

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNTIL SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

NOTATION SYMBOLS:

- (01) INDICATES DRAWING NOTES, LISTED ON EACH SHEET.
- (02) INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLY SCHEDULE.
- (03) INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON A100 SERIES.
- (04) INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON A100 SERIES.
- (05) TITLE
- (06) DETAIL REFERENCE PAGE
- (07) DETAIL CROSS REFERENCE PAGE

PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation	TM7(2719) S441	SITE AREA	1.69 ha.	16,930.6 sq. m.	162,239 sq. ft.
ZONING	AREA 'C' ON Schedule 441	REQUIRED	28 STOREYS / 96.0m	PROVIDED	28 STOREYS / 96.0m
BUILDING HEIGHT	AREA 'C' ON Schedule 441	GRADE (GEODETIC ELEVATION - ASL)	(GEO. ELEV.) 57.10	(GEO. ELEV.)	57.10
FLOOR SPACE INDEX - MAX. 3 TOWERS	3.7	TOWER FLOOR PLATE - MAX.	900m ²	TOWER SEPARATION - MIN.	20.0m
TOWER FLOOR PLATE - MAX.	900m ²	FRONT YARD SETBACK - Montgomery Street	3.0m	REAR YARD SETBACK - Selkirk Street	6.0m
TOWER SEPARATION - MIN.	20.0m	TRANSPARENT GLAZING - Montreal & River Road only	N.A.	LANDSCAPE BUFFER - Selkirk Street	40%
FRONT YARD SETBACK - Montgomery Street	3.0m	VEHICLE PARKING - RESIDENTIAL (AFTER 12 UNITS - 0.5 per unit)	173	VEHICLE PARKING - VISITOR (MIN. COMBINED VISITOR / COMMERCIAL)	TOTAL FOR SITE: 35
REAR YARD SETBACK - Selkirk Street	6.0m	BICYCLE PARKING - 0.5 PER UNIT	193	AMENITY AREA - TOTAL PER UNIT - 6.0m ²	4,050m ²
TRANSPARENT GLAZING - Montreal & River Road only	N.A.	AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	1,160m ²	AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	1,160m ²
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PROJECT STATISTICS - PHASE 3

NO.	DESCRIPTION	DATE
1	REVISED AS PER ROUND 2 SPC COMMENTS	Jan. 23, 24
2	ISSUED FOR BUILDING PERMIT	Nov 23, 24
3	REVISED AS PER ROUND 1 SPC COMMENTS	Oct. 03, 23
4	ISSUED FOR 50% REVIEW	Sept 28, 23
5	REVISED AS PER ROUND 1 SPC COMMENTS DRAFT	Sept 25, 23
6	ISSUED FOR SPC APPLICATION PHASE 3	June 14, 23
7	ISSUED FOR OWNER / CONSULTANT REVIEW	June 1, 23

- DRAWING NOTES**
- PROPERTY LINE
 - PHASE LINE
 - HOARDING - SOLID WOOD CONSTRUCTION BARRIER
 - 2.0m WIDE CONCRETE STREET CURB / SIDEWALK, DEPRESSED & CONTINUOUS THROUGH ENTRANCE
 - INTERIM ASPHALT / CONCRETE SIDEWALK
 - BENCHES, SEE LANDSCAPE
 - EXISTING STREET CURB AND SIDEWALK
 - SOFT LANDSCAPING, SEE LANDSCAPE PLAN
 - 150mm WIDE BARRIER CURB
 - ENTRANCE TO GARAGE PARKING GARAGE
 - INTERIM STAGING AREA - ASPHALT / GRAVEL SURFACE
 - EXISTING FIRE HYDRANT
 - OUTLINE OF TOWER ABOVE
 - TEMPORARY SNOW STORAGE
 - 2.0m WIDE CYCLE LANE PAINTED ON STREET
 - EX. CURB AND ASPHALT WALK TO BE REMOVED
 - METAL GRATE - AIR SHAFT
 - MOUNTABLE CURB
 - WALL GRILL FOR BELOW GRADE PARKING GARAGE
 - BELOW GRADE CISTERN IN PARKING GARAGE
 - 1.2 x 1.8 CONCRETE PAD FOR GAS EQUIPMENT (GAS BLOW OFF)
 - HYDRO TRANSFORMER LOCATION IN PARKING GARAGE
 - SIAMESE CONNECTION
 - SHORT TERM LAY-BY PARKING
 - TRAFFIC / LIGHT BOLLARD
 - RAISED PLANTER, SEE LANDSCAPE FOR DETAILS
 - TRAFFIC SIGN - STOP, FIRE ROUTE, LOADING etc.
 - CITY BOULEVARD, 2.0m CONCRETE WALK, PLANTING STRIP, STREET CURB AND ON STREET PARKING
 - PROPOSED UTILITIES, SEE CIVIL
 - INTERIM GRASS BOULEVARD / SNOW STORAGE
 - INTERIM TURNING CIRCLE
 - PEDESTRIAN WALKING SURFACE
 - SERVICE / LOADING BAY: GARBAGE / DELIVERIES
 - 5.0 x 5.0 METRE SIGHT TRIANGLE
 - EXISTING UTILITY POLE
 - 6.0m WIDE FIRE ROUTE
 - BOLLARD STYLE BICYCLE RACK, SEE LANDSCAPE
 - SIGN FOR FIRE TRUCKS NOTING U/G PARKING STRUCTURE BELOW, AS BE OFC REQUIREMENTS
 - EXTERIOR TERRACE ABOVE PODIUM LEVEL
 - BALCONIES
 - ASPHALT DRIVING SURFACE
 - PEDESTRIAN CROSSWALK WITH TWSI & DEPRESSED CURBS
 - EXISTING UTILITY POLE TO BE REMOVED
 - MOUNTABLE CURB WITH CONCRETE TRUCK APRON

AMENITY AREA

GROUND FLOOR INTERIOR - COMMUNAL	196.0 sq. m.
4th FLOOR INTERIOR - COMMUNAL	251.0 sq. m.
4th FLOOR EXTERIOR - COMMUNAL	713.0 sq. m.
BALCONIES (ALL LEVELS) - PRIVATE	2,640.0 sq. m.
TERRACE - PRIVATE	300.0 sq. m.
TOTAL	4,050 sq. m.
TOTAL COMMUNAL	1,160 sq. m.
REQUIRED (385 UNITS X 6 m ²) = 2,310 sq. m.	
REQUIRED COMMUNAL @ 50% = 1,155 sq. m.	

SOLID WASTE (385 UNITS)

GARBAGE - COMPACTED	- 0.055 PER UNIT	21 YARDS
RECYCLING GMP	- 0.018 PER UNIT	7 YARDS
RECYCLING FIBER	- 0.038 PER UNIT	15 YARDS
COMPOST	- 240L PER 50 UNITS	9

SITE PLAN LEGEND

- UNIT PAVERS ON PRIVATE BOULEVARD
- PRIVATE CONCRETE BOULEVARD
- ENCLOSED HOARDING AREA
- CITY BOULEVARD PAVERS
- SOFT LANDSCAPING
- CONCRETE SIDEWALK
- TEMPORARY SNOW STORAGE
- BIKE RACK
- TWO WAY VEHICLE CIRCULATION
- VEHICLE SERVICE ENTRANCE
- MAIN ENTRANCE
- COMMERCIAL ENTRY / FIRE EXIT
- PROPERTY LINE

UNIT STATISTICS

STUDIO	75
1 BEDROOM UNIT	205
1 BEDROOM + STUDY UNIT	29
2 BEDROOM UNIT	76
2 BEDROOM + STUDY UNIT	1
TOTAL	385

CAR PARKING

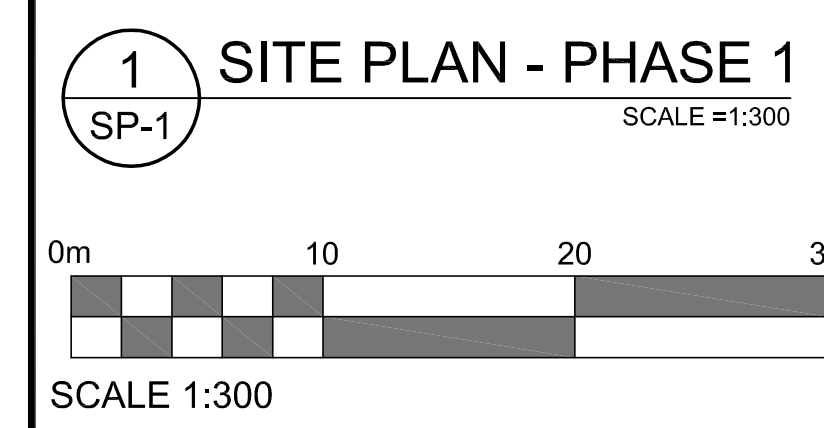
REQUIRED	-0.5 PER UNIT AFTER 12 UNITS	187
RESIDENCE		0
VISITOR	- PROVIDED IN PHASE 1 (35)	0
TOTAL		187
PROVIDED	-0.74 PER UNIT (385 UNITS)	282
RESIDENCE		0
VISITOR	- PROVIDED IN PHASE 1 (35)	0
TOTAL		282

BICYCLE PARKING

REQUIRED	-0.5 PER UNIT (385 UNITS)	193
RESIDENCE		0
PARKING GARAGE	-0.77 PER UNIT (385 UNITS)	297
EXTERIOR		36
TOTAL		333

LOCATION

EXTERIOR AT GRADE	36
P1 PARKING LEVEL	76
GROUND FLOOR	195
SECOND FLOOR	12
THIRD FLOOR	12



LEGAL DESCRIPTION
TOPOGRAPHICAL PLAN OF SURVEY OF LOTS 2, 4, 6, 8, 10, 12, 14, 16, 32, 33, 34, 35 AND PART OF LOT 1 REGISTERED PLAN 49 AND LOTS 14, 15, 16 AND PART OF LOTS 1, 2, 3, 4, AND 5 REGISTERED PLAN 51 AND PART OF LOT 7 JUNCTION GORE GEOGRAPHIC TOWNSHIP OF GLOUCESTER CITY OF OTTAWA

Surveyed by Annis, O'Sullivan, Vollebakk Ltd.

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