

**PROPOSED 6-STORY BUILDING**  
 GROUND FLOOR FFE AS SPECIFIED  
 BASEMENT FFE=59.20-59.00  
 USF=58.80

**PROPOSED CISTERN BELOW BASEMENT LEVEL**  
 100-YR VOL REQ'D=5.4m<sup>3</sup>  
 MAX VOL AVAILABLE=10.0m<sup>3</sup>  
 Q=2.5L/s  
 CISTERN AND PUMP TO BE DESIGNED BY MECHANICAL ENGINEER.

**NOTE:**  
 ALL FLOOR DRAINS WITHIN U/G PARKING GARAGE TO DISCHARGE TO SANITARY SERVICE LATERAL VIA SAN SUMP PUMP DESIGNED BY A MECHANICAL ENGINEER.

STM INV @ BLDG=60.76  
 C/W BACKWATER VALVE  
 COMBINED CISTERN OUTLET AND CONTROLLED ROOF DRAIN OUTLET.  
 CONTROLLED ROOF DRAINS TO CONNECT TO STM LATERAL DOWNSTREAM OF BACKWATER VALVE.  
 C/W MONITORING PORT

T/W WTR @ BLDG=59.74

SAN INV @ BLDG=59.61  
 C/W BACKWATER VALVE  
 C/W MONITORING PORT

PROP WTR 150mm# PVC DR-18  
 TOP OF WATER SERVICES TO BE INSTALLED MIN 2.4m BELOW FINISHED GROUND ELEVATION.  
 IF MINIMUM 2.4m COVER CANNOT BE ACHIEVED, PLACE INSULATION AS PER CITY STD W22

STM CROSSING OVER EX.WTR  
 PROP STM INV=60.70  
 EX WTR OBV=60.20  
 CLEARANCE=0.50m

STM CROSSING OVER EX.SAN  
 PROP STM INV=60.50  
 EX SAN OBV=60.17  
 CLEARANCE=0.33m

PROPOSED ROAD RE-STATEMENT PER CITY STD R10 REFER TO ASPHALT KEY DETAIL

CONNECT TO EXISTING STMMH EX. INV=±60.16 PROP INV=60.46

PROP STM 10.5m-250mm# PVC SDR-35 @ 1.0% (INSULATED)

CONNECT TO EXISTING 710x1050mm# SAN PER CITY STD S11 EX. INV=±59.12 PROP INV=59.54

CONNECT TO EXISTING 150mm# WATERMAIN. WATERMAIN WORK TO BE COORDINATED WITH CITY STAFF.

PROP SAN 6.6m-200mm# PVC SDR-35 @ 1.0%

SAN CROSSING BELOW EX.WTR EX. WTR INV=60.05 PROP SAN OBV=59.75 CLEARANCE=0.30m

**NOTE:**  
 PROPOSED SERVICE CONNECTIONS TO CONNECT TO NEW MUNICIPAL INFRASTRUCTURE WITHIN GROVE AVE. UPON COMPLETION OF GROVE AVE. RECONSTRUCTION PROJECT BY CITY.

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**JOB BENCH MARK** JBM ▲  
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

**TOPOGRAPHIC INFORMATION**  
 LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.  
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.  
 SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
3	REVISED PER CITY COMMENTS	24/01/16	AAS	AA
2	ISSUED FOR SITE PLAN CONTROL	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH

SCALE: 1:100

DESIGNED BY: M.A. ANSARI

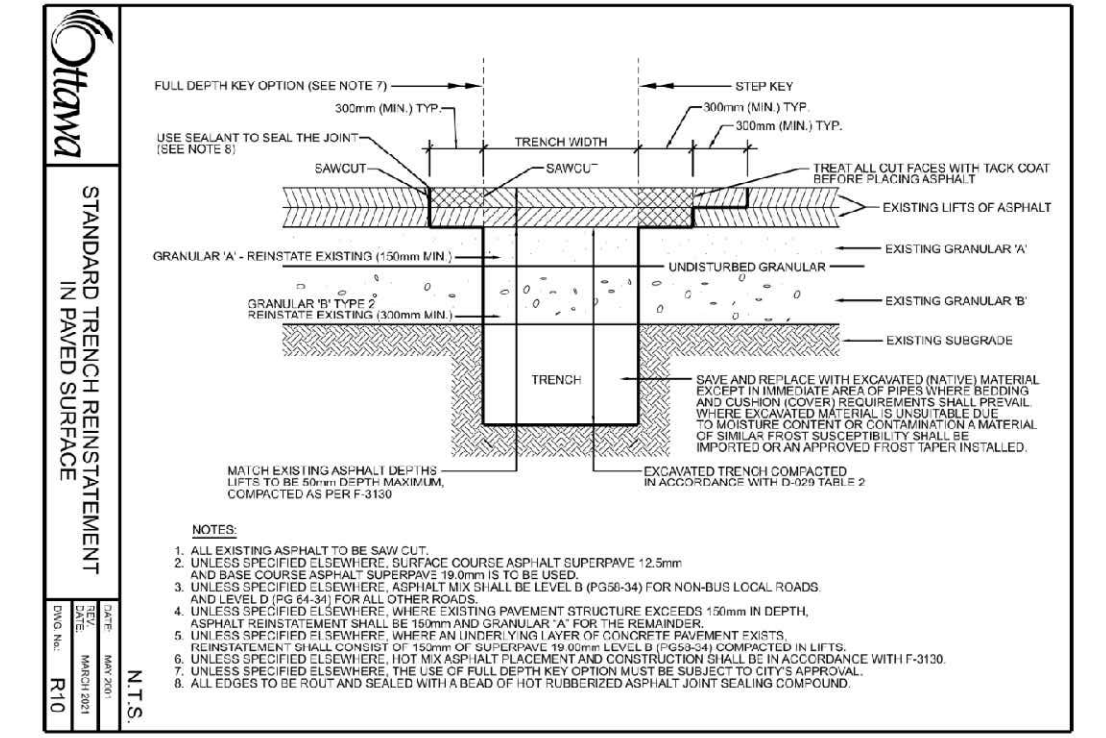
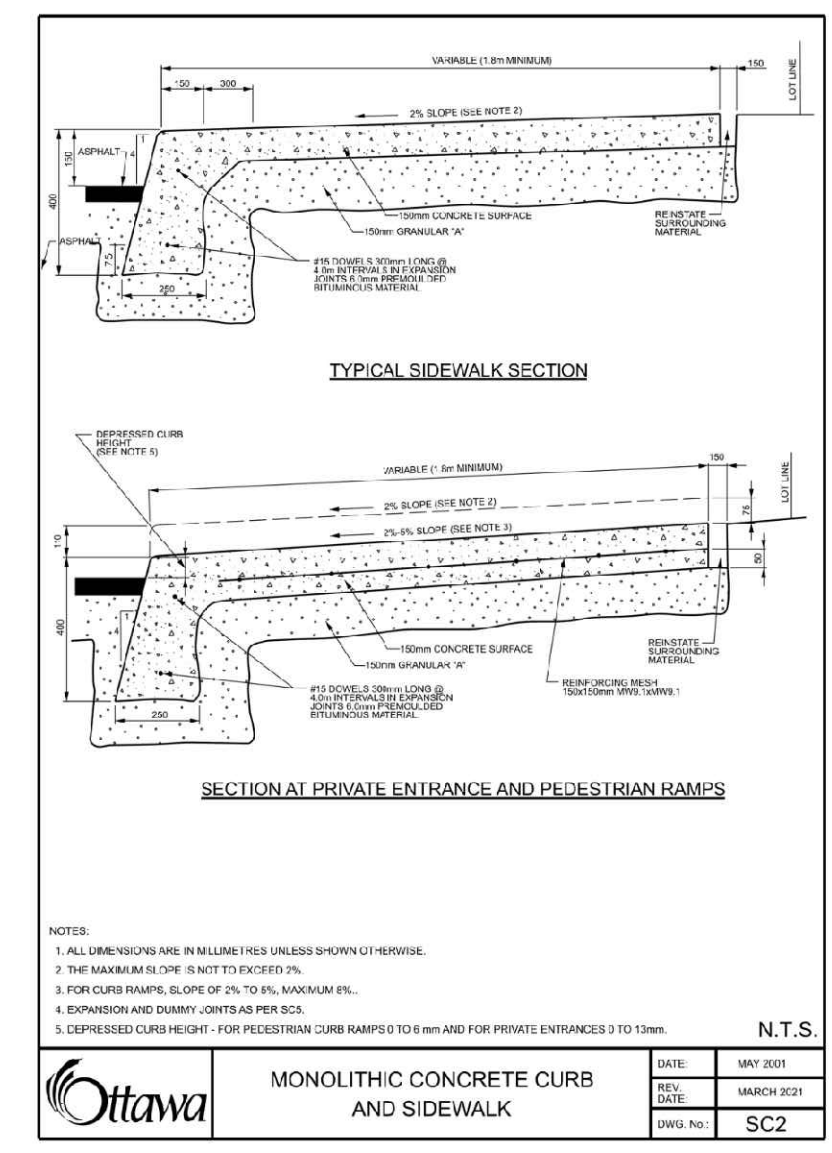
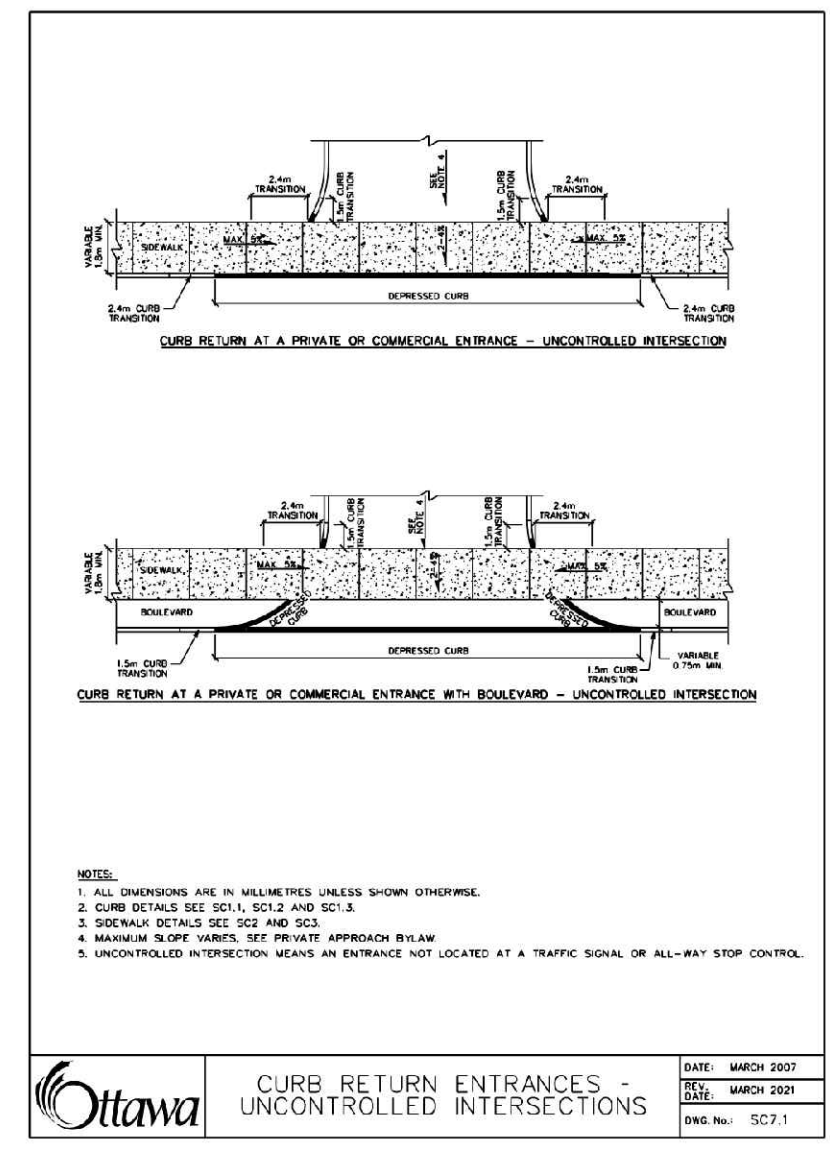
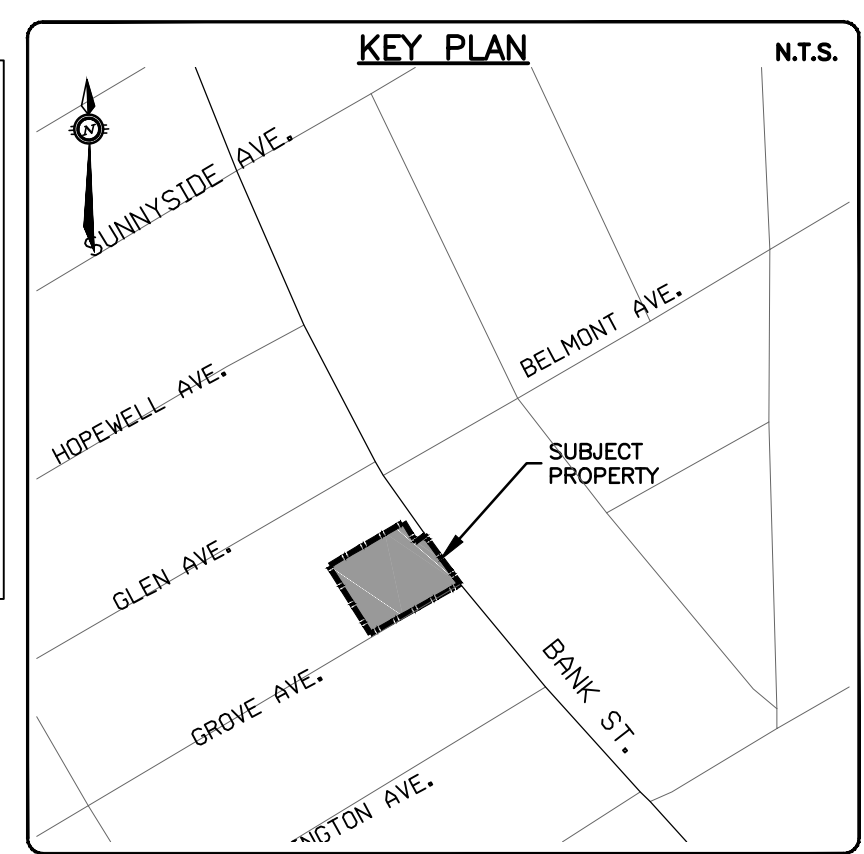
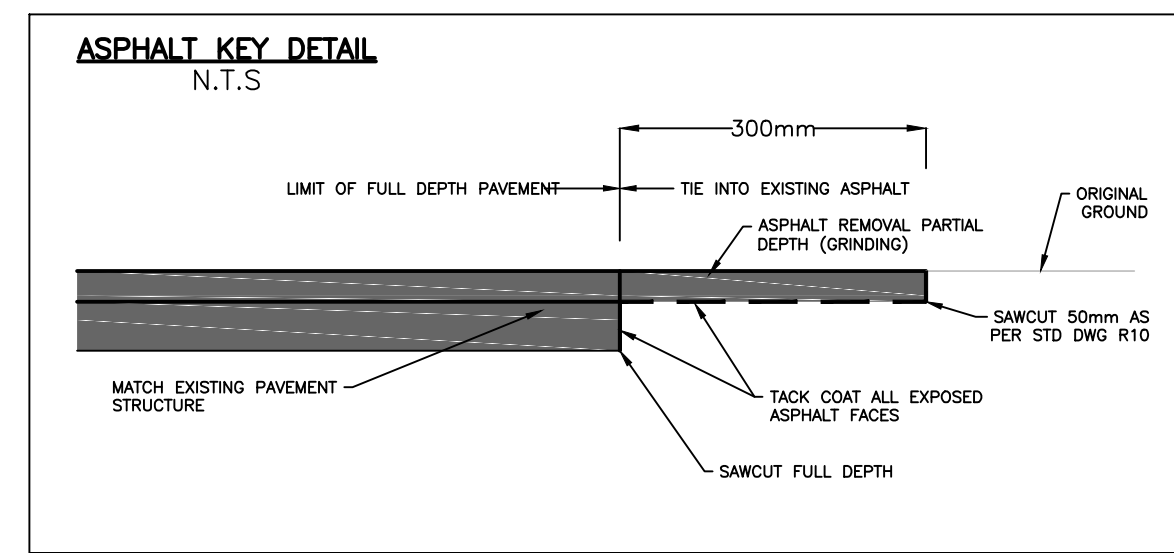
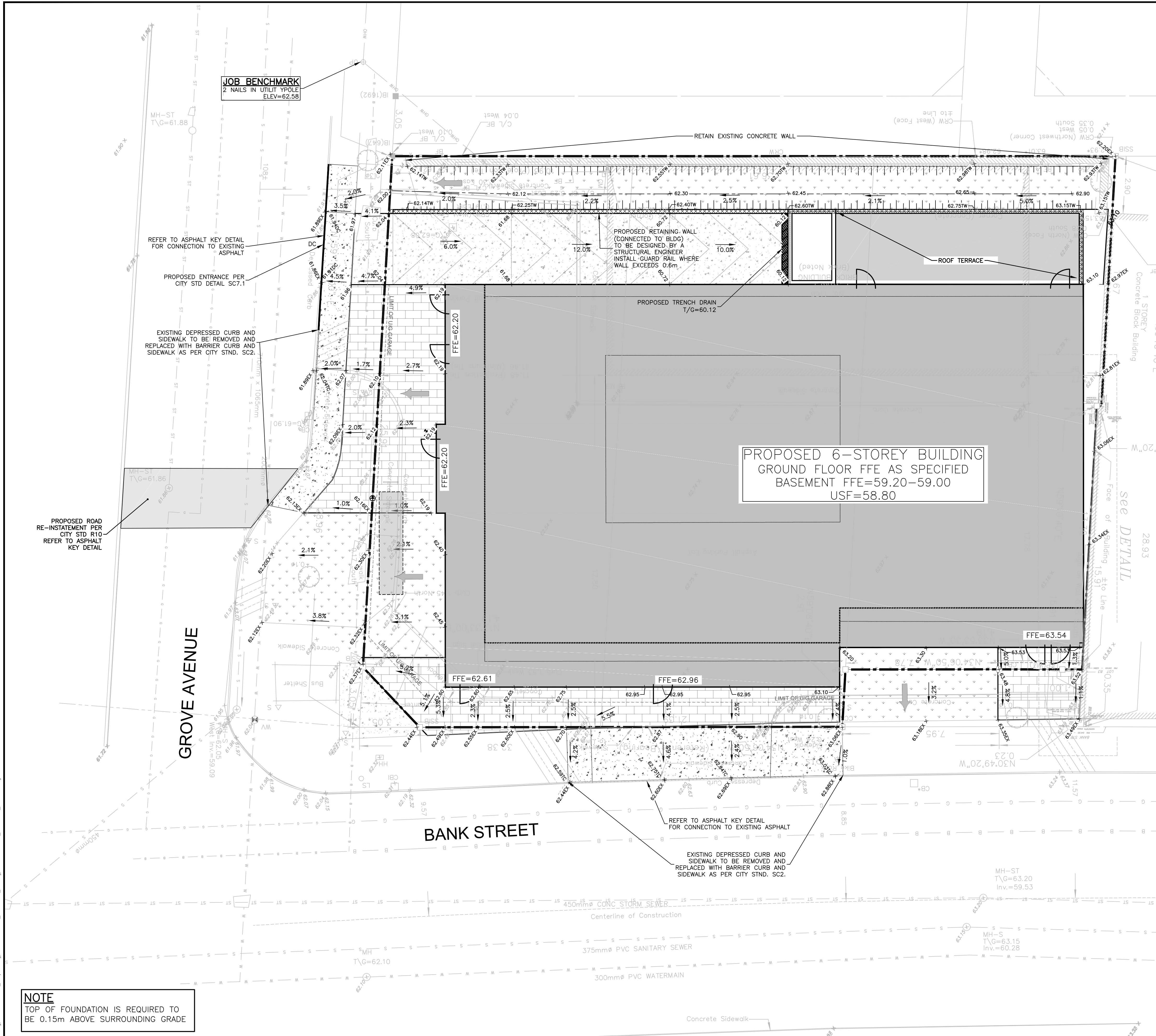
REVIEWED BY: M.A. ANSARI

CLIENT: AMBASSADOR REALTY INC. 185 SOMERSET ST. W. OTTAWA, ON, K2P 0J2

exp. SERVICES INC.

BASE PLAN	PROJECT
AS	1166 BANK STREET OTTAWA, ONTARIO.
AS	
KH	
AS	
KH	
AA	

DATE	DESCRIPTION
JANUARY 2023	ADV
	C100



**NOTE**  
TOP OF FOUNDATION IS REQUIRED TO BE 0.15m ABOVE SURROUNDING GRADE

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SCALE  
0 1m 2m 4m  
HORIZONTAL 1:100

DESIGNED BY  
M.A. ANSARI

PROFESSIONAL ENGINEER  
M.A. ANSARI  
2024-01-17  
PROVINCE OF ONTARIO

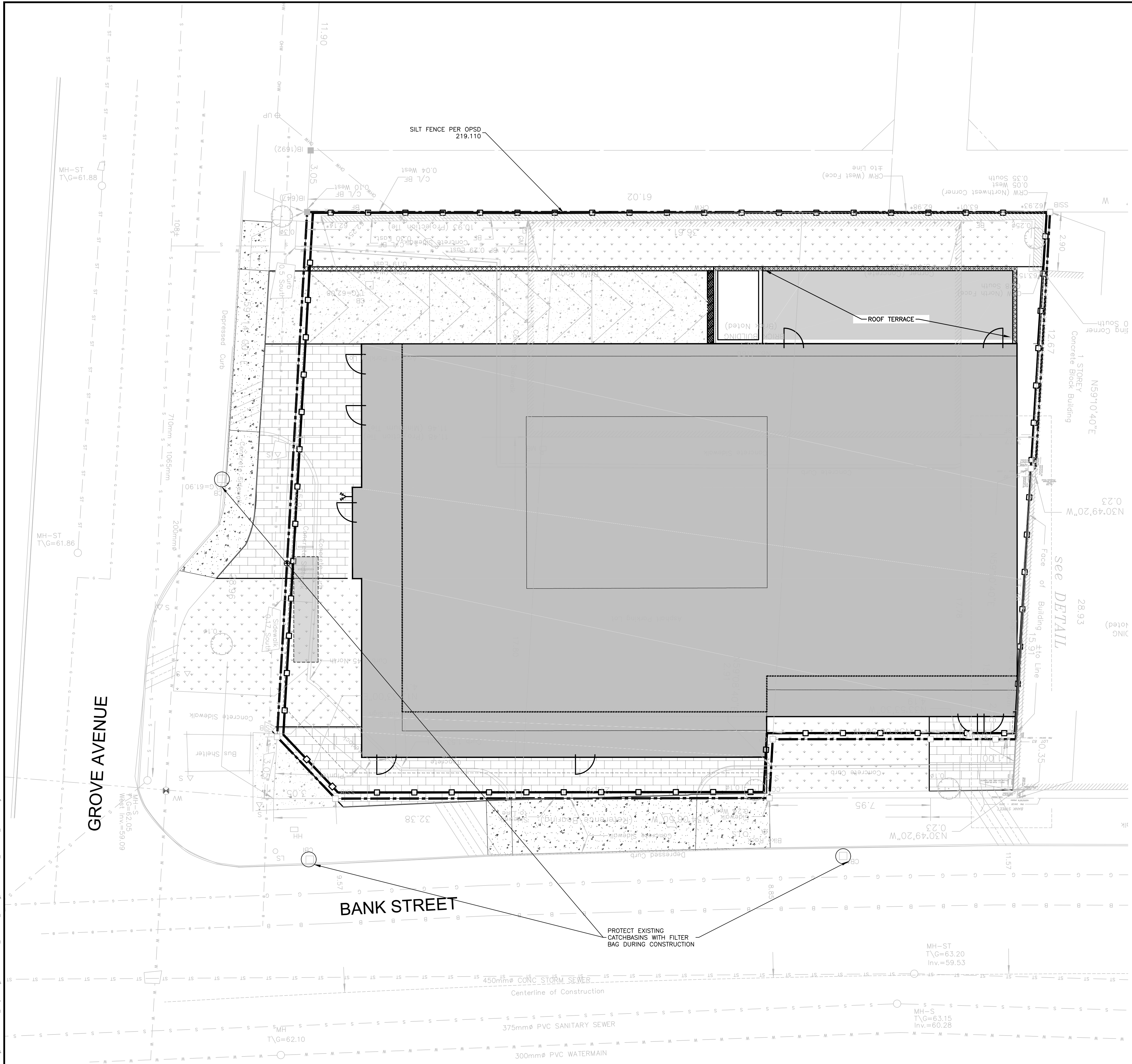
CLIENT  
**AMBASSADOR REALTY INC.**  
185 SOMERSET ST. W.  
OTTAWA, ON, K2P 0J2

DATE	BY	APPD
AS	AS	AS
AS	AS	AS
KH	KH	KH
AS	AS	AS
KH	KH	KH
AA	AA	AA

PROJECT  
**1166 BANK STREET**  
OTTAWA, ONTARIO.

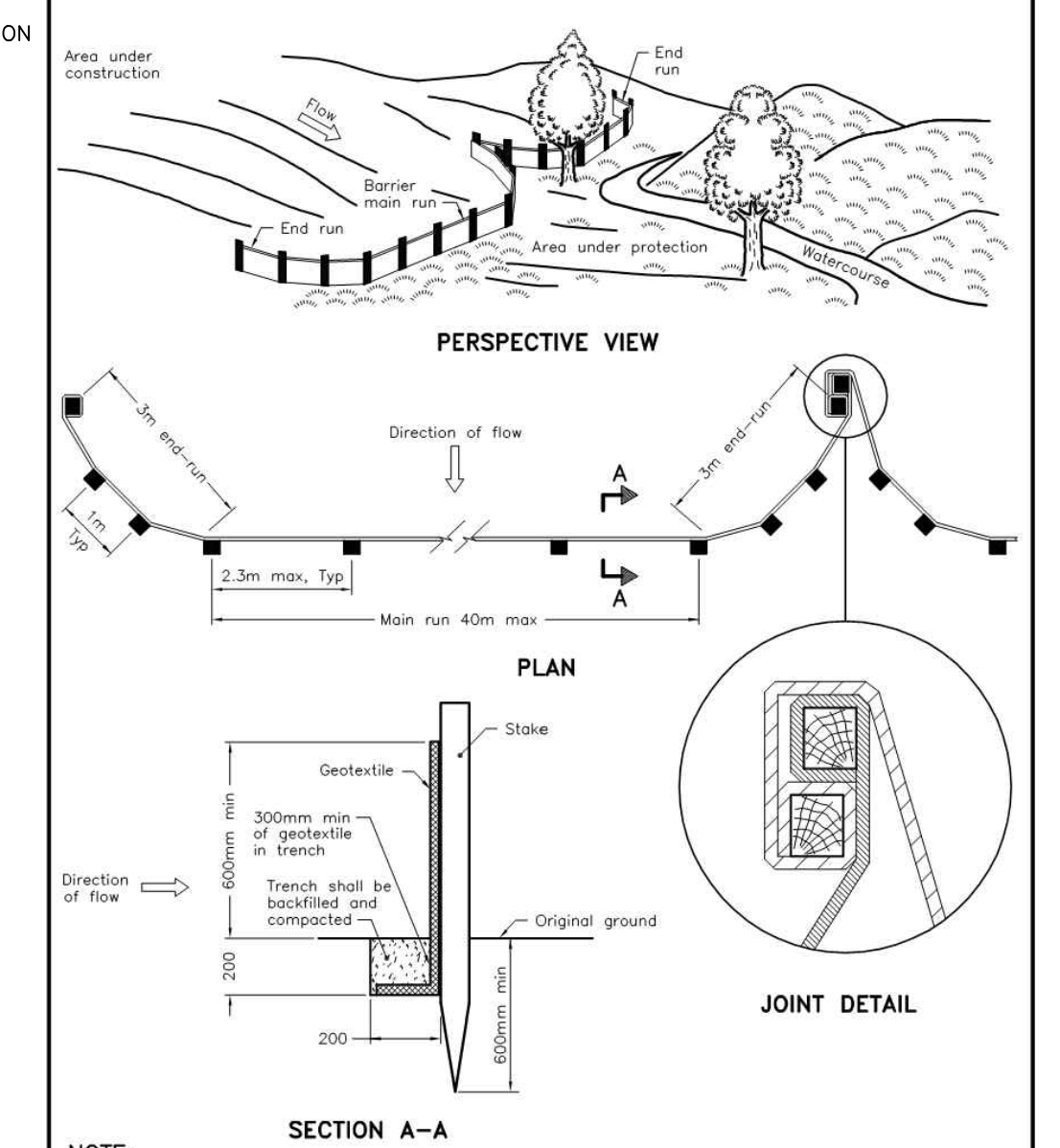
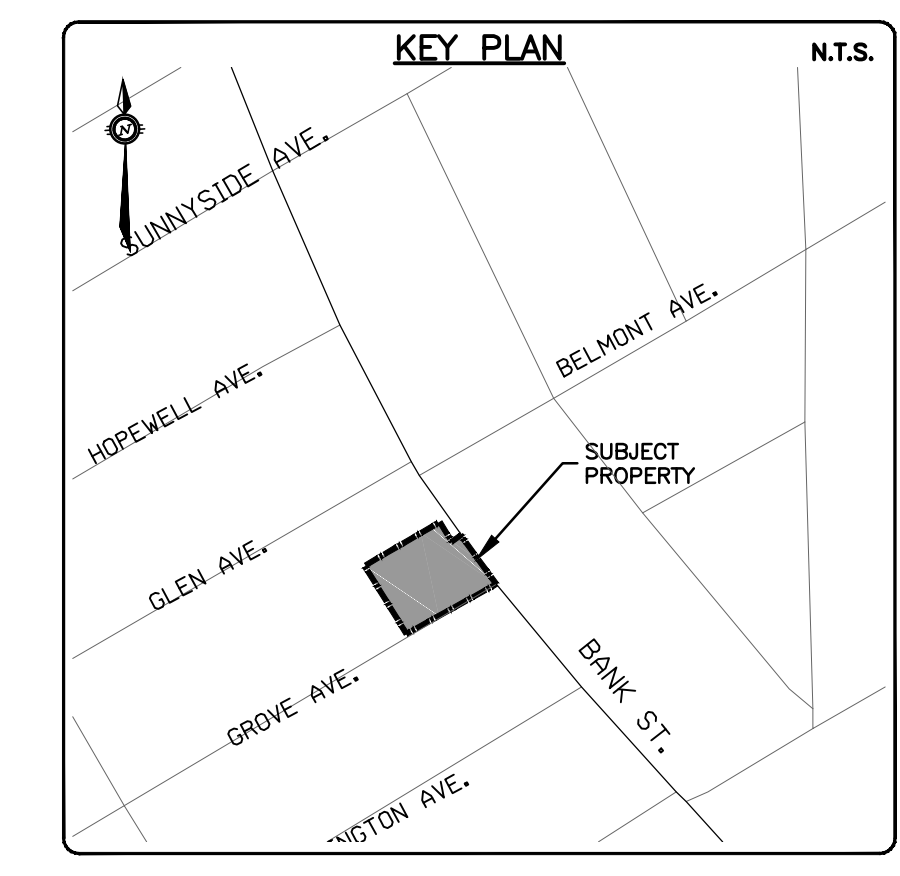
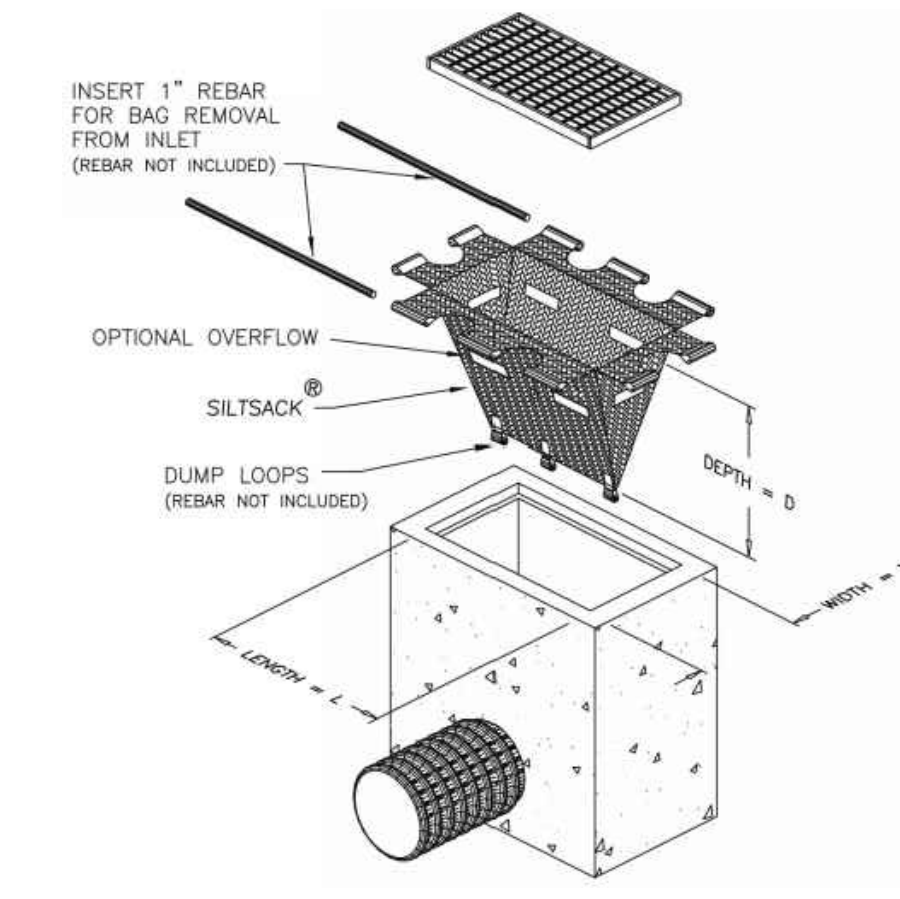
TITLE  
**SITE GRADING PLAN**

PROJECT No. OTT-22018175-AD  
SURVEY ADV  
DATE JANUARY 2023  
DRAWING No. C200



**EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.**

- DURING ALL CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION SHALL BE CONTROLLED BY THE FOLLOWING TECHNIQUES:
1. LIMITING THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
  2. REVEGETATION OF EXPOSED AREAS AS SOON AS POSSIBLE.
  3. MINIMIZATION OF AREA TO BE CLEARED AND DISRUPTION TO ADJACENT AREAS.
  4. INSTALLATION OF FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES.
  5. A SILT FENCE TO BE INSTALLED 0.3m INSIDE THE SITE PROPERTY LINE TO LOCATIONS SHOWN ON THIS DRAWING.
  6. A VISUAL INSPECTION SHALL BE COMPLETED DAILY ON SEDIMENT CONTROL BARRIERS AND ANY DAMAGE REPAIRED IMMEDIATELY. CARE WILL BE TAKEN TO PREVENT DAMAGE DURING CONSTRUCTION OPERATIONS.
  7. IN SOME CASES SOME BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE THE CONSTRUCTION OPERATIONS, THE AFFECTED BARRIERS WILL BE REINSTITATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED.
  8. THE SEDIMENT CONTROL DEVICES WILL BE CLEANED OF ACCUMULATED SILT AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OF AS PER THE REQUIREMENTS OF THE CONTRACT.
  9. DURING THE COURSE OF CONSTRUCTION IF THE ENGINEER BELIEVES THAT ADDITIONAL PREVENTION METHODS ARE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR WILL INSTALL ADDITIONAL SILT FENCES OR OTHER METHODS AS REQUIRED TO THE SATISFACTION OF THE ENGINEER.
  10. CONSTRUCTION AND MAINTENANCE REQUIREMENTS FOR EROSION AND SEDIMENT CONTROLS TO COMPLY WITH ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) OPSS 805, AND CITY OF OTTAWA SPECIFICATIONS.
  11. SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY.



NOTE:  
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING	Nov 2015	Rev 2
<b>LIGHT-DUTY SILT FENCE BARRIER</b>		
OPSS 219.110		

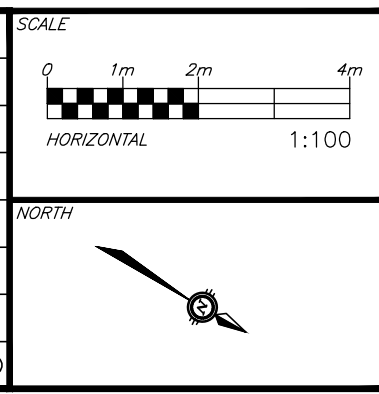
- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE TIES OR STAPLES.
  2. POSTS TO BE SPACED AT 2.3 METRES CENTRE TO CENTRE.
  3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY A MINIMUM OF 500mm.
  4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
  5. WOOD POSTS TO BE HARDWOOD TYPE (50mm x 50mm).
  6. GEOTEXTILE TO BE EMBEDDED 200mm INTO GROUND.
  7. GEOTEXTILE TO CONFORM TO OPSS 805 STANDARDS.
  8. SILT FENCE MUST BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AND IN ACCORDANCE WITH DETAIL. SILT FENCE CAN BE REMOVED AFTER LANDSCAPING IS COMPLETE.
  9. SEDIMENTS MUST BE CLEARED AWAY WHEN THEY REACH HALF THE HEIGHT OF THE FENCE.

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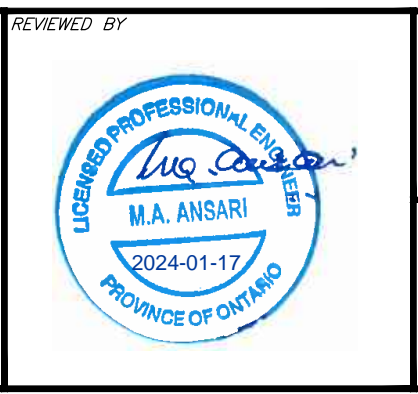
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DESIGNED BY: [Signature]

REVIEWED BY: [Signature]



CLIENT: **AMBASSADOR REALTY INC.**  
185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

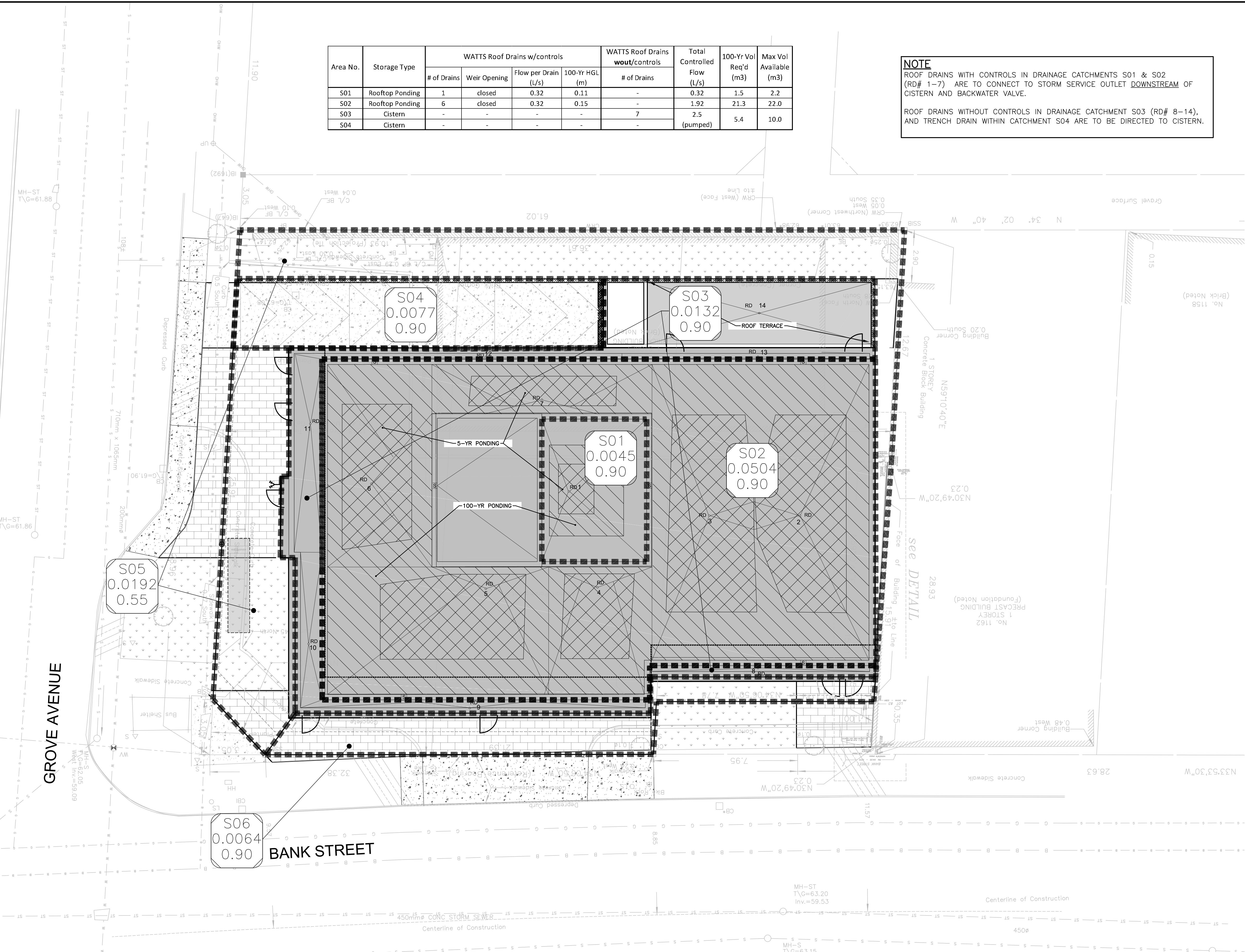
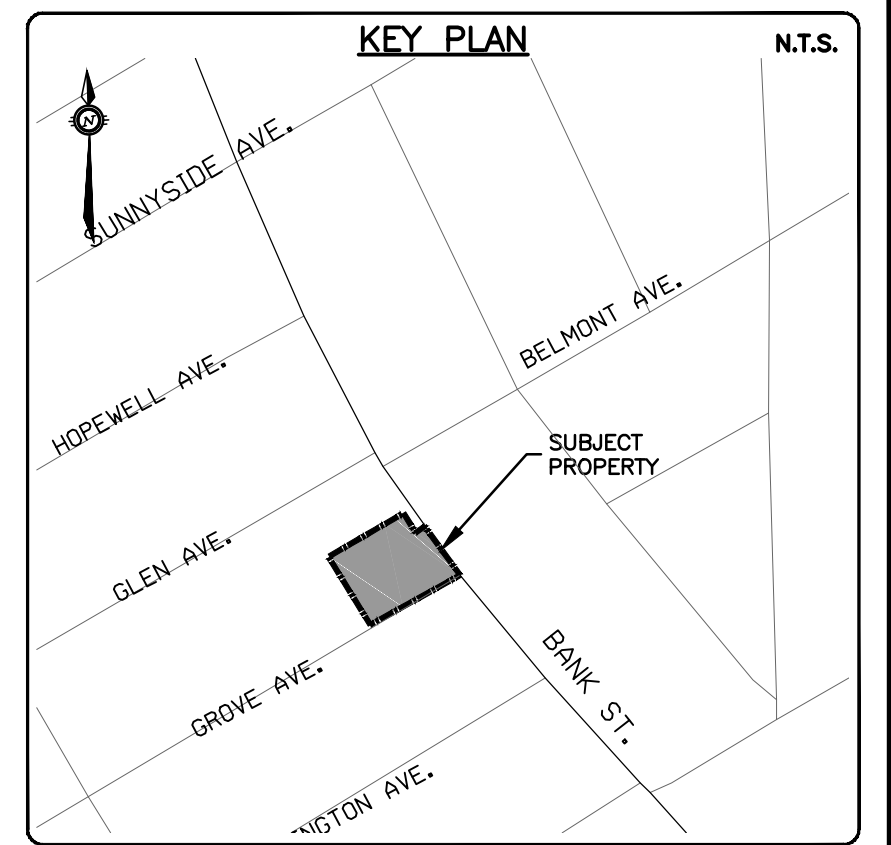
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BASE PLAN	AS	PROJECT	1166 BANK STREET OTTAWA, ONTARIO.	PROJECT No. OTT-22018175-AD
DESIGN	AS	SURVEY		ADV
CHECKED	KH	DATE	JANUARY 2023	
CAD	AS	TITLE	<b>EROSION AND SEDIMENT CONTROL PLAN</b>	DRAWING No. <b>C300</b>
PROJECT MANAGER	KH			
APPROVED	AA			

Area No.	Storage Type	WATTS Roof Drains w/controls				WATTS Roof Drains w/out/controls		Total Controlled Flow (L/s)	100-Yr Vol Req'd (m3)	Max Vol Available (m3)
		# of Drains	Weir Opening	Flow per Drain (L/s)	100-Yr HGL (m)	# of Drains				
S01	Rooftop Ponding	1	closed	0.32	0.11	-	-	0.32	1.5	2.2
S02	Rooftop Ponding	6	closed	0.32	0.15	-	-	1.92	21.3	22.0
S03	Cistern	-	-	-	-	7	-	2.5	5.4	10.0
S04	Cistern	-	-	-	-	-	-	(pumped)		

**NOTE**  
 ROOF DRAINS WITH CONTROLS IN DRAINAGE CATCHMENTS S01 & S02 (RD# 1-7) ARE TO CONNECT TO STORM SERVICE OUTLET DOWNSTREAM OF CISTERN AND BACKWATER VALVE.  
 ROOF DRAINS WITHOUT CONTROLS IN DRAINAGE CATCHMENT S03 (RD# 8-14), AND TRENCH DRAIN WITHIN CATCHMENT S04 ARE TO BE DIRECTED TO CISTERN.

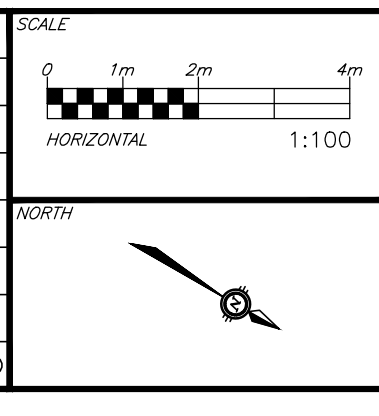


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 REVIEWED BY: M.A. ANSARI  
 LICENSED PROFESSIONAL ENGINEER  
 2000 Somerset Drive, Unit 100  
 Ottawa, ON K2P 0J2  
 2024-01-17  
 PROVINCE OF ONTARIO

CLIENT: AMBASSADOR REALTY INC.  
 185 SOMERSET ST. W,  
 OTTAWA, ON, K2P 0J2

DESIGN	PROJECT
AS	AS
AS	AS
KH	KH
AS	AS
KH	KH
AA	AA

1166 BANK STREET  
 OTTAWA, ONTARIO.

POST-DEVELOPMENT  
 CATCHMENTS

PROJECT No. OTT-22018175-AD  
 SURVEY ADV  
 DATE: JANUARY 2023  
 DRAWING No. C400