



## PROPERTY DESCRIPTION

|                                  |                   |
|----------------------------------|-------------------|
| NINE STOREY RESIDENTIAL BUILDING |                   |
| CITY OF OTTAWA PIN NUMBER        | 04274-0181        |
| MUNICIPAL ADDRESS                | 971 Montreal Road |

## SITE INFORMATION

|               |                           |
|---------------|---------------------------|
| LOT AREA:     | 1,813sq.m                 |
| LOT FRONTAGE: | 38.37m                    |
| LOT DEPTH:    | irregular 45.84m / 47.71m |

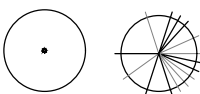
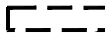
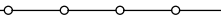
## BUILDING INFORMATION

|                         |                                 |
|-------------------------|---------------------------------|
| BUILDING AREA:          | 881 sq.m                        |
| BUILDING FLOOR AREA:    | 6851 sq.m                       |
| PROPOSED USE:           | APARTMENT DWELLING, MIDDLE-RISE |
| UNIT BREAKDOWN:         |                                 |
| L1:                     | 4 UNITS                         |
| L2:                     | 7 UNITS                         |
| L3 TO L6 (10 UNITS/FL): | 40 UNITS                        |
| L7 TO L9 (9 UNITS/FL):  | 27 UNITS                        |
| TOTAL:                  | 78 UNITS                        |

|                              |            |          |
|------------------------------|------------|----------|
| ZONING TABLE                 | AM10(2199) |          |
| CITY OF OTTAWA ZONING BY-LAW | EXISTING   | PROPOSED |

| No. 2008-250                                       |                                          |                                                                                                    |
|----------------------------------------------------|------------------------------------------|----------------------------------------------------------------------------------------------------|
| MINIMUM LOT AREA                                   | NO MINIMUM                               | N/A                                                                                                |
| MINIMUM LOT WIDTH                                  | NO MINIMUM                               | N/A                                                                                                |
| MAX. FRONT YARD SETBACK                            | 4.5m                                     | 4.5m                                                                                               |
| ROAD WIDENING SETBACK                              | 37.5m (18.75 FROM CENTER LINE OF ROAD)   | 18.75m                                                                                             |
| MINIMUM INTERIOR SIDE YARD SETBACK                 | 0m                                       | east side: 2m<br>west side: 3.5m                                                                   |
| MINIMUM REAR YARD SETBACK                          | Abutting an R3 Zone=7.5m - N/A           | 6.9 m                                                                                              |
| HYDRO SETBACK                                      | 6m                                       | 6m                                                                                                 |
| MAXIMUM BUILDING HEIGHT                            | 30m                                      | 30 m                                                                                               |
| MAXIMUM FLOOR SPACE INDEX                          | N/A                                      | N/A                                                                                                |
| LANDSCAPED AREA                                    | N/A                                      | 31.8% = 418sq.m                                                                                    |
| VEHICLE PARKING REQUIREMENTS (AREA Z, SCHEDULE 1A) | 33 parking spaces required               | 33 SPACES                                                                                          |
| VISITOR PARKING REQUIREMENTS (AREA Z, SCHEDULE 1A) | 0.1 / DWELLING UNIT<br>7 SPACES REQUIRED | 7 SPACES                                                                                           |
| AMENITY AREA REQUIREMENTS                          | 6m² per dwelling unit = 468sq. m.        | -50sq.m PRIVATE<br>-205sq.m ROOFTOP<br>-179sq.m REAR COURTYARD<br>-65sq.m GROUND<br>TOTAL: 499sq.m |
| BICYCLE PARKING SPACES                             | 0.5 per dwelling unit = 39               | 40 SPACES - CITY<br>38 STACKED SPACE<br>TOTAL = 78 SPACES                                          |

LEGEND

|                                                                                       |                                            |                                                                                       |                                                                    |
|---------------------------------------------------------------------------------------|--------------------------------------------|---------------------------------------------------------------------------------------|--------------------------------------------------------------------|
|  | SOFT LANDSCAPING<br>REFER TO LANDSCAPE     |  | EXISTING TREE TO REMAIN<br>(REFER TO LANDSCAPE DRAWINGS)           |
|  | UNIT PAVERS<br>REFER TO LANDSCAPE          |  | NEW TREE (REFER TO<br>LANDSCAPE DRAWINGS)                          |
|  | ASPHALT PAVING                             |  | NEW PLANTING AREA<br>(REFER TO LANDSCAPE<br>DRAWINGS)              |
|  | CONCRETE                                   |  | FIRE DEPARTMENT CONNECTION                                         |
|  | EXISTING BUILDING ELEMENT TO<br>BE REMOVED |  | EXISTING GROUND ELEVATION<br>[DETERMINE EXISTING AVERAGE<br>GRADE] |
|  | EXISTING FENCE                             |  | NEW GROUND ELEVATION REF<br>TO CIVIL                               |
|  | PROPOSED BOARD FENCE<br>REFER TO LANDSCAPE |  | DESIGNATED BUILDING ENTRANCE<br>/ EXIT                             |
|  | LOT LINE                                   |  | FIRE HYDRANT. REFER TO CIVIL                                       |
|  | SETBACK LINE                               |  | CATCH BASIN                                                        |
|  | DESIGNATED BUILDING ENTRANCE<br>/ EXIT     |  | MANHOLE                                                            |
|  | FIRE HYDRANT. REFER TO CIVIL               |  | FLOOR DRAIN                                                        |
|  | CATCH BASIN                                |  | UTILITY POLE                                                       |
|  | MANHOLE                                    |  | OVERHEAD UTILITY WIRES                                             |
|  | FLOOR DRAIN                                |  | LIGHT STANDARD                                                     |
|  | UTILITY POLE                               |  | DEPRESSED CURB                                                     |
|  | OVERHEAD UTILITY WIRES                     |                                                                                       |                                                                    |

NOTE: "X" E INDICATES EXISTING TO REMAIN

[illegible]Ingénieur / Engineer  
(Mécanique & Électricité / Mechanical & Electrical)

|  |                                                 |
|--|-------------------------------------------------|
|  | Ingenieur / Engineer<br>(Structure / Structure) |
|--|-------------------------------------------------|

|                                         |                                                  |
|-----------------------------------------|--------------------------------------------------|
| Ingenieur / Engineer<br>(Civil / Civil) | Architect / Architect<br>(landscape / landscape) |
|-----------------------------------------|--------------------------------------------------|



Client / Client



Architecte / Architect Collectif d'architectes / Architects Collective



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Soesu / Soes



Project / Project

### 9-Storey Apartment Building

971 Montreal Road  
Ottawa

Site Plan

|                                            |                                            |
|--------------------------------------------|--------------------------------------------|
| Dessiné par / Drawn by<br><b>SC</b>        | No. projet / Project number<br><b>2052</b> |
| Vérifié par / Verified by<br><b>MD, RC</b> | No. dessin / Drawing number                |
| Echelle / Scale<br><b>AS SHOWN</b>         |                                            |

Drawing creation date  
2021-03-08

A105