

**SITE PLAN OF SURVEY PLAN, PART 1 PLAN OF PART OF LOT 1 REGISTERED PLAN 523, CITY OF OTTAWA**

**ZONING:** AM2|B1|H(1)  
**ARTERIAL MAINS STREET ZONE (SECTIONS 185 AND 186) CITY OF OTTAWA;**  
**URBAN EXCEPTION 2161, MAXIMUM HEIGHT 11.0 m**

**PROPOSED BUILDING TYPE:** 4 STOREY LOW RISE RENTAL BUILDING  
**24 RESIDENTIAL RENTAL UNITS**

**LOT DEPTH:** 55.67m (182.64')

**ADJACENT ZONING:**  
 NORTH: AM10  
 SOUTH: R1GG  
 WEST SIDE: AM10  
 EAST SIDE: L1

**SCHEDULE 1A AREA: AREA 'C'**  
**SCHEDULE 1A AREA: AREA 'C'**

**LOT INFO**

U. STANDARD	817 ROSEVIEW	817 ROSEVIEW	EXISTING	NOTES
LOT WIDTH:	n/a	20.12m	20.12m	
LOT AREA:	n/a	1100m <sup>2</sup>	1100m <sup>2</sup>	
HEIGHT:	11.0m	14.30m	4.0m	
FRONT YARD:	3.0m	3.05m	7.7m	
CORNER YARD:	n/a	n/a	n/a	
REAR YARD:	7.5m	13.65m	37.3m	
INTERIOR YARD:	0.0mcom. zones	1.22m	4.0m	
	7.5m res. zones	7.50m		
AMENITY AREA:	144m <sup>2</sup>	212.5m <sup>2</sup>	n/a	M.V.R.
PARKING SPACES:	29 req.	13	0	
BIKE SPACES:	5 req.	1	0	
M.L.C.:	NO MAX.	20	0	

**BUILDING AREAS**

BASEMENT FL. GFA:	160.0m <sup>2</sup>	-
FIRST FL. GFA:	175.5m <sup>2</sup>	-
SECOND FL. GFA:	387.3m <sup>2</sup>	-
THIRD FL. GFA:	367.3m <sup>2</sup>	-
FOURTH FL. GFA:	285.7m <sup>2</sup>	-
STORAGE:	70.1m <sup>2</sup>	-
GARAGE/PORT:	123.5m <sup>2</sup>	-
EXTERIOR (ALL FLOORS):	456.3m <sup>2</sup>	-
TOTAL GFA:	1355.8m <sup>2</sup>	-
TOTAL ALL AREAS:	1882.2m <sup>2</sup>	NOT INCL. CARPORTS

**PROPOSED SITE DEVELOPMENT INFO**

NEW GROSS FLOOR AREA:	1355.8m <sup>2</sup>	-	
EX. GROSS FLOOR AREA:	0.0m <sup>2</sup>	144m <sup>2</sup>	EX. DEMOTD
NUMBER OF UNITS:	24	SINGLE	
PROPOSED STOREYS:	4		

**BUILDING COVERAGE:** 39.8%  
**SOFT LANDSCAPING CVG.:** 12.8%  
**HARD LANDSCAPING CVG.:** 4.8%  
**DECKSPORCHES/STEPS:** 0.0%  
**ASPHALT CVG.:** 42.7%  
**OTHER:** 1.0%  
 Window Walls

**SURVEY INFO:**  
 SURVEY INFO TAKEN FROM SURVEYOR'S REAL PROPERTY REPORT PART 1 - PLAN OF PART OF LOT 1, REGISTERED PLAN 523, CITY OF OTTAWA  
 PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD  
 MAY 20, 2021

**SITE NOTES**

NEW ROOF DOWN SPOUTS SHALL NOT BE DIRECTED TOWARDS THE ADJACENT PROPERTIES

EXCAVATED MATERIAL TO BE REMOVED FROM PROPERTY

ALL GRADE TO SLOPE 2% AWAY FROM FOUNDATION WALL

ALL MEASUREMENTS ARE METRIC (ACCOMPANYING IMPERIAL MEAS. MAY APPEAR)

EXISTING GRADING AND DRAINAGE PATTERNS NOT TO BE ALTERED UNLESS OTHERWISE NOTED BY THE CIVIL ENGINEER

SNOW ACCUMULATION TO BE REMOVED OFF SITE IMMEDIATELY AS NEEDED

**EXISTING PLANTING MATERIAL**

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
<b>DECIDUOUS TREES</b>				
<b>CONIFEROUS TREES</b>				
<b>SHRUBS</b>				

**NEW PLANTING MATERIAL**

CODE	COMMON NAME	QTY.	SIZE (DIA.)	CONDITION/NOTES
<b>DECIDUOUS TREES</b>				
DT1	RED MAPLE	2	50mm Cal.	
<b>CONIFEROUS TREES</b>				
<b>SHRUBS</b>				

**TREE CONSERVATION NOTES**

- ERECT A FENCE AT THE CRITICAL ROOT ZONE (CRZ) OF TREES.
- DO NOT PLACE ANY MATERIAL OR EQUIPMENT WITHIN THE CRZ OF THE TREE.
- DO NOT ATTACH ANY SIGNS, NOTICES OR POSTERS TO ANY TREE.
- DO NOT RAISE OR LOWER THE EXISTING GRADE WITHIN THE CRZ WITHOUT APPROVAL.
- TUNNEL OR BORE WHEN DIGGING WITHIN THE CRZ OF A TREE.
- DO NOT DAMAGE THE ROOT SYSTEM, TRUNK OR BRANCHES OF ANY TREE.
- ENSURE THAT EXHAUST FUMES FROM ALL EQUIPMENT ARE NOT DIRECTED TOWARDS ANY TREE'S CANOPY.

\* THE CRITICAL ROOT ZONE (CRZ) IS ESTABLISHED AS BEING 10 CENTIMETRES FROM THE TRUNK OF A TREE FOR EVERY CENTIMETRE OF TRUNK DIAMETER AT BREAST HEIGHT (DBH). THE CRZ IS CALCULATED AS DBH X 10 CM.  
 \* TREE PROTECTION FENCE (PF) TO BE ERRECTED BEFORE AND REMAIN UNTIL BUILDING CONSTRUCTION HAS COMPLETED AND TO CONSIST OF 1.8m HIGH PLYWOOD HOARDING (SEE DIAGRAM BELOW).

**1 SITE PLAN**  
 SCALE 3/32" = 1'-0"

**SITE LEGEND**

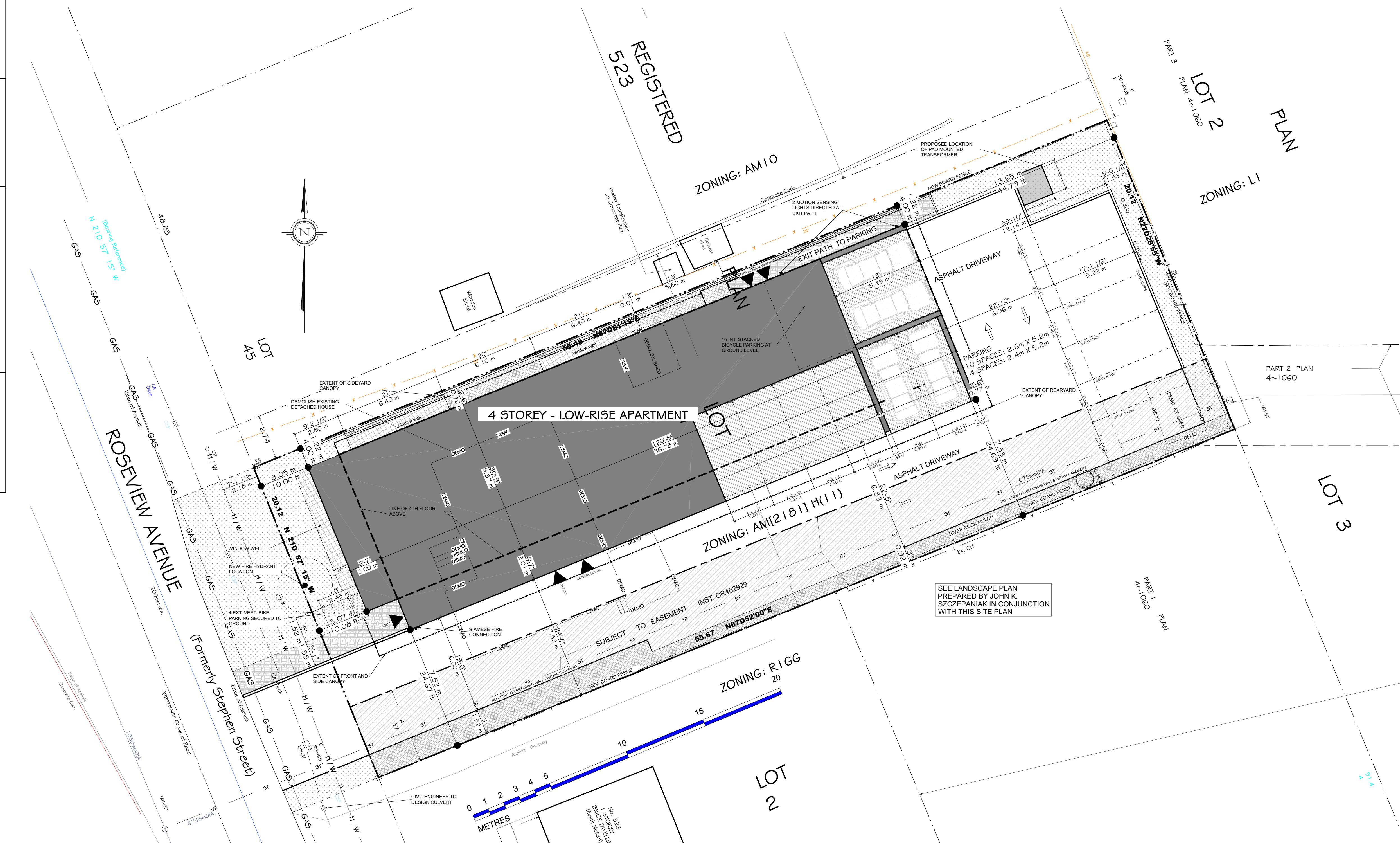
- EX. TREE TO BE REMOVED
- NEW CONIFEROUS TREE
- DENOTES SOFT LANDSCAPING
- DENOTES HARD LANDSCAPING
- EXISTING BUILDING FOOTPRINT
- PROPOSED RIVERSTONE
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WOOD DECKS/BALCONIES
- CAR PARKING SPACE (ASPHALT)
- BIKCYCLE PARKING (ASPHALT)
- WASTE COLLECTION AREA
- SNOW STORAGE AREA
- PROPOSED/EXISTING ENTRY/EXIT
- PF - TEMPORARY PROTECTION FENCE
- EX. UTILITY POLE
- EX. CHAINED LINK/BOARD FENCE
- PROPERTY LINE
- MOTION SENSING EXT. LIGHTS

**WASTE COLLECTION LEGEND**

- GB 3YD + 2YD GARBAGE CONTAINERS
- BB 2YD FIBRE CONTAINER
- B 2YD GML CONTAINER
- G 240L ORGANICS
- PRIVATE COLLECTION



**3 KEY PLAN & CONTEXT**  
 SCALE NO SCALE



*Allison Hamlin*

**ALLISON HAMLIN**  
**MANAGER (A), DEVELOPMENT REVIEW WEST**  
**PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT**  
**DEPARTMENT, CITY OF OTTAWA**

**APPROVED**  
 By Allison Hamlin at 1:55 pm, Jan 18, 2024

**UNPOISED ARCHITECTURE INC.**  
 5-16 SWIFTLAND AVE.  
 OTTAWA, ON K1N 7T6  
 AZUL DESIGNS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**RESPONSIBILITIES:**  
 DO NOT SCALE DRAWINGS  
 ALL DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2006  
 ALL CONTRACTORS MUST WORK IN ACCORDANCE WITH ALL LAWS, REGULATIONS AND BYLAWS HAVING JURISDICTION  
 IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT/DESIGNER  
 COPYRIGHT RESERVED  
 GENERAL NOTES:

**817 ROSEVIEW AVENUE**  
**SCOPE OF WORK: NEW 4 STOREY LOW RISE RENTAL BUILDING - 24 UNITS**

**CONTRACT DEVELOPER:**  
 PARISEL/LEONARDI  
 1000 SHEPPARD AVE. EAST  
 OTTAWA, ON K1W 7T6  
 K2E 1E6

**ARCHITECT/DESIGNER:**  
 UNPOISED ARCHITECTURE INC./AZUL DESIGNS  
 5-16 SWIFTLAND AVE.  
 OTTAWA, ON  
 K1N 7T6

**APPLICATION NUMBER:**  
 2024-00000000-0000  
 011 COUNCIL/PROVIDED OR SUITE 300  
 011 COUNCIL/PROVIDED OR SUITE 300  
 K2E 1E6

**CIVIL ENGINEER:**  
 ARCHITECT/DESIGNER  
 OTTAWA, ON  
 K1N 7T6

**LANDSCAPING:**  
 JOHN K. SZCZEPANIAK  
 P.O. Box 607, Sablet St  
 OTTAWA, ON  
 K1N 7T6

**SUBMITTER:**  
 ANNIS, O'SULLIVAN, VOLLEBEKK LTD  
 14 CONQUEST DRIVE SUITE 300  
 OTTAWA, ON  
 K2E 7J9

**CONSULTANTS:**  
 STRUCTURAL: TBD  
 MECHANICAL: TBD  
 ELECTRICAL: TBD

NO.	REVISION/ISSUE	DATE
4	REVISED SITE PLAN	06/09/23
3	REVISED SITE PLAN	06/09/21
2	REVISED SITE PLAN	07/20/21
1	PRELIMINARIES	07/20/21

PROJECT: **817 ROSEVIEW AVENUE**  
 817 ROSEVIEW AVE.  
 OTTAWA, ON K2E 1J3

DRAWING NAME: **SITE PLAN**

DRAWN BY: --- SHEET: **A1**

DATE: FEB. 10, 2021

SCALE: AS NOTED

**#18620**

**FILE NUMBER: D07-12-21-0165**