

CIVIL PLAN (REV#1.3) 2023/12/22  
 LANDSCAPING PLAN (REV#1.5) 2023/12/18  
 RMA-2023/10/20

**FUTURE  
 RESIDENTIAL**

**RESIDENTIAL**

**OPEN SPACE**

**ENVIRONMENTAL  
 PROTECTION**

**PARKING LEGEND**

	A	BARRIER FREE PARKING SPACE 5.2m X 3.4m (min.)
	B	BARRIER FREE PARKING SPACE 5.2m X 2.4m (min.)
	T	TYPICAL PARKING SPACE 5.2m X 2.6m (min.)
	V	TYPICAL PARKING SPACE FOR VISITORS 5.2m X 2.6m (min.)
	C	TYPICAL PARKING SPACE FOR SHOPPING CENTER 5.2m X 2.6m (min.)

**NOTES LIST**

# NOTE	DESCRIPTION
1	TOP OF SLOPE
2	EXISTING MUNICIPAL SEWER
3	EXISTING UTILITY POLE TO BE REMOVED
4	UNDERGROUND PARKING PILE OUTLINE
5	GROUND FLOOR OUTLINE
6	2ND FLOOR - OUTLINE
7	NEW SEWER
8	WATER COURSE CENTRELINE
9	RETAINING WALL
10	EXISTING UTILITY POLE
11	OVERHEAD WIRES
12	PRIVATE BALCONY
13	PRIVATE TERRACE
14	BIKE RACK
15	EXISTING FRESHWATER
16	P2 LEVEL - OUTLINE
17	DEPRESSED CURB (REFER TO CIVIL)
18	P1 LEVEL - OUTLINE
19	COMMERCIAL TERRACE
20	CANOPY PROFILE
21	WATER TANK ACCESS
22	PRE DEPARTMENT CONNECTION
23	THE ROAD WEIR/WEIR LIMITS
24	TACTILE SURFACE INDICATORS REQUIRED DEPRESSED CURBS (TYPICAL REFER TO CIVIL)
25	DEPRESSED CURB FOR FLOOD PATH (REFER TO CIVIL)
26	1/100 FLOODPLAIN - MCA
27	MEASURER BELT LIMIT
28	15m FROM TOP OF SLOPE
29	30m FROM CENTRELINE OF WATERCOURSE
30	10m FROM TOP OF SLOPE

**LINE TYPE LEGEND**

	PROPERTY LINE
	REQUIRED SETBACKS

**SURFACE LEGEND**

	PAVING (ON-SLAB) LARGE PATIO TILES
	CONCRETE PAVING
	STONE BALLAST ROOF
	TURF
	NATIVE SOIL / RIPARIAN SEED
	HEAVY DUTY PAVEMENT
	EXISTING BUILDING
	BARRIER FREE UNLOADING SPACE

**SITE STATISTICS**

LOT AREA	27 156 m <sup>2</sup>
FOOTPRINT	7 293 m <sup>2</sup>
CONSTRUCTION AREA ABOVE GROUND	44 758 m <sup>2</sup>
CONSTRUCTION AREA UNDERGROUND (BUILDING & PARKING)	30 352 m <sup>2</sup>
GROSS FLOOR AREA (ABOVE + BELOW GRADE)	75 110 m <sup>2</sup>

**SITE STATISTICS AS PER ZONING BY-LAW**

GROSS FLOOR AREA AS PER ZONING BY-LAW (ABOVE + BELOW GRADE)	40 128 m <sup>2</sup>
RESIDENTIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	39 627 m <sup>2</sup>
COMMERCIAL GROSS FLOOR AREA AS PER ZONING BY-LAW	501 m <sup>2</sup>

**910 MARCH ROAD - NUMBER OF UNITS**

P1 PARKING LEVEL	13 UNITS
1ST FLOOR LEVEL - GROSS AREA	42 UNITS
2ND FLOOR LEVEL - GROSS AREA	62 UNITS
3RD FLOOR LEVEL - GROSS AREA	62 UNITS
4TH FLOOR LEVEL - GROSS AREA	51 UNITS
5TH FLOOR LEVEL - GROSS AREA	44 UNITS
6TH FLOOR LEVEL - GROSS AREA	41 UNITS
7TH FLOOR LEVEL - GROSS AREA	35 UNITS
8TH FLOOR LEVEL - GROSS AREA	19 UNITS
8TH FLOOR LEVEL - GROSS AREA	17 UNITS
TOTAL	390 UNITS

**NUMBER OF PARKING SPACES**

1 Residents (parking space / dwelling unit)	390
Dwelling units in a mixed-use building, Area C or D	
0.2 Visitors (parking space / dwelling unit)	79
Commercial parking (3.4 X 100SQM REQ)	18
*THIS IS THE COUNT OF EXTERIOR PARKING	
<b>TOTAL PARKING REQUIRED</b>	<b>487 (MIN REQ)</b>
<b>TOTAL PARKING PROVIDED</b>	<b>568 (PROVIDED)</b>
INCLUDED BARRIER FREE PARKING	
MINIMUM BARRIER FREE PARKING REQUIRED	12
12 SPACES REQUIRED (6 TYPE A & 6 TYPE B)	

**910 MARCH ROAD**  
 CITY OTTAWA ZONING BY-LAW 2008-250  
 GM(XXX) H(32)  
 PROPOSED MID-RISE MIXED-USE DEVELOPMENT

**GENERAL MIXED-USE ZONE PROVISIONS**

PERMITTED USES	RESIDENTIAL; COMMERCIAL	RESIDENTIAL; COMMERCIAL
FRONT YARD SETBACK (MIN. / MAX.)	3 m	6 m
REAR YARD SETBACK (MIN.)	7.5 m WHERE ABUTTING A RESIDENTIAL ZONE	> 7.5 m
INTERIOR SIDE YARD SETBACK (MIN.)	5 m FOR MIXED USE BUILDING ABUTTING A RESIDENTIAL ZONE	> 5 m
FLOOR SPACE INDEX (MAX.)	NO MINIMUM IN ALL OTHER CASES	11.5 m / 40 m
BUILDING HEIGHT (MAX.)	2	1.1
LANDSCAPED AREA (MIN. WIDTH ABUTTING A STREET)	32 m	32 m
	3 m	6.01 m

**PARKING PROVISIONS (AREA C & AREA D)**

BICYCLE PARKING SPACES - RESIDENTIAL (MIN.)	0.5 PER DWELLING UNIT	195
BICYCLE PARKING SPACES - NON-RESIDENTIAL (MIN.)	1 PER 300 m <sup>2</sup> GFA RETAIL + 3	3
TOTAL PRIVATE AMENITY AREA (MIN.)	6 m <sup>2</sup> PER DWELLING UNIT = 2 346 m <sup>2</sup>	2 346 m <sup>2</sup>
COMMUNAL AMENITY AREA (MIN.)	50% OF REQUIRED TOTAL AMENITY ARE	1173 m <sup>2</sup>
WATERCOURSE SETBACK (MIN.)	1) FOR TRIBUTARY 2 (EAST): 15 m TO TOP OF SLOPE 2) FOR TRIBUTARIES 3 (NORTH) - 20 m TO CENTRELINE OF WATERCOURSE; 3) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE	1) FOR TRIBUTARY 2 (EAST): 15 m TO TOP OF SLOPE 2) FOR TRIBUTARIES 3 (NORTH) 20 m TO CENTRELINE OF WATERCOURSE; 3) FOR TRIBUTARY 4 (SOUTH): 10 m TO TOP OF SLOPE

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CLIENT Client  
**910 MARCH ROAD**

EMPLACEMENT Location NO PROJET No.  
**910 MARCH ROAD** 12712.00

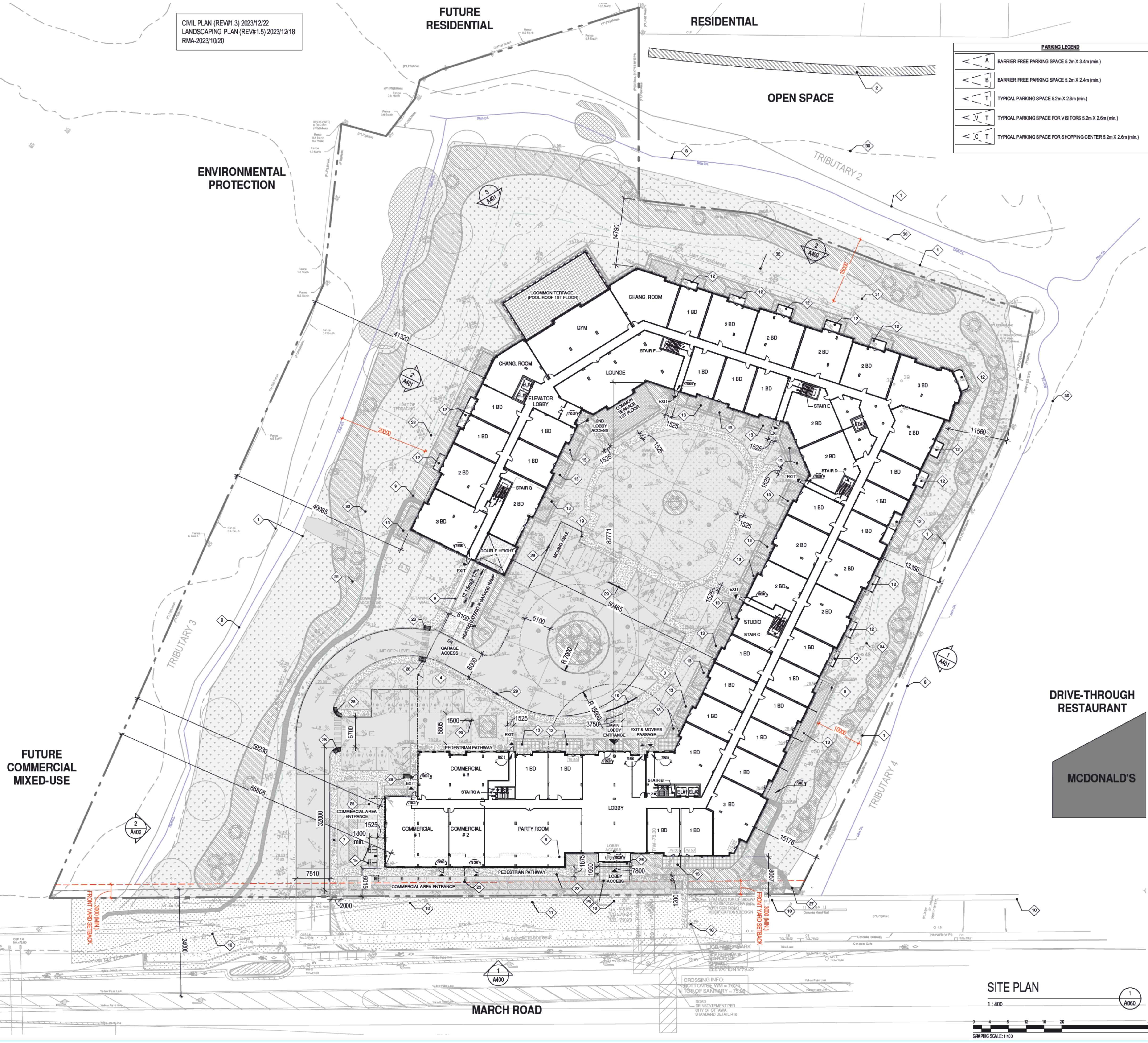
**NO RELEASE DATE (aa-mm-jj)**

0	ISSUED FOR ZONING	2023.01.38
1.A	ISSUED FOR SITE PLAN	2023.03.20
1.B	ISSUED FOR SITE PLAN REVISION 02	2023.12.22

DESSIN PAR Drawn by  
**Z.S.** VÉRIFIÉ PAR Checked  
 K.P.  
 DATE (aa.mm.jj) 23/12/22 ECHELLE Scale  
 As indicated

TITRE DU DESSIN Drawing Title  
**1ST FLOOR SITE PLAN**

PREVIOUS REVISION: 1.5  
 CURRENT REVISION: 1.6  
 REVISION Revision NO. DESSIN Dwg Number  
**1.6 A060**



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