013.22	BUILDING J CAP	92.673	90.273	
O 0+000.00	WTR TSV 200x50	93.263	90.863	
0+013.14	VB	93.263	90.863	
0+028.00	45 BEND	93.128	90.728	
0+028.82	45 BEND	93.128	90.728	
P 0+030.28	BUILDING H CAP	93.153	90.753	
G 0+000.00	CROSS	92.362	89.962	
0+006.00	DMA CHAMBER	92.500	90.100	
V 0+014.09	CROSS	92.674	90.274	
0+044.95	V BEND	92.730	90.330	
0+045.20	V BEND	92.729	90.329	
0+047.40	V BEND	92.724	90.324	
0+047.65	V BEND	92.723	90.323	
0+072.09	HYD	92.835	90.435	
Q 0+081.10	TEE	92.922	90.522	
0+000.00	TEE	92.922	90.522	
0+002.37	VB	92.921	90.521	
0+032.80	V BEND	92.961	90.561	
0+033.05	V BEND	92.968	90.568	
0+035.25	V BEND	92.974	90.574	
0+035.50	V BEND	92.972	90.572	
0+066.97	45 BEND	92.899	90.499	
0+069.48	22 1/2 BEND	92.841	90.441	
BB 0+073.59	TEE	92.817	90.417	
0+076.63	HYD	92.828	90.428	
0+084.38	VB	92.815	90.415	
T 0+087.29	TEE	92.854	90.454	
0+134.78	11 1/4 BEND	92.759	90.359	
0+137.28	22 1/2 BEND	92.775	90.375	
0+157.79	VB	92.681	90.281	
R 0+163.53	TEE	92.405	90.005	
0+000.00	CROSS	92.674	90.274	
0+006.71	VB	92.827	90.427	
W 0+016.56	BUILDING A CAP	92.912	90.512	
V 0+000.00	CROSS	92.674	90.274	
0+005.84	VB	92.734	90.334	
X 0+008.84	BUILDING G CAP	92.892	90.492	
Q 0+000.00	TEE	92.922	90.522	
0+002.24	VB	92.915	90.515	
0+008.99	45 BEND	92.965	90.465	
0+010.24	11 1/4 BEND	92.906	90.506	
0+011.49	22 1/2 BEND	92.920	90.520	
Y 0+036.97	TEE	93.329	90.929	
0+000.00	TEE	93.329	90.929	
0+002.27	VB	93.381	90.981	
Z 0+014.80	BUILDING C CAP	93.206	90.806	
Y 0+000.00	TEE	93.329	90.929	
0+006.40	11 1/4 BEND	93.063	90.663	
0+012.20	VB	92.991	90.491	
AA 0+018.20	BUILDING D CAP	93.003	90.603	
BB 0+000.00	TEE	92.817	90.417	
0+010.68	22 1/2 BEND	93.057	90.657	
0+013.18	45 BEND	93.100	90.700	
0+033.62	11 1/4 BEND	93.184	90.784	

APPROVED
By Lily Xu at 3:22 pm, Feb 15, 2024

Lily Xu
LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

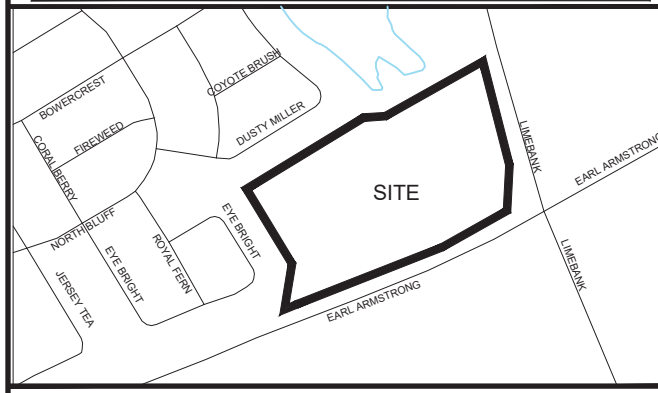


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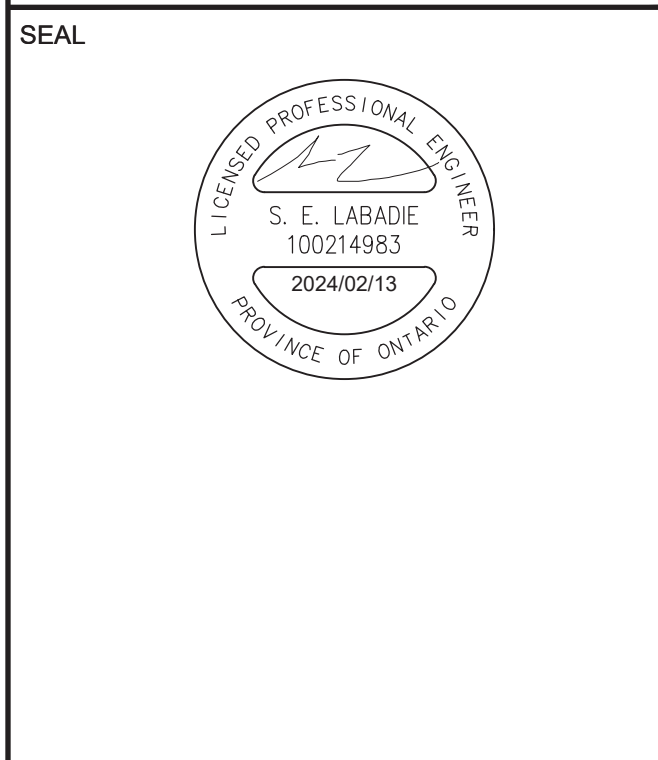
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SEE 010, 011, 012 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS



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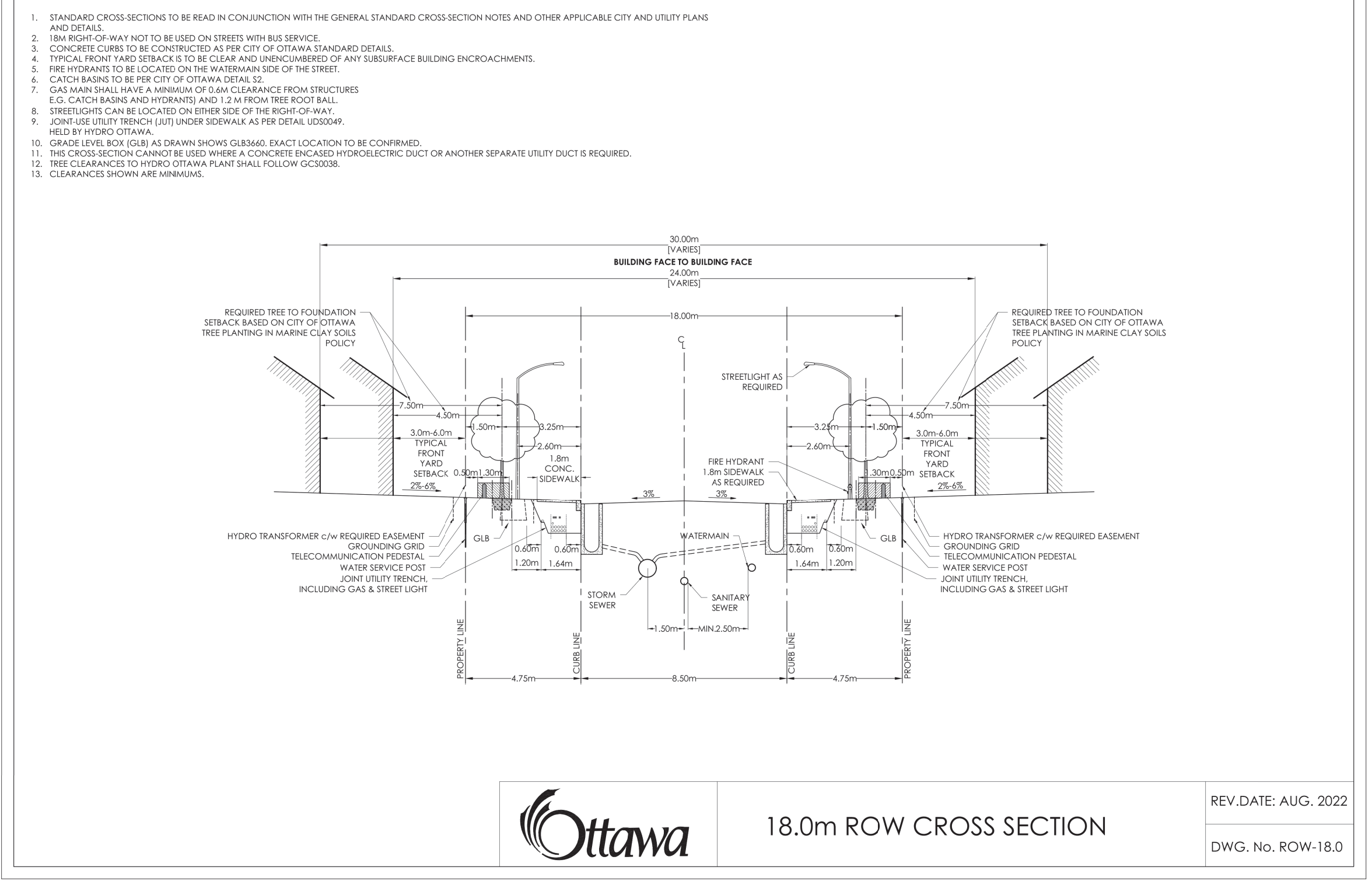
PROJECT
1515 EARL ARMSTRONG
PLAZA

PROJECT NO:
137404
DRAWN BY:
EH
CHECKED BY:
TRB

PROJECT MGR:
SEL
APPROVED BY:
TRB

SHEET TITLE
STREET SECTIONS
AND
CB DATA TABLE

SHEET NUMBER
011
ISSUE
13



Ottawa 18.0m ROW CROSS SECTION
REV. DATE: AUG. 2022
DWG. No. ROW-18.0

NOTES:

- THE STANDARD ROW CROSS SECTIONS INDICATE MINIMUM DIMENSIONS THAT ARE TO BE INCORPORATED INTO THE DESIGN OF ANY NEW DEVELOPMENTS INVOLVING NEW AND EXISTING STREETS. ANY VARIATIONS TO THE STANDARD ROW CROSS SECTIONS ARE SUBJECT TO THE INFRASTRUCTURE SERVICES DEVIATION PROCESS. CONTACT THE STANDARDS UNIT AT STANDARDSSECTION@OTTAWA.CA FOR MORE INFORMATION.
- ALL DRAWINGS SHALL BE READ IN CONJUNCTION WITH APPLICABLE CITY STANDARDS, GUIDELINES, AND POLICES, INCLUDING COORDINATED UTILITY PLANS, GRADING PLANS AND LOCAL AREA PLANS. REFER ALSO TO UTILITY PARTNER STANDARD PLANT LOCATIONS.
- ALL CROSS SECTIONS MAY BE SUBJECT TO SUBSEQUENT TRAFFIC CALMING MEASURES, TO BE DETERMINED THROUGH PLAN OF SUBDIVISION OR SEPARATE TRANSPORTATION STUDIES. TYPICAL CROSS SECTION BOULEVARD WIDTH SHALL BE MAINTAINED WHEN CONSTRUCTING CUL-DE-SACS AND CORNER LOTS, REGARDLESS OF ROADWAY GEOMETRY.
- WATERMANS, WATER SERVICES, AND ASSOCIATED APPURTENANCES SHALL BE CONSTRUCTED PER THE WATER DESIGN GUIDELINES.
- WATERMAIN AND HYDRANTS TO BE INSTALLED ON SOUTH AND EAST SIDE OF ROW, WHERE POSSIBLE.
- SEWERS AND SEWER SERVICES SHALL BE CONSTRUCTED PER THE SEWER DESIGN GUIDELINES.
- IN-ROAD CATCH BASINS SHALL ONLY BE USED ON RESIDENTIAL ROADS WITHOUT BUS TRAFFIC OR AS OTHERWISE DIRECTED BY THE SEWER DESIGN GUIDELINES.
- BARRIER CURB SHALL BE USED ON ALL RESIDENTIAL ROADS WITH SINGLE FAMILY DWELLINGS. MOUNTABLE CURB MAY ONLY BE USED FOR AREAS WITH FREQUENT CURB-CUTS, SUCH AS TOWNHOME DEVELOPMENTS, WITH APPROVAL FROM THE CITY.
- WATER AND SEWER SERVICES SHALL BE LAID AS PER CITY STANDARD DETAIL DRAWINGS, THE COORDINATED UTILITY PLAN, AND IN COORDINATION WITH ALL OTHER ELEMENTS IN THE ROW. WHERE LOCATING WATER AND SEWER SERVICES UNDERNEATH LANDSCAPED AREAS WOULD PREVENT THE PLANTING OF A TREE, THEY MAY BE RUN UNDERNEATH THE DRIVEWAY OR OTHER HARDSCAPED AREAS.
- MINIMUM 1.5 M CLEARANCE, AT-GRADE, TO BE MAINTAINED AROUND WATER SERVICE POST FROM TREE, TRANSFORMER, UTILITY PEDESTAL, TRAFFIC POLE, AND STREETLIGHT.
- UTILITY PEDESTALS ARE TO BE GROUPED TOGETHER WITH THE HYDROELECTRIC TRANSFORMER, OR ON THE HOUSE SIDE OF THE UTILITY TRENCH.
- STREETLIGHT CABLE SHALL BE LOCATED IN JOINT USE TRENCH (JUT), WHERE NO JUT EXISTS, ENSURE CLEARANCES TO TREE, HYDRANTS, AND WATER SERVICE POST.
- TRAFFIC SIGNAL CABLE SHALL BE LOCATED IN THE JUT OR AT THE SAME OFFSET AS STREETLIGHT POLES IN A SEPARATE TRENCH.
- TRAFFIC COMMUNICATIONS CABLE SHALL BE LOCATED IN THE JUT OR IN A TRENCH LOCATED AT THE SAME OFFSET AS THE STREETLIGHT POLES.
- THE PREFERRED LOCATION FOR TRAFFIC HANDHOLES IS IN HARD SURFACES. WHEN HANDHOLES ARE PLACED IN THE BOULEVARD, A CONCRETE COLLAR SHALL BE PROVIDED.
- THE DEVELOPER SHALL SUPPLY AND INSTALL DUCTS FOR UTILITY CROSSINGS AT INTERSECTIONS.
- TREE PLACEMENT, NUMBER, AND SPECIES SHALL BE PER CITY POLICY, THE LANDSCAPE PLAN, COORDINATED-UTILITY-PLAN, AND THE DEVELOPMENT AGREEMENTS.
- THE HYDRO TRANSFORMER BASE SHALL BE LOCATED A MINIMUM OF 2.0 M FROM THE DRIVEWAY EDGE.

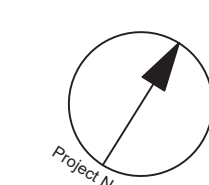
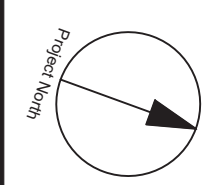
Ottawa TITLE: STANDARD NOTES ROAD ALLOWANCE
DATE: MAR 2009
REV: SEPT 2022
DWG No: ROW-NOTES

STRUCTURE ID	STORM AREA ID	STRUCTURE	FRAME & COVER	TOP OF GRATE	ELEVATION		OUTLET PIPE DIAMETER (mm)	OUTLET PIPE TYPE	INLET CONTROL DEVICE			COMMENTS	
					INLET	OUTLET			100yr Dynamic HEAD	RESTRICTED FLOW (l/s)	ICD TYPE		ORIFICE SIZE CIRCULAR (mm dia.)
Public Road CBs													
CB100	MH119	OPSD 705.010	S19	92.47		91.07	200	PVC DR35	1.460	27.00	IPEX MHF	102	
CB100A	MH119	OPSD 705.010	S19	92.47		91.07	200	PVC DR35	1.460	27.00	IPEX MHF	102	
CB102	MH102	OPSD 705.010	S19	92.37		90.97	200	PVC DR35	1.390	17.00	IPEX MHF	83	
CB102A	MH102	OPSD 705.010	S19	92.37		90.97	200	PVC DR35	1.390	17.00	IPEX MHF	83	
CB103	MH103	OPSD 705.010	S19	92.22		90.82	200	PVC DR35	1.430	17.00	IPEX MHF	83	
CB103A	MH103	OPSD 705.010	S19	92.22		90.82	200	PVC DR35	1.430	17.00	IPEX MHF	83	
CB105	MH105	OPSD 705.010	S19	92.27		90.87	200	PVC DR35	1.390	17.00	IPEX MHF	83	
CB105A	MH105	OPSD 705.010	S19	92.27		90.87	200	PVC DR35	1.390	17.00	IPEX MHF	83	
CB106	MH106	OPSD 705.010	S19	92.30		90.90	200	PVC DR35	1.450	18.00	IPEX MHF	83	
CB106A	MH106	OPSD 705.010	S19	92.29		90.89	200	PVC DR35	1.450	18.00	IPEX MHF	83	
Private Site Plan CBs													
CB01	MH54	OPSD 705.010	S19	91.80		89.79	200	PVC DR35					
CB01A	MH54	OPSD 705.010	S19	92.15		90.75	200	PVC DR35					
CB50	MH50	OPSD 705.010	S19	93.12		91.72	200	PVC DR35					
CB51	MH51	OPSD 705.010	S19	92.50		90.90	200	PVC DR35					
CB51A	MH51	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB52A	MH52	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB52B	MH52	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB52C	MH52	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB52D	MH52	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB54	MH51	OPSD 705.010	S19	92.50		91.10	200	PVC DR35					
CB54A	MH54	OPSD 705.010	S19	92.10		90.70	200	PVC DR35					
CB56A	MH56	OPSD 705.010	S19	92.25		90.85	200	PVC DR35	1.45	6.00	IPEX LMF	75	
CB56C	MH56	OPSD 705.010	S19	92.20		90.80	250	PVC DR35					
CB56D	MH56	OPSD 705.010	S19	92.20		90.80	200	PVC DR35					
CB56E	MH56	OPSD 705.010	S19	92.15		90.75	300	PVC DR35					
CB57	MH57	OPSD 705.010	S19	91.60		90.20	200	PVC DR35	1.44	6.00	IPEX LMF	75	
CB58A	MH58	OPSD 705.010	S19	92.20		90.80	200	PVC DR35					
CB58B	MH58	OPSD 705.010	S19	92.20		90.80	200	PVC DR35					
CB58C	MH58	OPSD 705.010	S19	92.20		90.80	200	PVC DR35					
CB58D	MH58	OPSD 705.010	S19	92.35		90.95	200	PVC DR35					
CB59A	CBMH59	OPSD 705.010	S19	92.60		91.20	200	PVC DR35					
CB59B	CBMH59	OPSD 705.010	S19	92.60		91.20	200	PVC DR35					
CB59C	CBMH59	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB60A	MH60	OPSD 705.010	S19	92.74		91.34	200	PVC DR35					
CB60B	MH60	OPSD 705.010	S19	92.60		91.20	200	PVC DR35					
CB60C	MH60	OPSD 705.010	S19	92.60		91.20	200	PVC DR35					
CB60D	MH60	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB60E	MH60	OPSD 705.010	S19	92.60		91.20	200	PVC DR35					
CB60F	MH60	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB61A	MH61	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB61B	MH61	OPSD 705.010	S19	92.50		91.10	200	PVC DR35					
CB62A	MH62	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB62B	MH62	OPSD 705.010	S19	92.50		91.10	200	PVC DR35					
CB62C	MH62	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CB62D	MH62	OPSD 705.010	S19	92.50		91.10	250	PVC DR35					
CB62E	MH62	OPSD 705.010	S19	92.55		91.15	200	PVC DR35					
CICB63	MH60	OPSD 705.010	S19	92.80		91.40	200	PVC DR35					
CICB108	MH108	OPSD 705.010	S19	92.15		90.75	200	PVC DR35	1.55	---	IPEX MHF	108	
CICB111	MH111	OPSD 705.010	S19	92.55		91.15	200	PVC DR35	1.30	---	IPEX MHF	83	
MH51B	MH51B	OPSD 701.011	S24.1 & S25						2.98	160.00	CUSTOM	211	
MH57	MH57	OPSD 701.011	S24.1 & S25						4.12	252.00	CUSTOM	244	
MH58B	MH58B	OPSD 701.011	S24.1 & S25						2.83	68.00	CUSTOM	138	
MH60B	MH60B	OPSD 701.011	S24.1 & S25						3.49	129.00	CUSTOM	182	
MH62B	MH62B	OPSD 701.011	S24.1 & S25						3.35	224.00	CUSTOM	242	

See Structures Table

Revised: 2023-11-06

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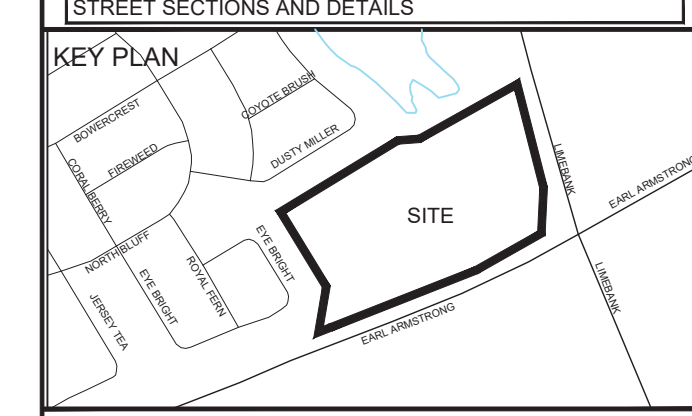
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8	REVISED EASEMENT	2023-08-11
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10	REVISED MH/LID ELEVATIONS	2023-10-06
11	REVISED BUILDING H	2023-11-03
12	REVISED STREET NAME	2024-01-10
13	REVISED PER NEW SITEPLAN 2024-02-08	2024-02-13

SEE 010, 011, 012 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS.



CONSULTANTS

Owner / Applicant:
Urbandale Corporation

Architect:
Dredge Leahy Architecture Inc.

Civil Engineers:
IBI Group

Structural Engineers:
Cleland Jardine Engineering Ltd

Planning:
Fotenn

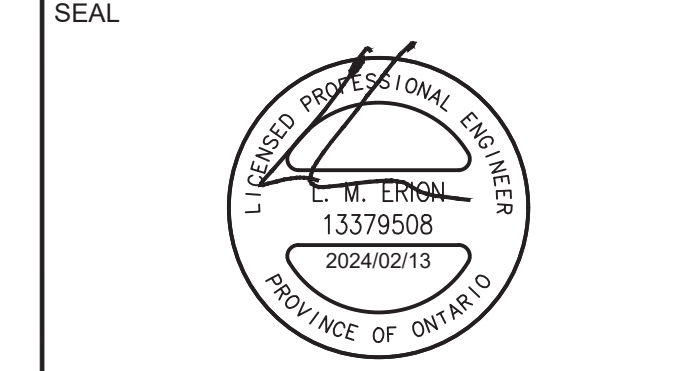
Landscape Architect:
CSW Landscape Architects Ltd

Surveyor:
Annis O'Sullivan Vollebek Ltd

Geotechnical:
Paterson and Associates

Electrical:
JRP Engineering

Mechanical:
JRP Engineering



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PROJECT
1515 EARL ARMSTRONG PLAZA

PROJECT NO:
137404

DRAWN BY:
EH

CHECKED BY:
TRB

PROJECT MGR:
SEL

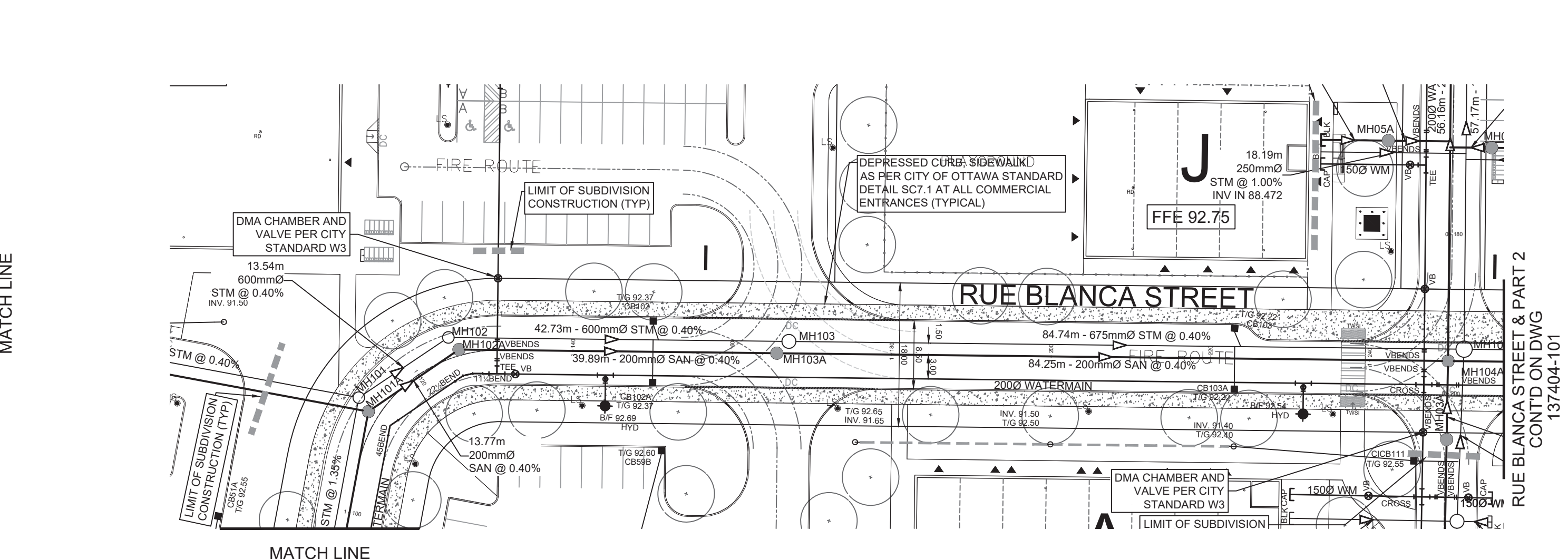
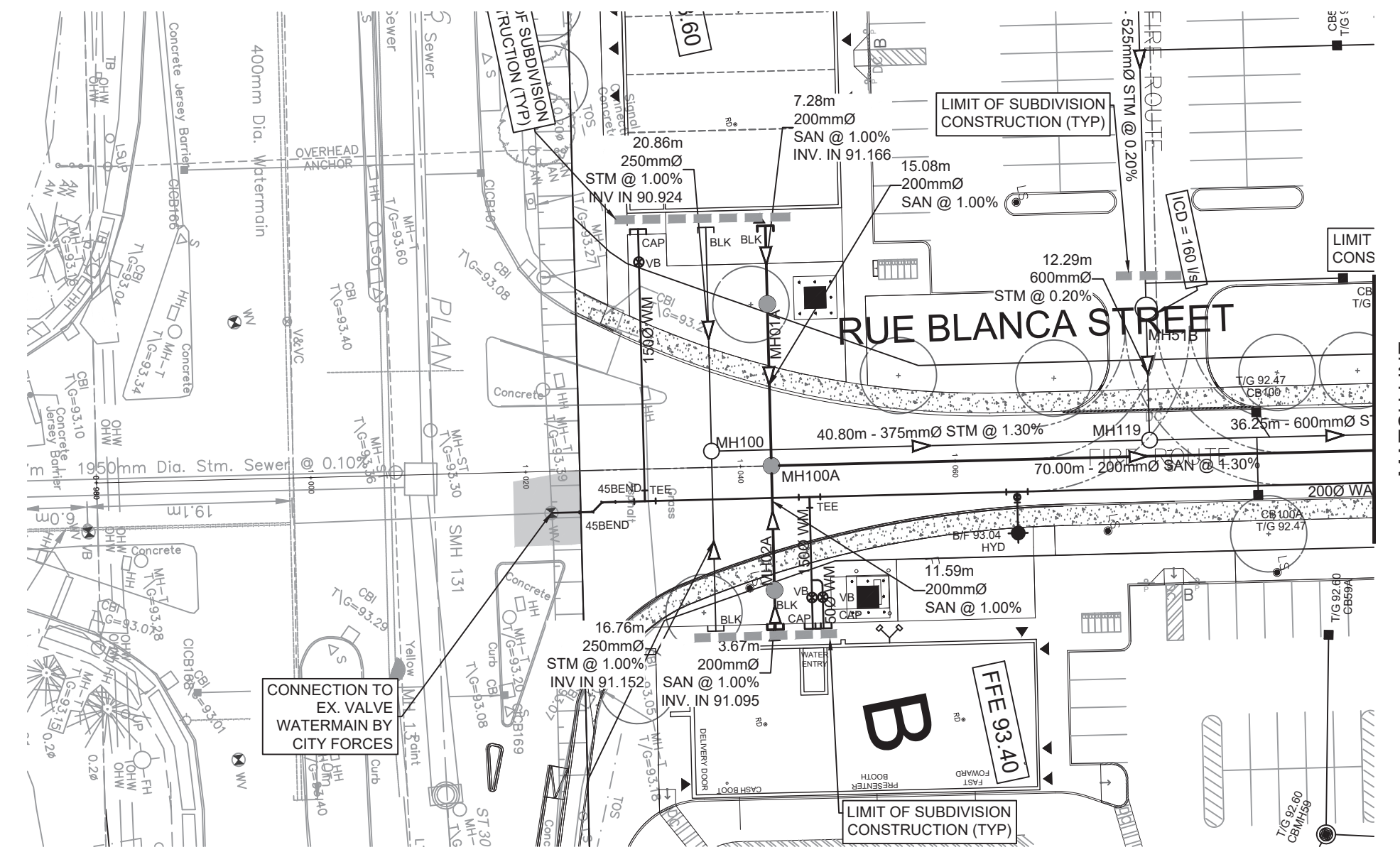
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SHEET TITLE
RUE BLANCA STREET

SHEET NUMBER
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ISSUE
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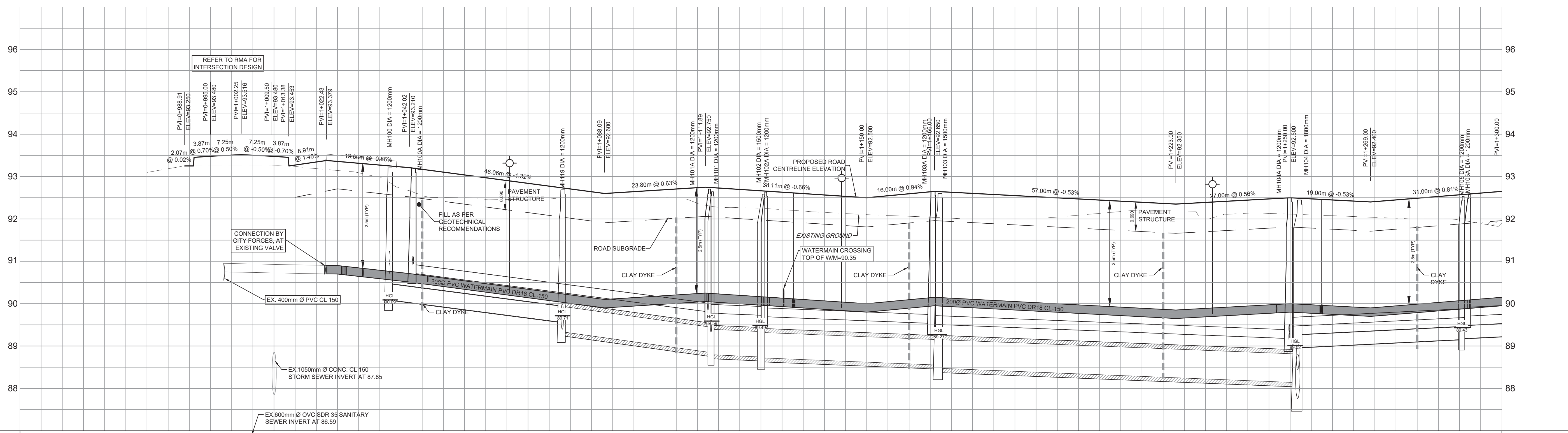
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APPROVED
By Lily Xu at 3:23 pm, Feb 15, 2024

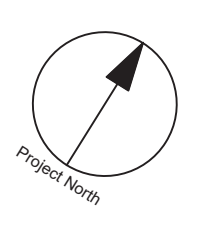
Lily Xu

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



ROAD GRADE	TOP OF WATERMAIN	STM SEWER INVERT	SAN SEWER INVERT	STATION	ROAD GRADE	TOP OF WATERMAIN	STM SEWER INVERT	SAN SEWER INVERT	STATION
93.250 93.250 93.480 93.625 93.576				0+960	92.562	90.150			1+280
93.480 93.453 93.250 93.344 93.379	90.802 90.800 90.800	87.850	86.500	0+980	92.675	90.175	89.505 89.350	89.782 89.710	1+000
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+020	92.675	90.175	89.505 89.350	89.782 89.710	1+040
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+060	92.675	90.175	89.505 89.350	89.782 89.710	1+080
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+100	92.675	90.175	89.505 89.350	89.782 89.710	1+120
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+140	92.675	90.175	89.505 89.350	89.782 89.710	1+160
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+180	92.675	90.175	89.505 89.350	89.782 89.710	1+200
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+220	92.675	90.175	89.505 89.350	89.782 89.710	1+240
93.480 93.453 93.250 93.344 93.379	90.782 90.783 90.710	90.846 90.715W 90.000N	89.505 89.350	1+260	92.675	90.175	89.505 89.350	89.782 89.710	1+280

CITY FILE No. D07-12-22-0169 D07-16-22-0010

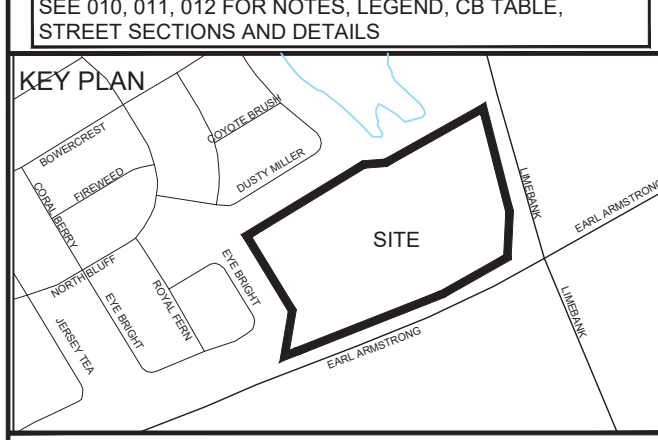


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9	REVISED FOR CONSTRUCTION	2023-09-06
10	REVISED MH LID ELEVATIONS	2023-10-06
11	REVISED BUILDING H	2023-11-03
12	REVISED STREET NAME	2024-01-10
13	REVISED PER NEW SITEPLAN 2024-02-08	2024-02-13



CONSULTANTS

Owner / Applicant:
 Urbandale Corporation

Architect:
 Dredge Leahy Architecture Inc.

Civil Engineers:
 IBI Group

Structural Engineers:
 Cleland Jardine Engineering Ltd

Planning:
 Fotenn

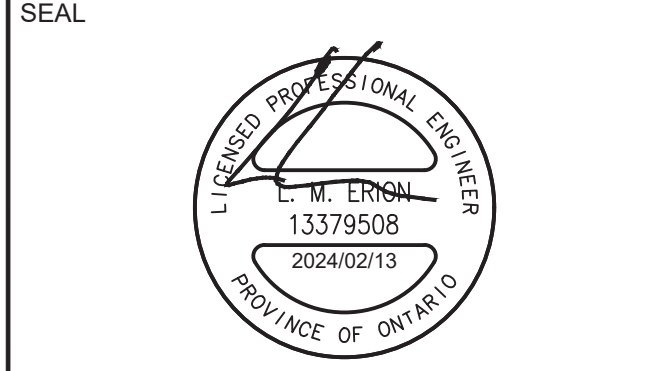
Landscape Architect:
 CSW Landscape Architects Ltd

Surveyor:
 Annis O'Sullivan Vollebakk Ltd

Geotechnical:
 Paterson and Associates

Electrical:
 JRP Engineering

Mechanical:
 JRP Engineering



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PROJECT
 1515 EARL ARMSTRONG PLAZA

PROJECT NO:
 137404

DRAWN BY:
 EH

CHECKED BY:
 TRB

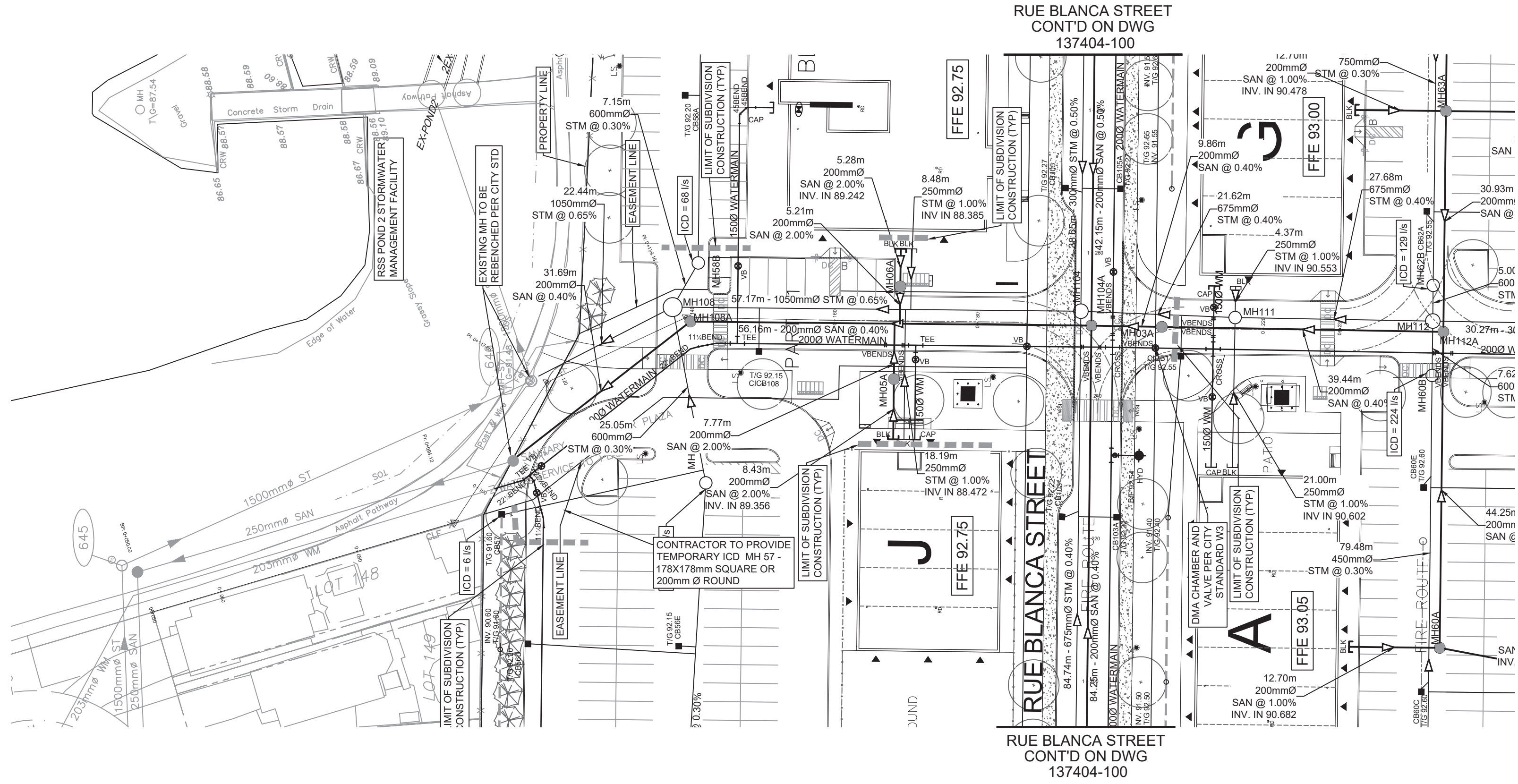
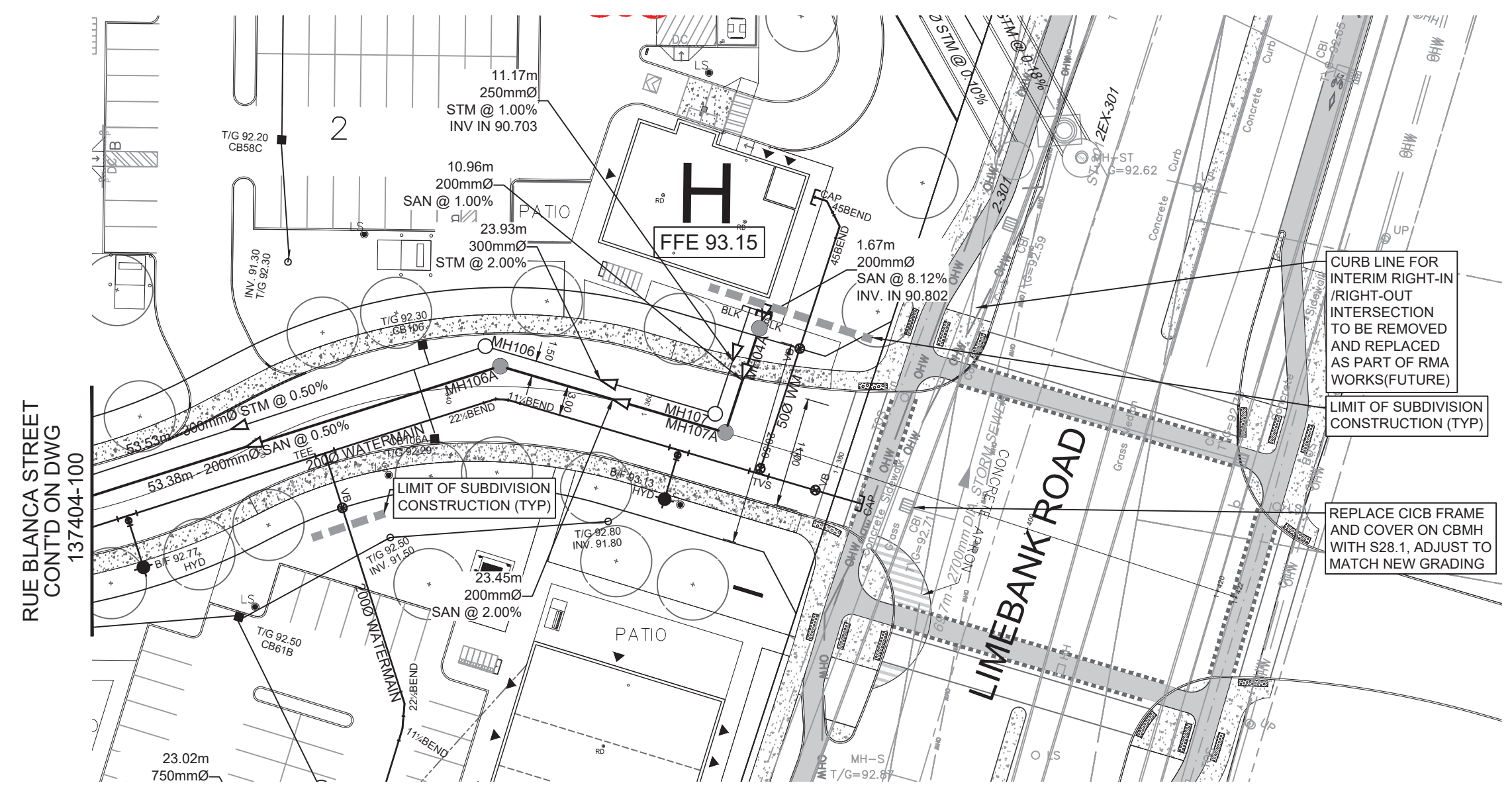
PROJECT MGR:
 SEL

APPROVED BY:
 TRB

SHEET TITLE
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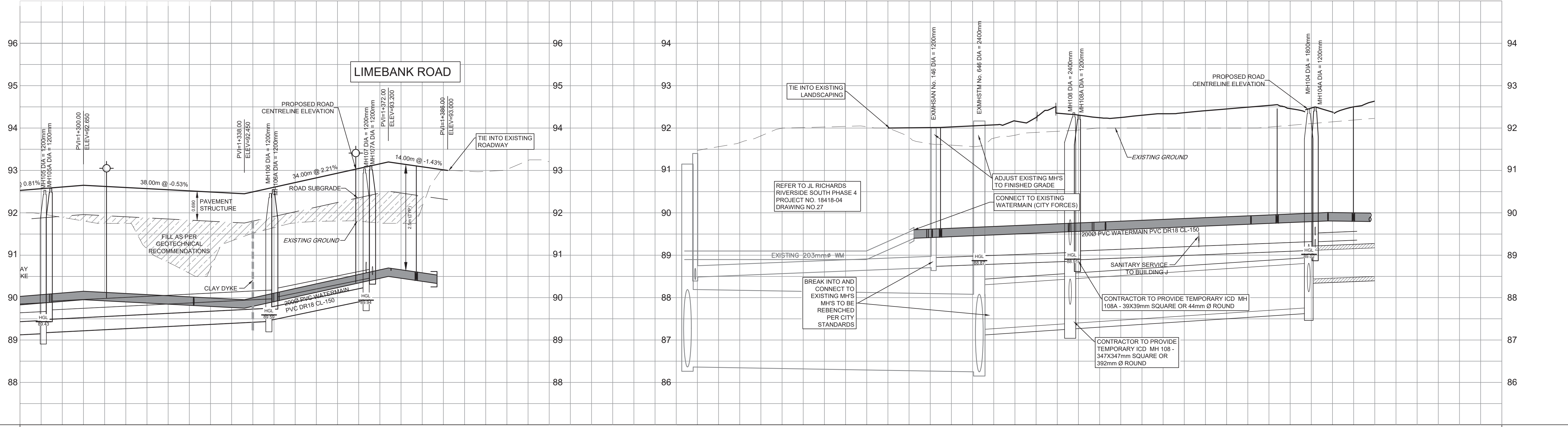
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ISSUE
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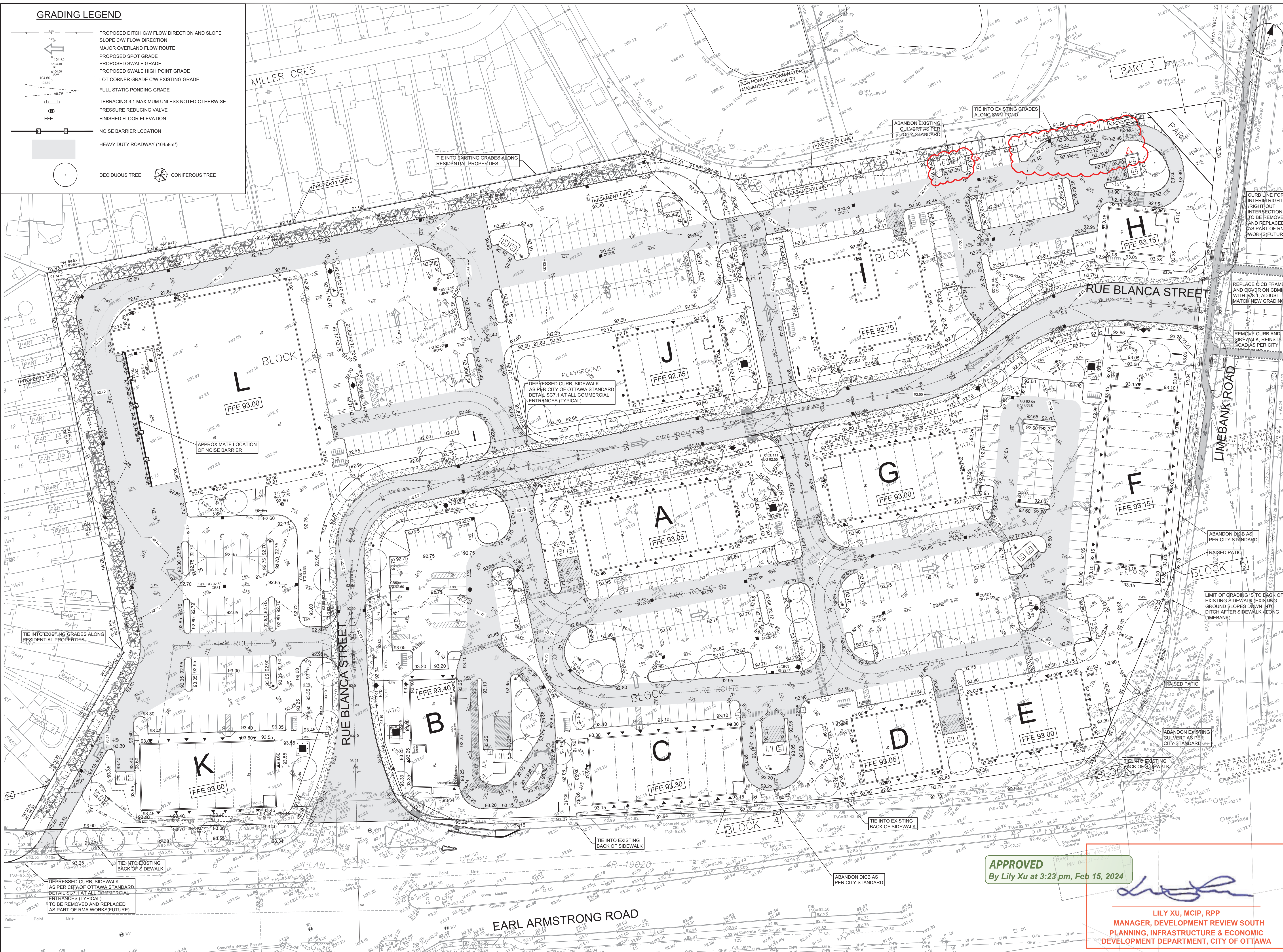
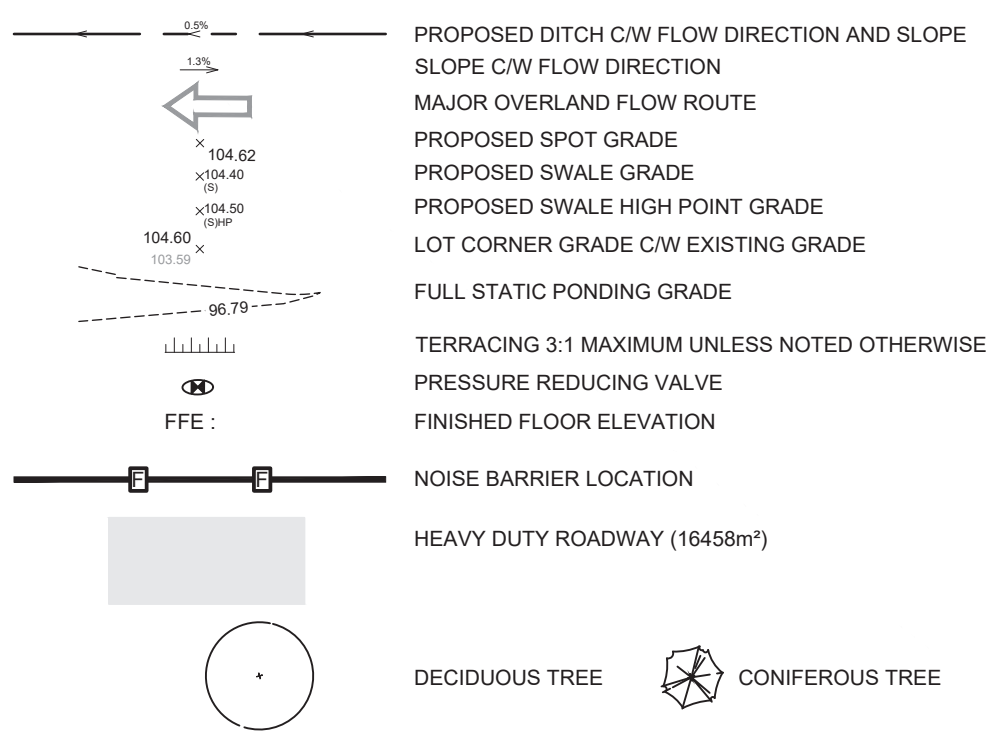
LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



ROAD GRADE	TOP OF WATERMAIN	STM SEWER INVERT	SAN SEWER INVERT	STATION	ROAD GRADE	TOP OF WATERMAIN	STM SEWER INVERT	SAN SEWER INVERT	STATION
92.650	90.087	88.155SW 88.173NE	88.683SW 88.711NE	1+300	92.454	90.045	88.442SW 88.462E	88.120NW 88.165SW 88.305E	1+340
92.454	90.013	53.53m - 300mm PVC DR-35 STM @ 0.50%	53.38m - 200mm PVC DR-35 SAN @ 0.50%	1+320	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	1+340
92.454	90.013	23.93m 300mm PVC DR-35 STM @ 2.00%	23.45m 200mm PVC DR-35 SAN @ 2.00%	1+360	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	1+360
92.454	90.013	39.8m - 150mm ST CONC. CL 100-D @ 0.18%	54.8m - 250mm SAN PVC DR-35 @ 0.36%	0+060	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+060
92.454	90.013	57.17m - 105mm CONC. CL 100-D STM @ 0.65%	56.16m - 200mm PVC DR-35 SAN @ 0.40%	0+120	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+120
92.454	90.013	7.15m 600mm STM @ 0.30%	7.15m 600mm STM @ 0.30%	0+140	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+140
92.454	90.013	5.28m 200mm STM @ 1.00% INV IN 89.242	5.28m 200mm STM @ 1.00% INV IN 89.242	0+160	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+160
92.454	90.013	8.48m 250mm STM @ 1.00% INV IN 88.382	8.48m 250mm STM @ 1.00% INV IN 88.382	0+180	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+180
92.454	90.013	21.00m 250mm STM @ 1.00% INV IN 90.602	21.00m 250mm STM @ 1.00% INV IN 90.602	0+200	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+200
92.454	90.013	4.37m 250mm STM @ 0.30%	4.37m 250mm STM @ 0.30%	0+220	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+220
92.454	90.013	39.44m 450mm STM @ 0.30%	39.44m 450mm STM @ 0.30%	0+240	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+240
92.454	90.013	7.62m 600mm STM @ 0.30%	7.62m 600mm STM @ 0.30%	0+260	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+260
92.454	90.013	12.70m 200mm SAN @ 1.00% INV IN 90.882	12.70m 200mm SAN @ 1.00% INV IN 90.882	0+280	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+280
92.454	90.013	30.27m - 31 200mm STM @ 0.40%	30.27m - 31 200mm STM @ 0.40%	0+300	92.454	90.013	88.442SW 88.462E	88.120NW 88.165SW 88.305E	0+300

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 CITY PLAN No. 18900

GRADING LEGEND



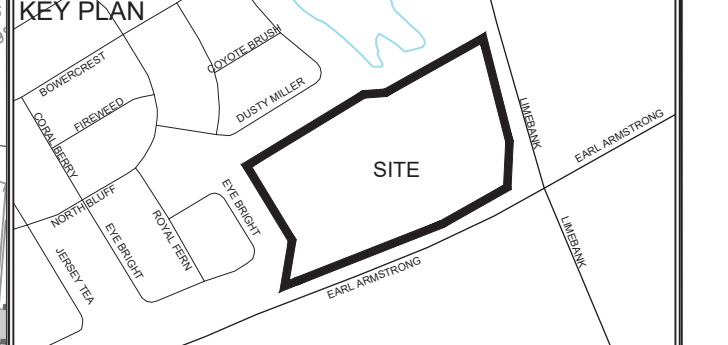
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6	REVISED PER NEW SITE PLAN	2023-06-29
7	ISSUED FOR CONSTRUCTION	2023-07-28
8	REVISED EASEMENT	2023-08-11
9	RE-ISSUED FOR CONSTRUCTION	2023-09-06
10	REVISED MH LID ELEVATIONS	2023-10-06
11	REVISED BUILDING H	2023-11-03
12	REVISED STREET NAME	2024-01-10
13	REVISED PER NEW SITE PLAN 2024-02-08	2024-02-13



CONSULTANTS

Owner / Applicant:
 Urbandale Corporation

Architect:
 Dreidge Leahy Architecture Inc.

Civil Engineers:
 IBI Group

Structural Engineers:
 Cleland Jardine Engineering Ltd

Planning:
 Fotenn

Landscape Architect:
 CSW Landscape Architects Ltd

Surveyor:
 Annis O'Sullivan Vollebakk Ltd

Geotechnical:
 Paterson and Associates

Electrical:
 JRP Engineering

Mechanical:
 JRP Engineering

SEAL

PROJECT
 1515 EARL ARMSTRONG PLAZA

PROJECT NO.:
 137404

DRAWN BY:
 EH

CHECKED BY:
 TRB

PROJECT MGR:
 SEL

APPROVED BY:
 TRB

SHEET TITLE
 GRADING PLAN

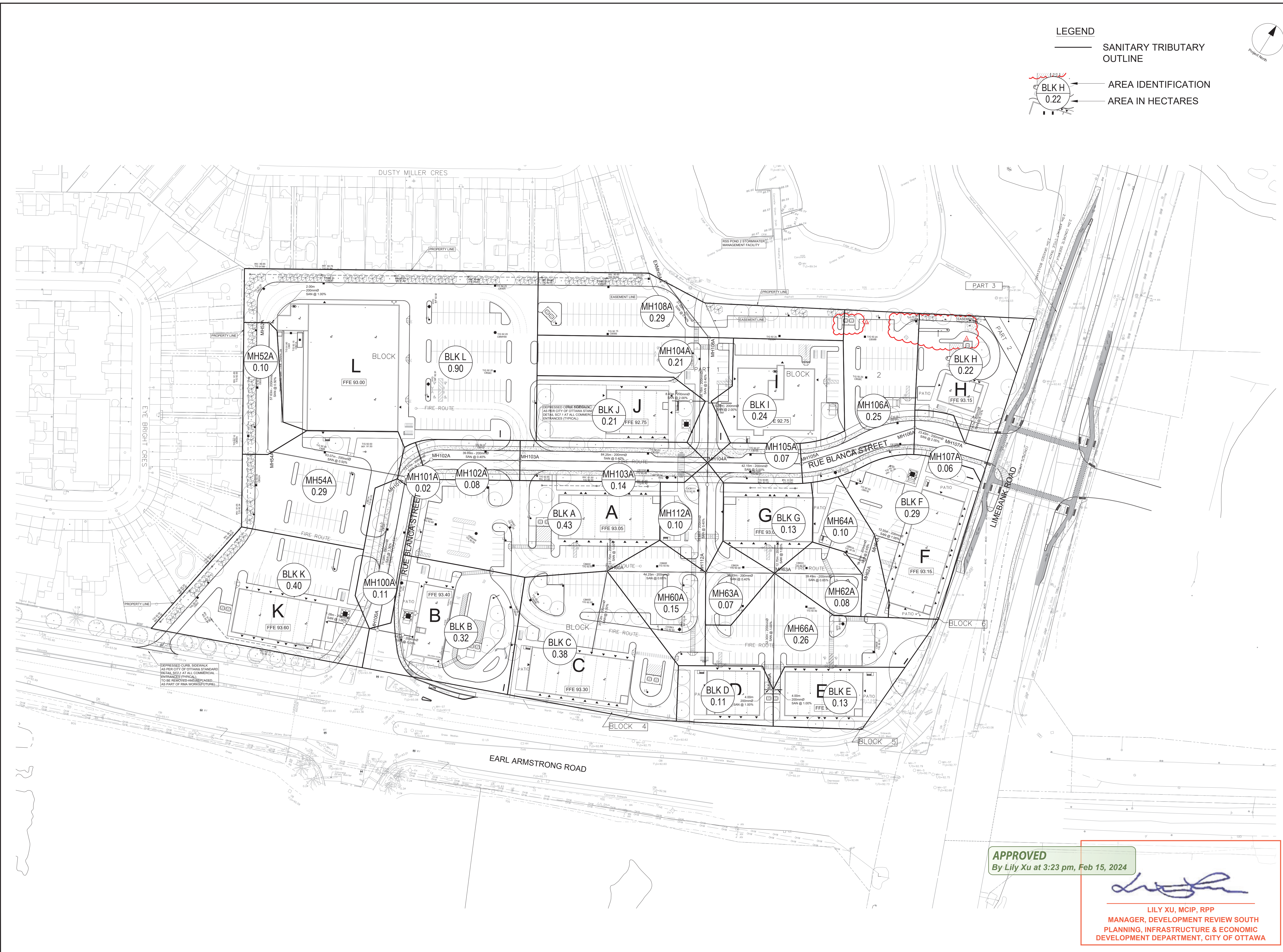
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CITY PLAN No. 18900

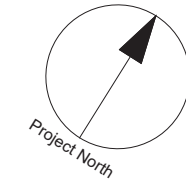
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 By Lily Xu at 3:23 pm, Feb 15, 2024

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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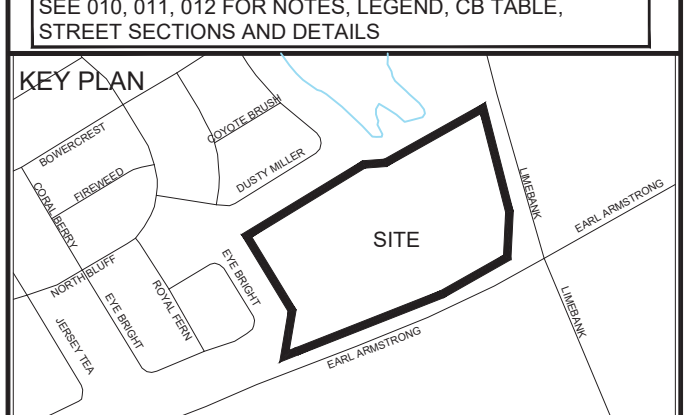
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13	REVISED PER NEW SITEPLAN 2024-02-08	2024-02-13



CONSULTANTS

Owner / Applicant:
 Urbandale Corporation

Architect:
 Dredge Leahy Architecture Inc.

Civil Engineers:
 IBI Group

Structural Engineers:
 Cleland Jardine Engineering Ltd

Planning:
 Fotenn

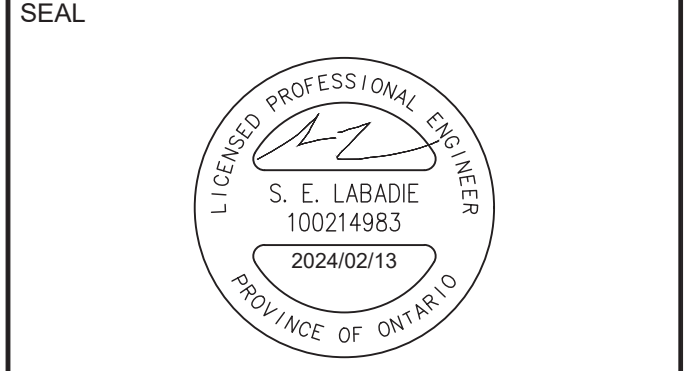
Landscape Architect:
 CSW Landscape Architects Ltd

Surveyor:
 Annis O'Sullivan Vollebakk Ltd

Geotechnical:
 Paterson and Associates

Electrical:
 JRP Engineering

Mechanical:
 JRP Engineering



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PROJECT
 1515 EARL ARMSTRONG PLAZA

PROJECT NO:
 137404

DRAWN BY: EH
CHECKED BY: TRB

PROJECT MGR: SEL
APPROVED BY: TRB

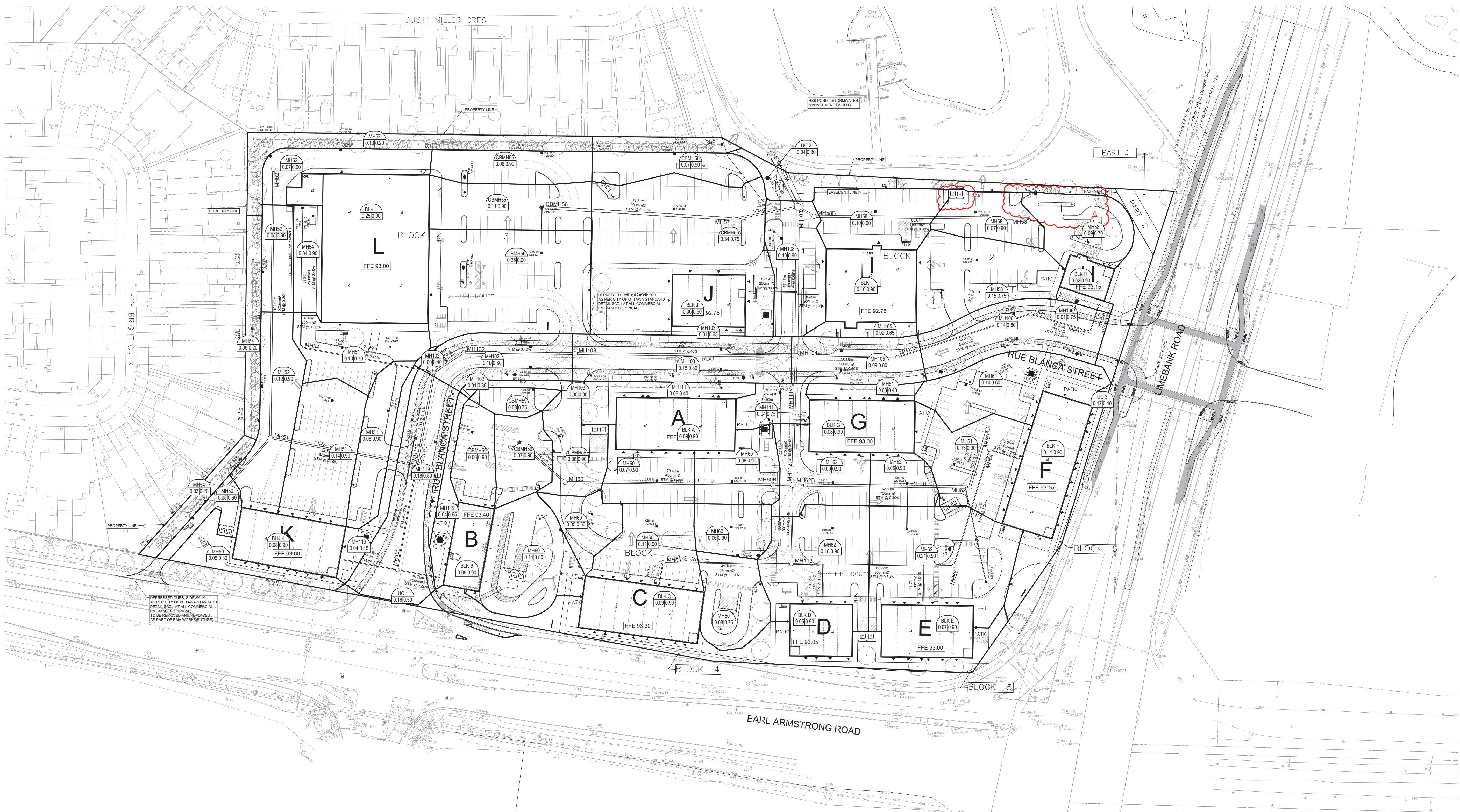
SHEET TITLE
 SANITARY TRIBUTARY AREA PLAN

SHEET NUMBER 400 **ISSUE** 13

APPROVED
 By Lily Xu at 3:23 pm, Feb 15, 2024

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

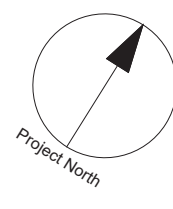
CITY FILE No. D07-12-22-0169 D07-16-22-0010



LEGEND

— STORM TRIBUTARY OUTLINE

— AREA NUMBER
— COEFFICIENT
— AREA (ha)



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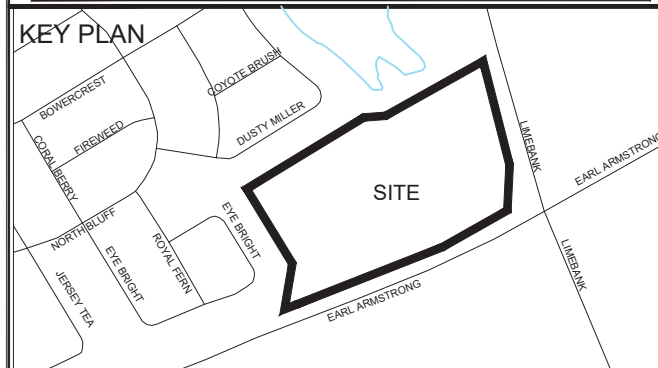
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SEE 010, 011, 012 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS.



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Structural Engineers
Cleland Jardine Engineering Ltd

Planning:
Fotenn

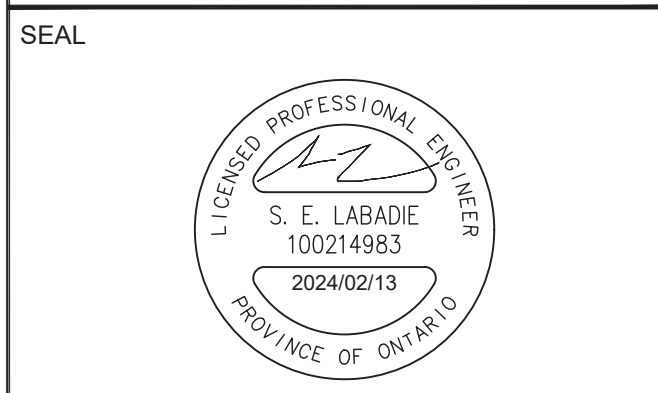
Landscape Architect:
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Surveyor:
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PROJECT
1515 EARL ARMSTRONG PLAZA

PROJECT NO:
137404

DRAWN BY:
EH

PROJECT MGR:
SEL

CHECKED BY:
TRB

APPROVED BY:
TRB

SHEET TITLE
STORM DRAINAGE AREA PLAN

SHEET NUMBER
500

ISSUE
13

APPROVED
By Lily Xu at 3:24 pm, Feb 15, 2024

Lily Xu

LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA



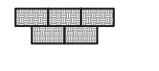


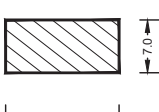
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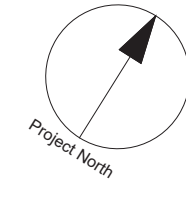
NOTES:

THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE FOR PROTECTION OF THE AREA DRAINAGE SYSTEM AND THE RECEIVING WATERCOURSE, DURING CONSTRUCTION ACTIVITIES. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY.

- SILT FENCE TO BE ERECTED PRIOR TO EARTH WORKS BEING COMMENCED. SILT FENCE TO BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED OR UNTIL START OF SUBSEQUENT PHASE.
- STRAW BALE SEDIMENT TRAPS TO BE CONSTRUCTED IN EXISTING ROAD SIDE DITCHES. TRAPS TO REMAIN AND BE MAINTAINED UNTIL VEGETATION IS ESTABLISHED.
- SILT SACK TO BE PLACED AND MAINTAINED UNDER COVER OF ALL CATCHBASINS. GEOTEXTILE SILT SACK IN STREET CBs TO REMAIN UNTIL ALL CURBS ARE CONSTRUCTED. GEOTEXTILE FABRIC IN RYCBs TO REMAIN UNTIL VEGETATION IS ESTABLISHED. ALL CATCHBASINS TO BE REGULARLY INSPECTED AND CLEANED, AS NECESSARY, UNTIL SOD AND CURBS ARE CONSTRUCTED.
- CONTRACTOR TO PROVIDE DETAILS ON LOCATION(S) AND DESIGN OF DEWATERING TRAP(S) PRIOR TO COMMENCING WORK. CONTRACTOR ALSO RESPONSIBLE FOR MAINTAINING TRAP(S) AND ADJUSTING SIZE(S) IF DEEMED REQUIRED BY THE ENGINEER DURING CONSTRUCTION.
- CONTRACTOR TO PROTECT EXISTING CATCHBASINS WITH FILTER CLOTH UNDER THE COVERS TO TRAP SEDIMENTATION. REFER TO IDENTIFIED STRUCTURES.
- WORKS NOTED ABOVE ARE TO BE INSTALLED, INSPECTED, MAINTAINED AND ULTIMATELY REMOVED BY SERVICING CONTRACTOR.
- THIS IS A "LIVING DOCUMENT" AND MAY BE MODIFIED IN THE EVENT THE PROPOSED CONTROL MEASURES ARE INSUFFICIENT

LEGEND:

-  LIGHT DUTY SILT FENCE AS PER OPSD-219.110
-  SNOW FENCE
-  STRAW BALE CHECK DAM AS PER OPSD-219.180
-  ROCK CHECK DAM AS PER OPSD-219.210
-  SILT SACK PLACED UNDER EXISTING CB COVER
-  TEMPORARY MUD MAT 0.15m THICK 50mm CLEAR STONE ON NON WOVEN FILTER CLOTH



CLIENT



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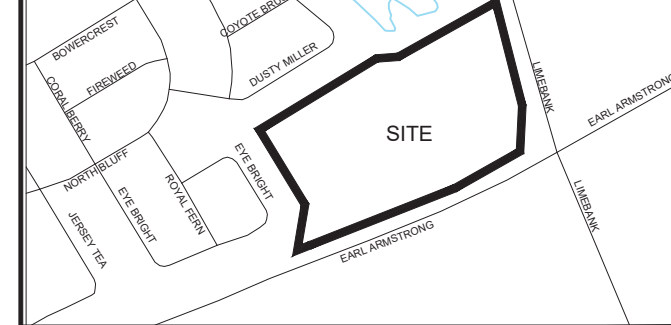
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SEE 010, 011, 012 FOR NOTES, LEGEND, CB TABLE, STREET SECTIONS AND DETAILS.

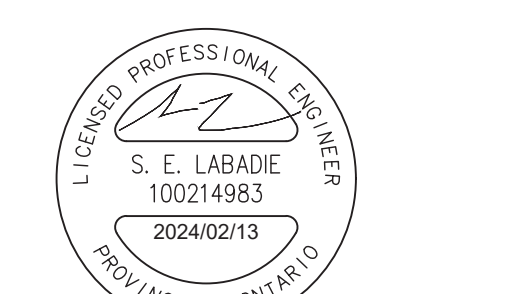
KEY PLAN



CONSULTANTS

- Owner / Applicant:
Urbandale Corporation
- Architect:
Dredge Leahy Architecture Inc.
- Civil Engineers:
IBI Group
- Structural Engineers:
Cleland Jardine Engineering Ltd
- Planning:
Fotenn
- Landscape Architect:
CSW Landscape Architects Ltd
- Surveyor:
Annis O'Sullivan Vollebakk Ltd
- Geotechnical:
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- Electrical:
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- Mechanical:
JRP Engineering

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PROJECT
1515 EARL ARMSTRONG PLAZA

PROJECT NO: 137404
DRAWN BY: SEL
PROJECT MGR: SEL
CHECKED BY: TRB
APPROVED BY: TRB

SHEET TITLE
SEDIMENT - EROSION PLAN

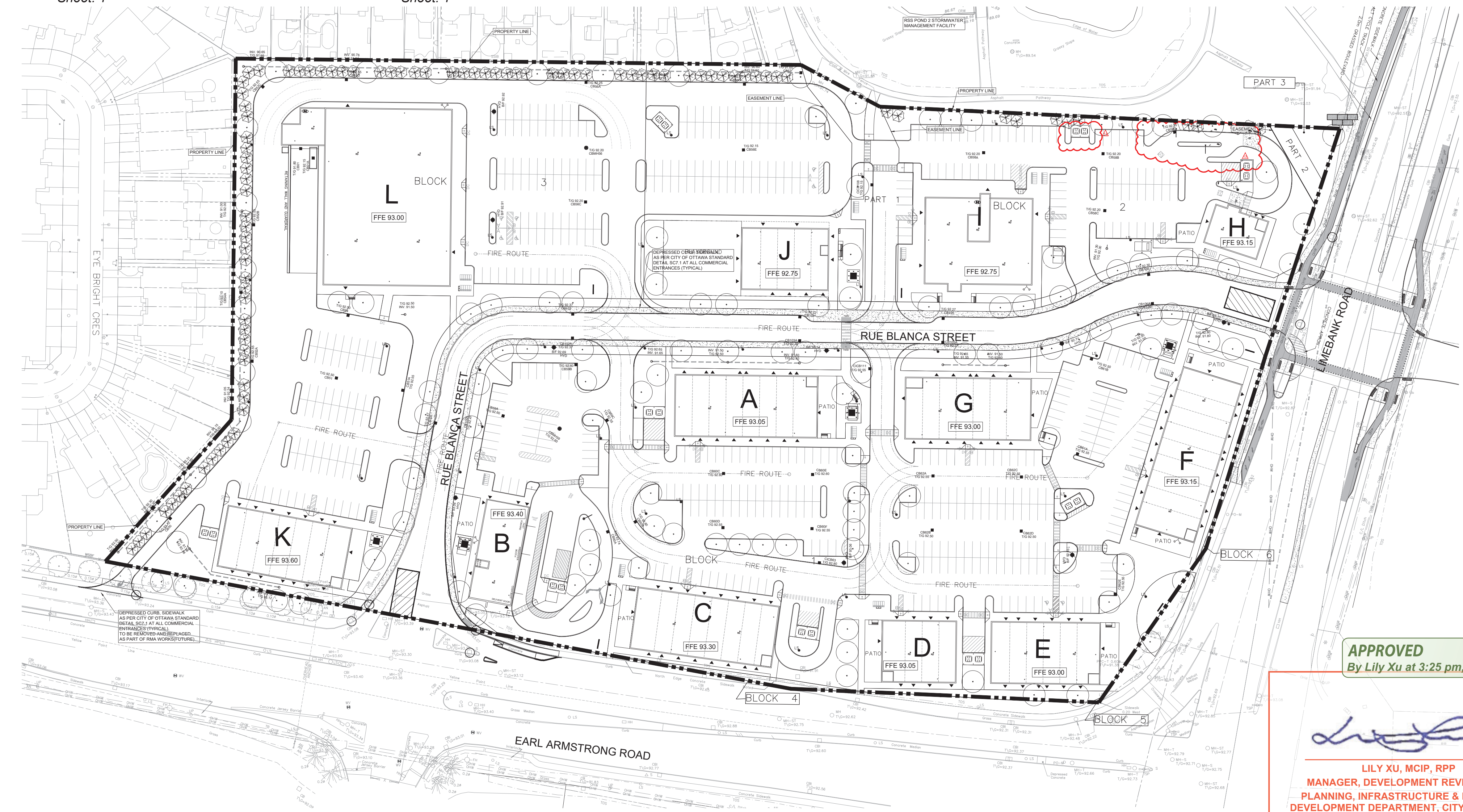
SHEET NUMBER 900 **ISSUE** 13

CITY PLAN No. 18900

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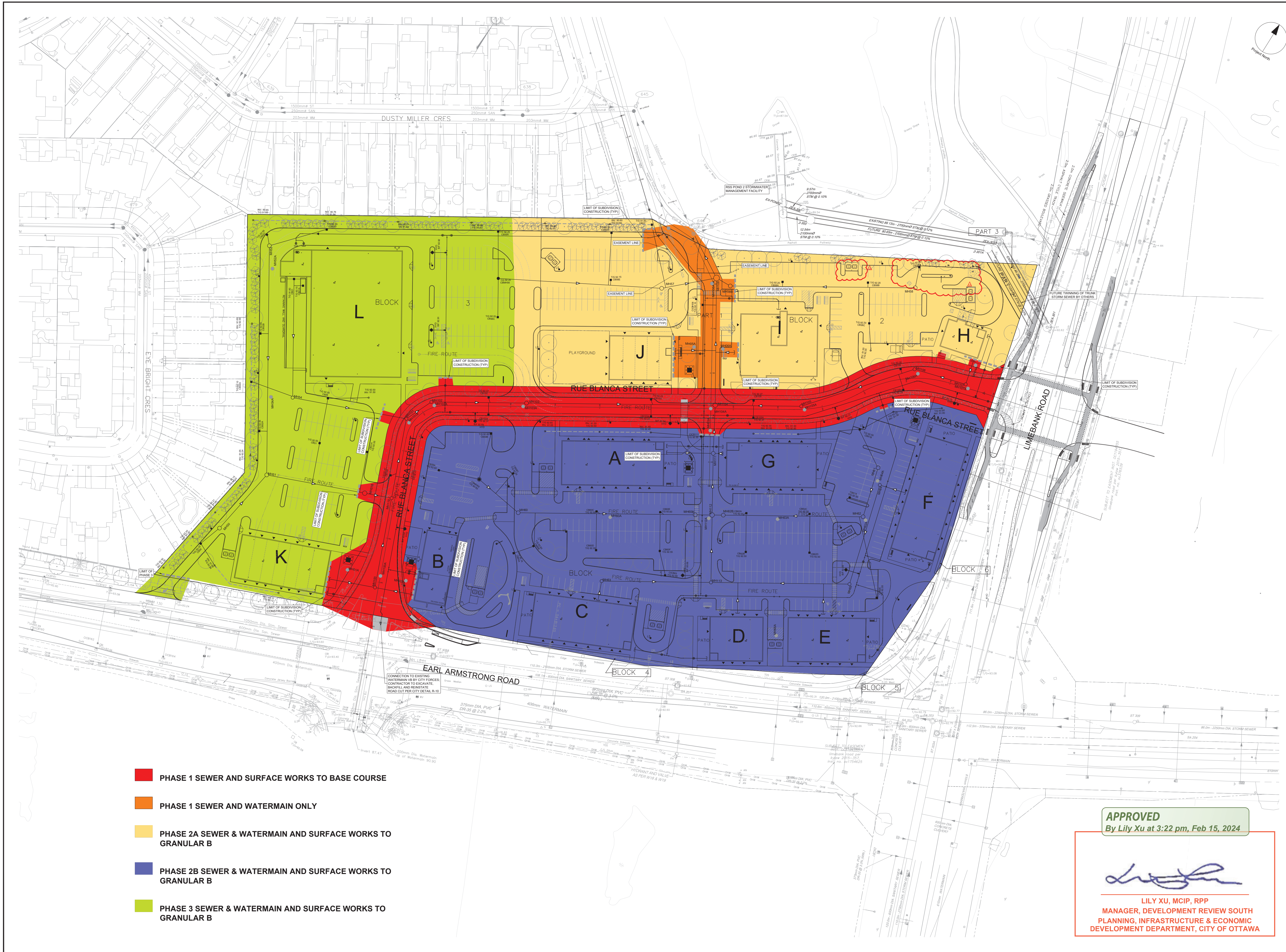


APPROVED
By Lily Xu at 3:25 pm, Feb 15, 2024



LILY XU, MCIP, RPP
MANAGER, DEVELOPMENT REVIEW SOUTH
PLANNING, INFRASTRUCTURE & ECONOMIC
DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

CITY FILE No. D07-12-22-0169 D07-16-22-0010
Plot: Tuesday, February 13, 2024, 2:08:12 PM by Denis Dore



- PHASE 1 SEWER AND SURFACE WORKS TO BASE COURSE
- PHASE 1 SEWER AND WATERMAIN ONLY
- PHASE 2A SEWER & WATERMAIN AND SURFACE WORKS TO GRANULAR B
- PHASE 2B SEWER & WATERMAIN AND SURFACE WORKS TO GRANULAR B
- PHASE 3 SEWER & WATERMAIN AND SURFACE WORKS TO GRANULAR B

APPROVED
 By Lily Xu at 3:22 pm, Feb 15, 2024

LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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KEY PLAN

- CONSULTANTS**
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 - Architect: Dreidge Leahy Architecture Inc.
 - Civil Engineers: IBI Group
 - Structural Engineers: Cleland Jardine Engineering Ltd
 - Planning: Fotenn
 - Landscape Architect: CSW Landscape Architects Ltd
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 ibigroup.com

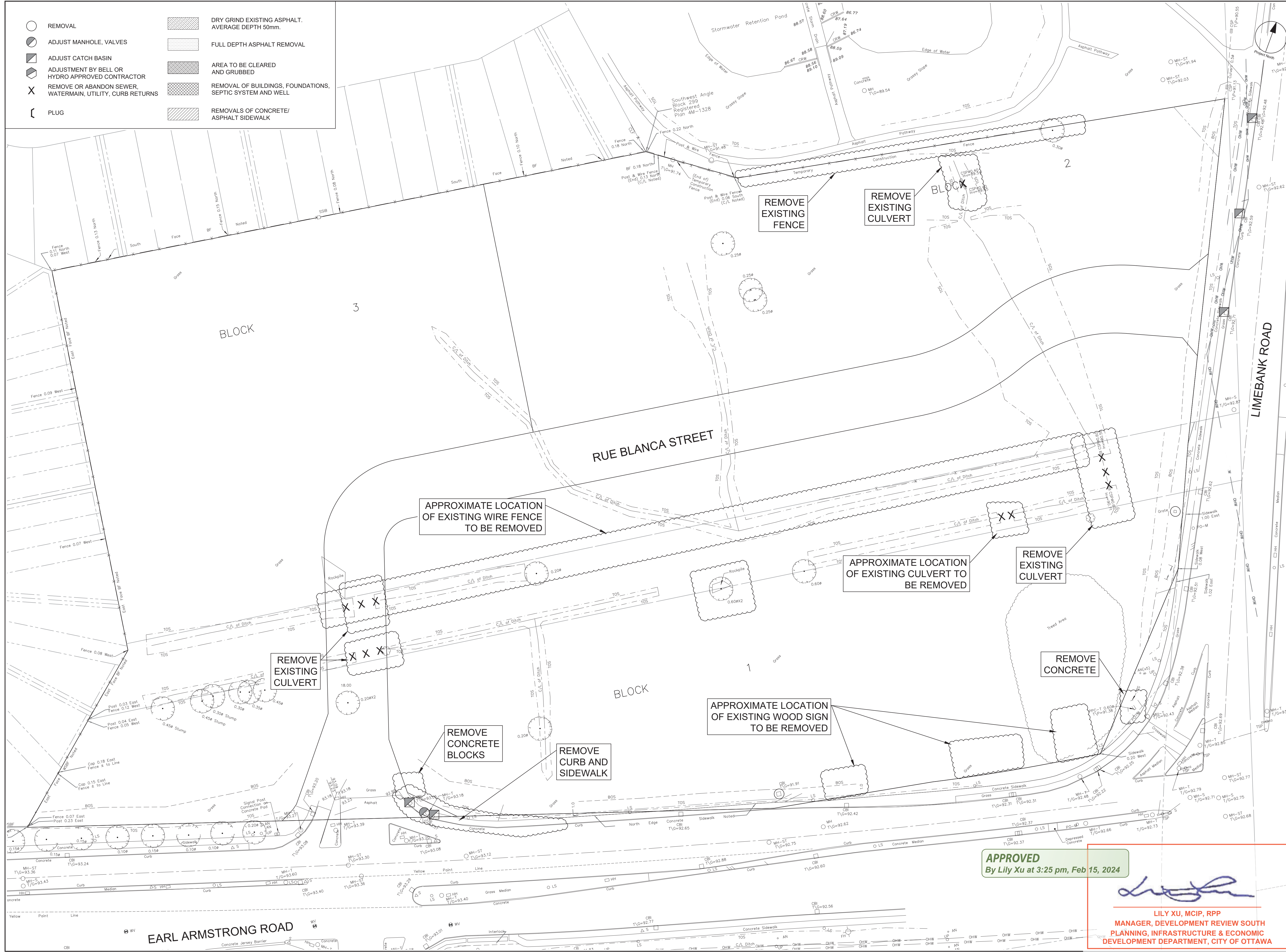
PROJECT
 1515 EARL ARMSTRONG PLAZA

PROJECT NO: 137404
DRAWN BY: EH
PROJECT MGR: SEL
CHECKED BY: TRB
APPROVED BY: TRB

SHEET TITLE
 PHASING PLAN

SHEET NUMBER PH **ISSUE** 13

File Location: \\137404_Earl_Armstrong_03_Design\03_Phasings\PHASING PLAN.dwg Last Saved: February 12, 2024, by: ddore Plotted: Tuesday, February 13, 2024, 2:04:46 PM by: Denis Dore
 SCALE CHECK: CITY FILE No. D07-12-22-0169 D07-16-22-0010



- REMOVAL
- ADJUST MANHOLE, VALVES
- ▣ ADJUST CATCH BASIN
- ▣ ADJUSTMENT BY BELL OR HYDRO APPROVED CONTRACTOR
- X REMOVE OR ABANDON SEWER, WATERMAIN, UTILITY, CURB RETURNS
- ┌ PLUG
- ▨ DRY GRIND EXISTING ASPHALT, AVERAGE DEPTH 50mm.
- ▨ FULL DEPTH ASPHALT REMOVAL
- ▨ AREA TO BE CLEARED AND GRUBBED
- ▨ REMOVAL OF BUILDINGS, FOUNDATIONS, SEPTIC SYSTEM AND WELL
- ▨ REMOVALS OF CONCRETE/ ASPHALT SIDEWALK

CLIENT

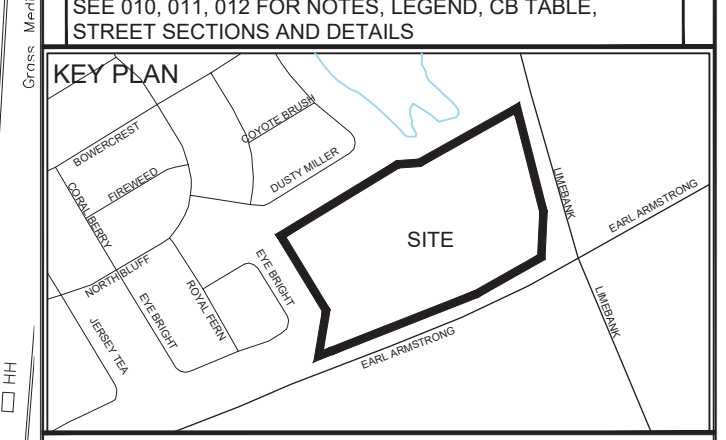
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- SCALE
-

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PROJECT
1515 EARL ARMSTRONG PLAZA

PROJECT NO:
137404

DRAWN BY:
EH

CHECKED BY:
TRB

PROJECT MGR:
SEL

APPROVED BY:
TRB

SHEET TITLE
REMOVAL PLAN

SHEET NUMBER
R

ISSUE
12

APPROVED
 By Lily Xu at 3:25 pm, Feb 15, 2024

[Signature]
LILY XU, MCIP, RPP
 MANAGER, DEVELOPMENT REVIEW SOUTH
 PLANNING, INFRASTRUCTURE & ECONOMIC
 DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

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