

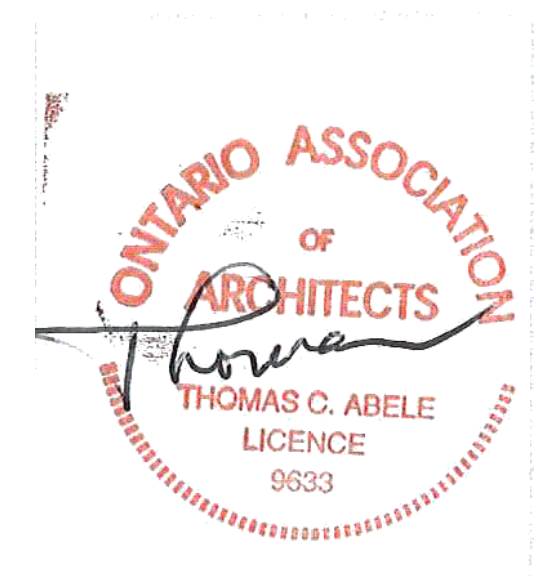
DRAWING INDEX	
Sheet Number	Sheet Name
A0.00	COVER SHEET
A1.00	SITE PLAN
A1.01	SURFACE / UNDERGROUND PARKING PLAN
A1.02	FIRE + EMERGENCY ACCESS PLAN
A1.03	WASTE + RECYCLING PLAN
A1.04	SITE ACCESSORIES
A1.05	SITE ACCESSORIES
A1.06	SURROUNDING AREA PERSPECTIVE
A1.07	SITE PERSPECTIVE
A1.08	SITE PERSPECTIVE
A1.09	SITE PERSPECTIVE
A1.10	ONSITE PERSPECTIVE
A2.00	BUILDING A - PARKADE FLOOR PLAN
A2.01	BUILDING A - FIRST FLOOR PLAN
A2.02	BUILDING A - SECOND / THIRD FLOOR PLAN
A2.03	BUILDING A - FOURTH / FIFTH FLOOR PLAN
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A2.06	BUILDING B - SECOND / THIRD FLOOR PLAN
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A2.08	BUILDING B - SIXTH / ROOF FLOOR PLAN
A2.09	BUILDING C - PARKADE FLOOR PLAN
A2.10	BUILDING C - FIRST FLOOR PLAN
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A2.13	BUILDING C - SIXTH / ROOF FLOOR PLAN
A2.14	BUILDING D - PARKADE FLOOR PLAN
A2.15	BUILDING D - FIRST FLOOR PLAN
A2.16	BUILDING D - SECOND / THIRD FLOOR PLAN
A2.17	BUILDING D - FOURTH / FIFTH FLOOR PLAN
A2.18	BUILDING D - SIXTH / ROOF PLAN
A3.00	BUILDING A - ELEVATION
A3.01	BUILDING A - COLOUR ELEVATION
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A3.07	BUILDING D - COLOUR ELEVATION

# TRINITY CROSSING APARTMENTS

## 4200 INNES ROAD, OTTAWA



\*VICINITY MAP IS ONLY AN APPROXIMATION OF PROJECT LOCATION\*



2023-12-19

**PROJECT TEAM:**

**APPLICANT:**

**B BROADSTREET**  
PROPERTIES LTD.  
100 St Anns, Campbell River, B.C.  
(T)250.286.8045 (F)250.286.8046  
www.broadstreet.ca

**CONSTRUCTION:**

**SEYMOUR PACIFIC**  
DEVELOPMENTS LTD.  
100 St Anns, Campbell River, B.C.  
(T)250.286.8045 (F)250.286.8046  
www.seymourpacific.ca

**STRUCTURAL ENGINEERING:**

PROTOSTATIX  
500, 10410 - 102 AVENUE NW  
EDMONTON, AB  
T5J 0E9  
780-423-5855

**CIVIL ENGINEERING & PLANNING:**

NOVATECH  
240 MICHAEL COWPLAND  
DRIVE, SUITE 200,  
OTTAWA, ON,  
K2M 1P6  
613.254.9643

**MECHANICAL & ELECTRICAL ENGINEERING:**

ARROW ENGINEERING  
ST. ALBERT TRAIL PLACE 202 -  
13167 146 STREET  
EDMONTON, AB  
T5L 4S8  
780-801-6100

**ARCHITECT:**

ABELE ARCHITECTURE  
2001-1755 HARO STREET  
VANCOUVER, BC  
V6G 1H2  
604-682-6818

SITE INFORMATION	
PROJECT DESCRIPTION	4-MULTIFAMILY RESIDENTIAL APARTMENT (6 STOREY)
TOTAL UNITS	293 UNITS
CIVIC ADDRESS	4200 INNES ROAD
MUNICIPALITY	CITY OF OTTAWA
ZONING	AM [2414] H(40)-h
LEGAL DESCRIPTION	-
LOT AREA	19,142.7 m <sup>2</sup>
BUILDING AREA	4957.31 m <sup>2</sup>
DENSITY	61.94 DU/ACRE
FLOOR SPACE INDEX (FSI)	1.54

ZONING SUMMARY				
	REQUIRED		PROPOSED	
MAX. BUILDING HEIGHT	40 m		18.5 m	
MIN. FRONT YARD S.B.	3.0 m		3.0 m	
MIN. REAR YARD S.B.	7.5 m		7.5 m	
MIN. INTERIOR SIDE YARD S.B.	No minimum		3.0 m	
MIN. CORNER SIDE YARD S.B.	3.0 m		3.0 m	
MIN. LOT AREA	No minimum		19,600 m <sup>2</sup>	
MIN. LOT WIDTH	No minimum		156.5 m	
MIN. WIDTH OF LAND. BUFFER	3 m		3 m	

BUILDING INFORMATION			
BUILDING	FOOTPRINT	GROSS BUILDING AREA	COMMERCIAL
A	1158.92 m <sup>2</sup>	7035.27 m <sup>2</sup>	-
B	1480.55 m <sup>2</sup>	8373.60 m <sup>2</sup>	339.5 m <sup>2</sup>
C	1158.92 m <sup>2</sup>	7035.27 m <sup>2</sup>	-
D	1158.92 m <sup>2</sup>	7035.27 m <sup>2</sup>	-

UNIT BREAKDOWN				
TOTAL PER BUILDING	BUILDING A	BUILDING B	BUILDING C	BUILDING D
TOTAL	70	81	71	71
	293 UNITS			
TOTAL	BUILDING A	BUILDING B	BUILDING C	BUILDING D
1 BEDROOM / 1 BATH	12	19	13	13
2 BEDROOM / 1 BATH	17	6	17	17
2 BEDROOM / 2 BATH	29	40	29	29
3 BEDROOM / 2 BATH	12	16	12	12
TOTAL	293 UNITS			

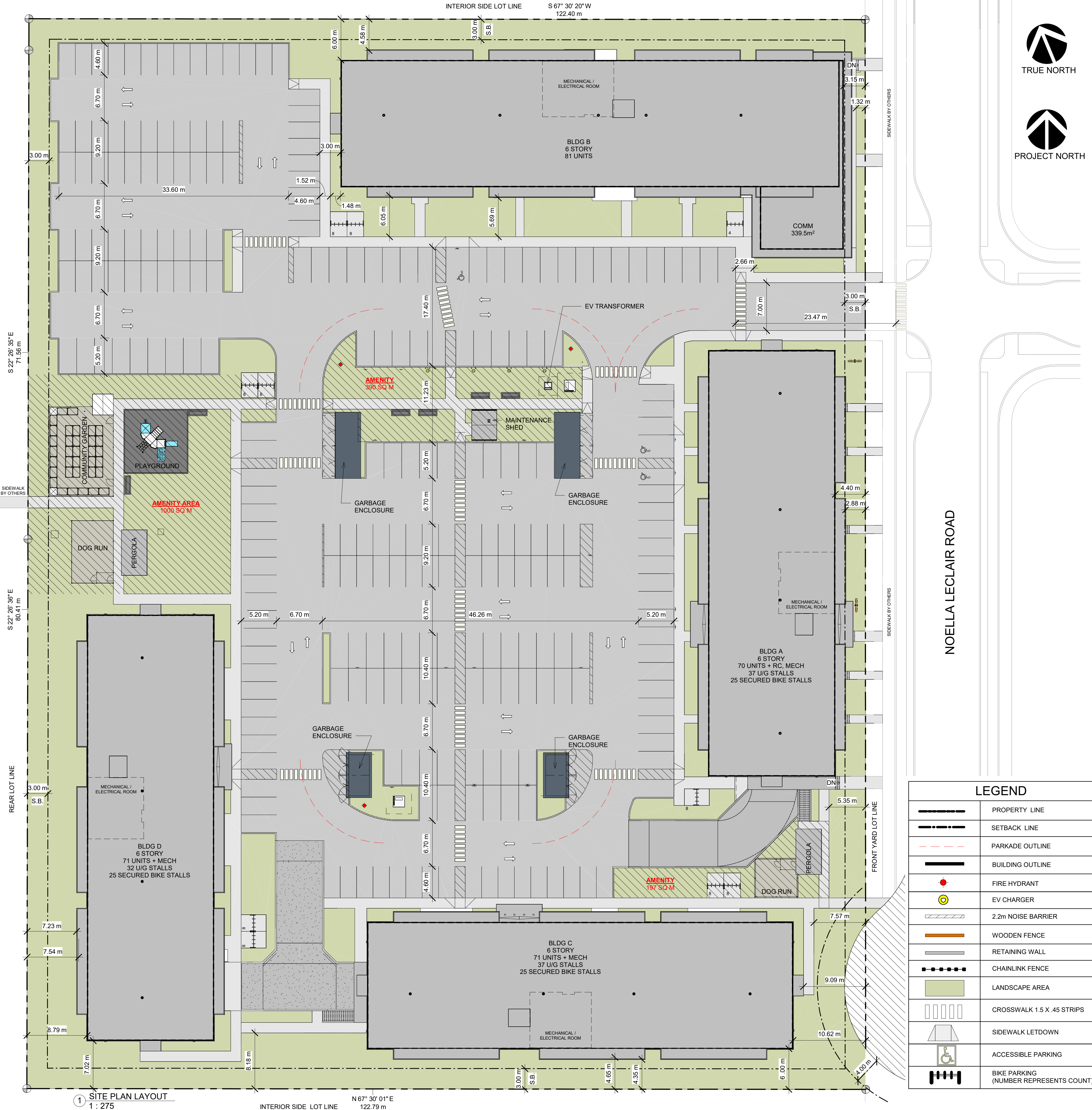
VEHICULAR PARKING				
APARTMENT - REGULAR	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
	1.2 / UNIT	71	85	68
		71	85	68
		70	84	68
APARTMENT - MIXED USE	1 / UNIT	81	81	81
VISITORS	0.2 / UNIT	293	59	59
MEDICAL	4 / 100 m <sup>2</sup>	339.5 m <sup>2</sup>	14	14
SHARED PARKING REDUCTION			-11	-11
TOTAL PARKING STALLS			397	358*
OTHER PARKING PROVISIONS				
SMALL CAR	MAX 50%		205	147
ACCESSIBLE TYPE A			2	2
ACCESSIBLE TYPE B			1	1

BICYCLE PARKING				
APARTMENT BUILDING	RATE	UNITS/AREA	REQUIRED	PROPOSED
	0.5 / UNIT	293	147	149
MEDICAL	1 / 250 m <sup>2</sup>	339.5 m <sup>2</sup>	2	2
TOTAL BICYCLE			149	151
OTHER BICYCLE PROVISIONS				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	75	76
MIN HORIZONTAL BIKE STALL	50%	-	75	76
MIN SECURED BIKE STALLS	25%	-	37	75

LANDSCAPE		
PERCENTAGE OF LOT AREA	REQUIRED	PROPOSED
	-%	22.01%
m <sup>2</sup>	-	4,213.93 m <sup>2</sup>

WASTE CALCULATIONS		
	REQUIRED	PROPOSED
GARBAGE	32 y <sup>3</sup>	32 y <sup>3</sup>
GMP	5 y <sup>3</sup>	8 y <sup>3</sup>
FIBRE	11 y <sup>3</sup>	16 y <sup>3</sup>
ORGANICS	1440 L	1920 L

AMENITY			
TOTAL AMENITY SPACE	RATE	REQUIRED	PROPOSED
	6M <sup>2</sup> / DU	1758 m <sup>2</sup>	3486 m <sup>2</sup>
COMMUNITY AMENITY AREA (50% MIN OF TOTAL)		879 m <sup>2</sup>	1587 m <sup>2</sup>



LEGEND	
	PROPERTY LINE
	SETBACK LINE
	PARKADE OUTLINE
	BUILDING OUTLINE
	FIRE HYDRANT
	EV CHARGER
	2.2m NOISE BARRIER
	WOODEN FENCE
	RETAINING WALL
	CHAINLINK FENCE
	LANDSCAPE AREA
	CROSSWALK 1.5 X .45 STRIPS
	SIDEWALK LETDOWN
	ACCESSIBLE PARKING
	BIKE PARKING (NUMBER REPRESENTS COUNT)



Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

PROJECT STATUS:  
ISSUED FOR PLAN CONTROL

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT OAA, T: 604.682.6818



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PROJECT NAME:  
TRINITY APARTMENTS

PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
SITE PLAN

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

DRAWING #: **A1.00** REV #: **C**



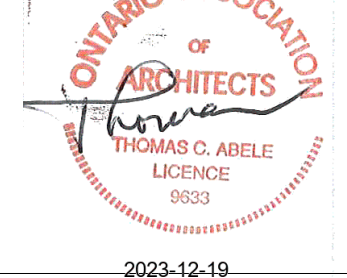
SITE MAP:

PROJECT STATUS:  
ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
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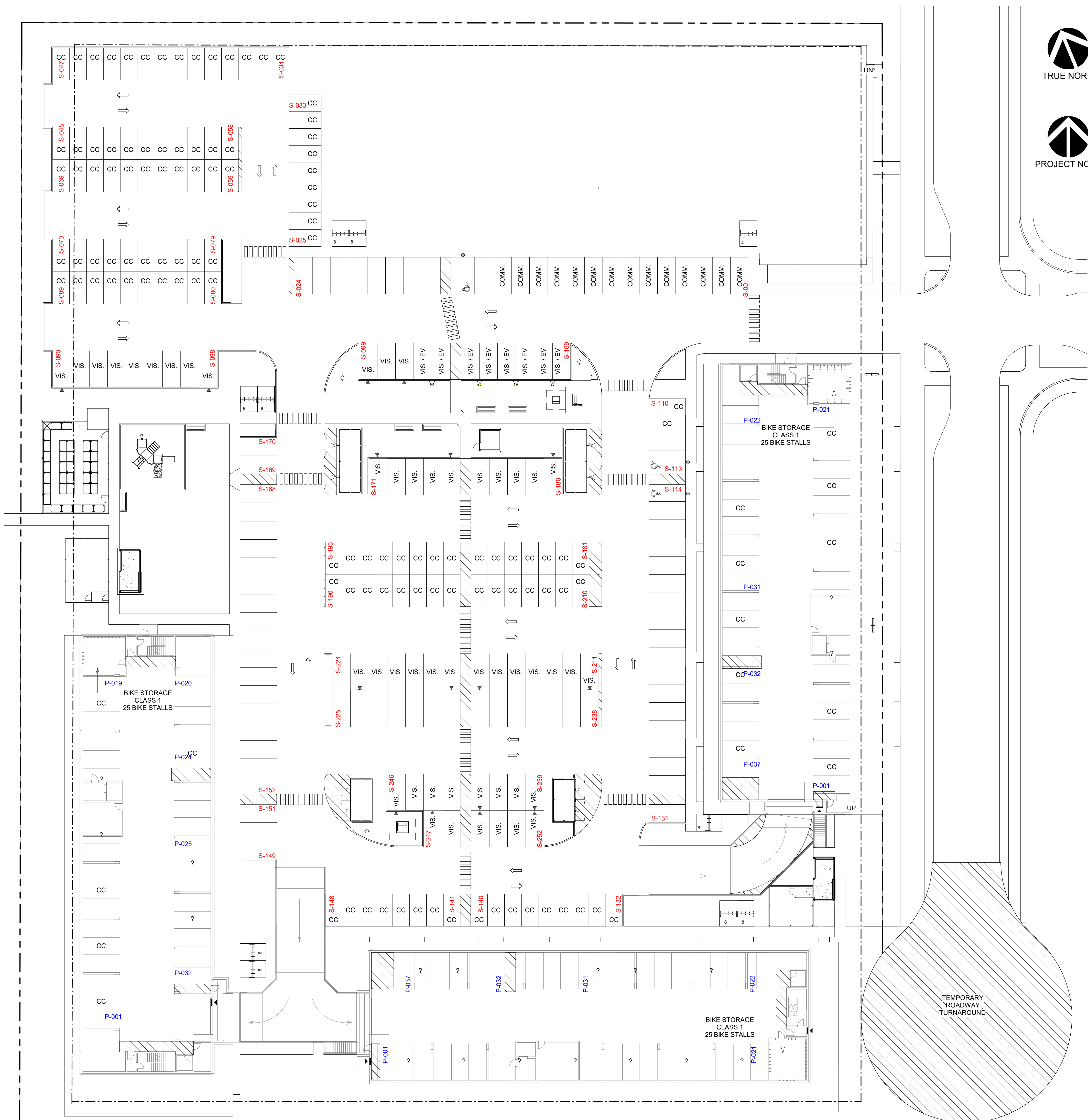
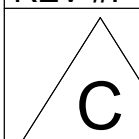
ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
SURFACE / UNDERGROUND PARKING PLAN

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

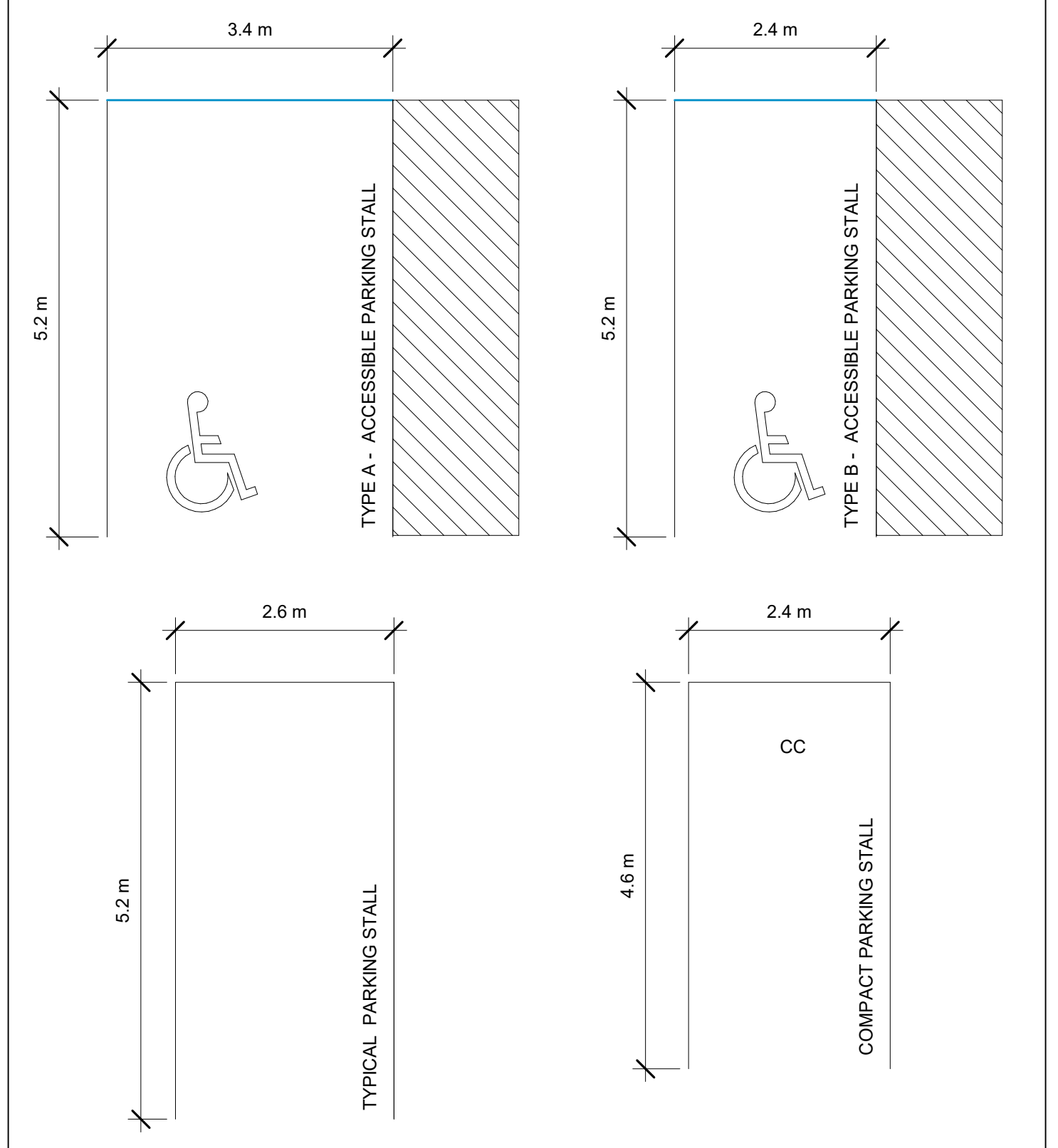
DRAWING #: REV #:

**A1.01**



VEHICULAR PARKING				
	REQUIRED	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT - REGULAR	1.2 / UNIT	71	85	68
		71	85	68
		70	84	68
APARTMENT - MIXED USE	1 / UNIT	81	81	81
VISITORS	0.2 / UNIT	293	59	59
MEDICAL	4 / 100 m <sup>2</sup>	339.5 m <sup>2</sup>	14	14
<b>SHARED PARKING REDUCTION</b>				
<b>TOTAL PARKING STALLS</b>			<b>397</b>	<b>358*</b>
<b>OTHER PARKING PROVISIONS</b>				
SMALL CAR	MAX 50%		205	147
ACCESSIBLE TYPE A			2	2
ACCESSIBLE TYPE B			1	1

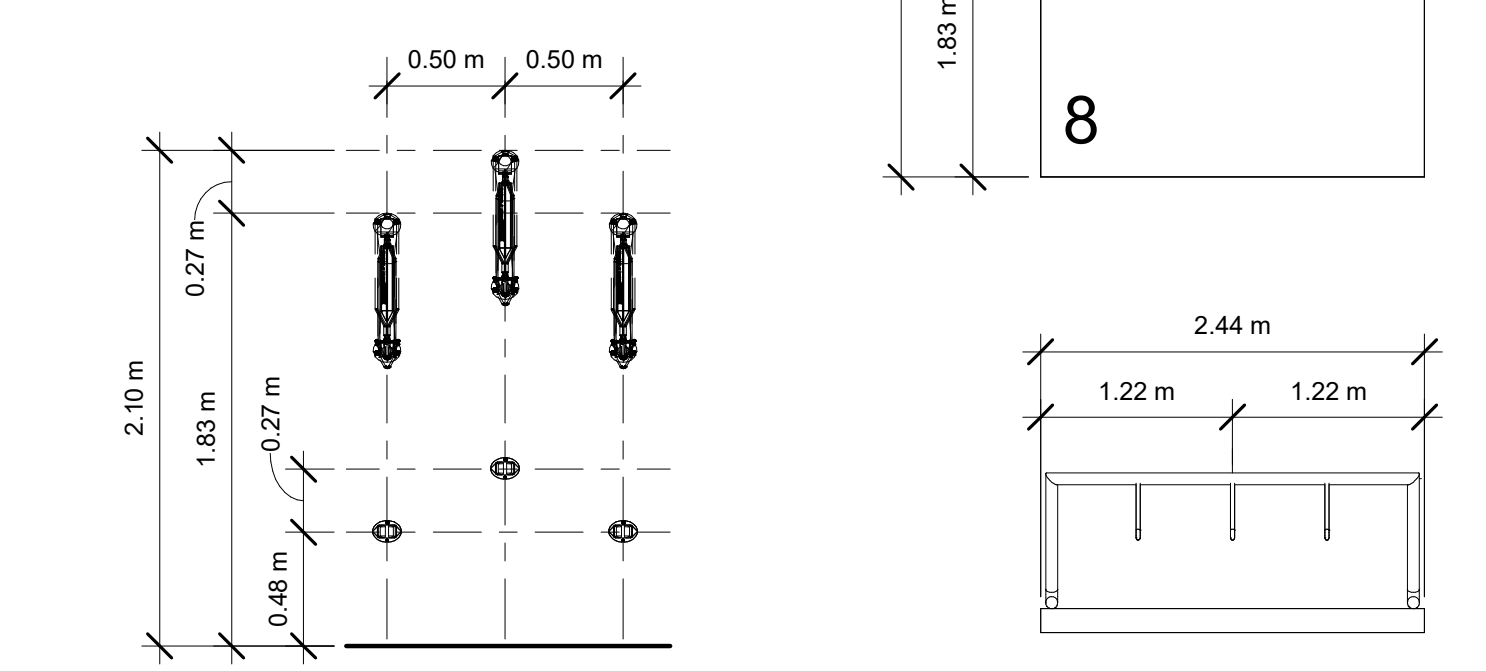
\* SUBJECT TO APPROVAL OF MINOR VARIANCE BY THE COMMITTEE OF ADJUSTMENT - TYPICAL STALL DIMENSIONS



BICYCLE PARKING				
	RATE	UNITS/AREA	REQUIRED	PROPOSED
APARTMENT BUILDING	0.5 / UNIT	293	147	149
MEDICAL	1 / 250 m <sup>2</sup>	339.5 m <sup>2</sup>	2	2
<b>TOTAL BICYCLE</b>			<b>149</b>	<b>151</b>
<b>OTHER BICYCLE PROVISIONS</b>				
MAX BIKE STALLS IN LANDSCAPED AREA	50%	-	75	76
MIN HORIZONTAL BIKE STALL	50%	-	75	76
MIN SECURED BIKE STALLS	25%	-	37	75

PARKING KEY NOTES:

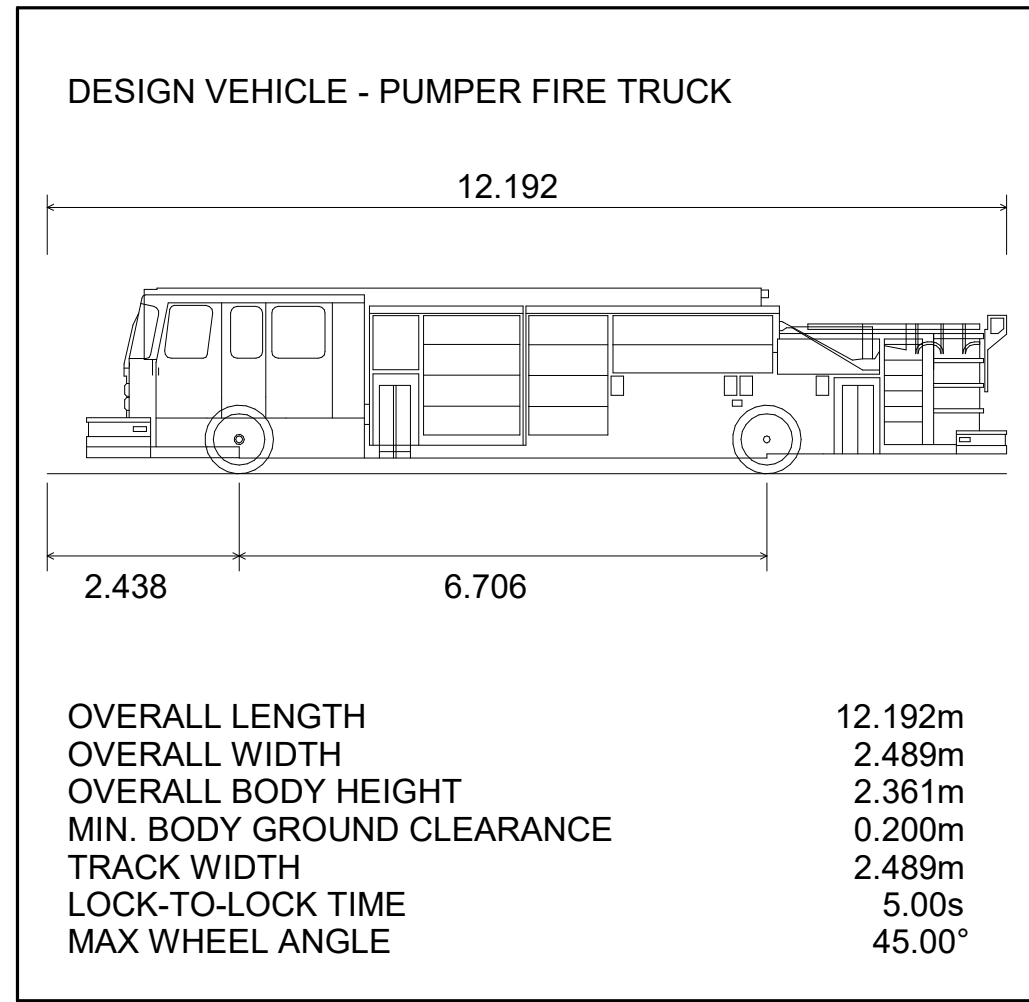
- LETTER:  
CC = COMPACT CAR  
VIS = VISITOR
- UNLESS NOTED ALL OTHER STALL ARE TYPICAL
- EV CHARGER
  - ACCESSIBLE PARKING SIGN
  - VISITOR PARKING SIGN



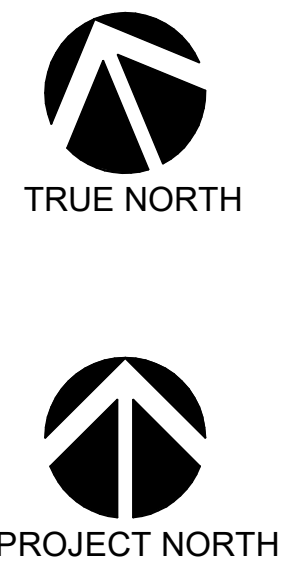
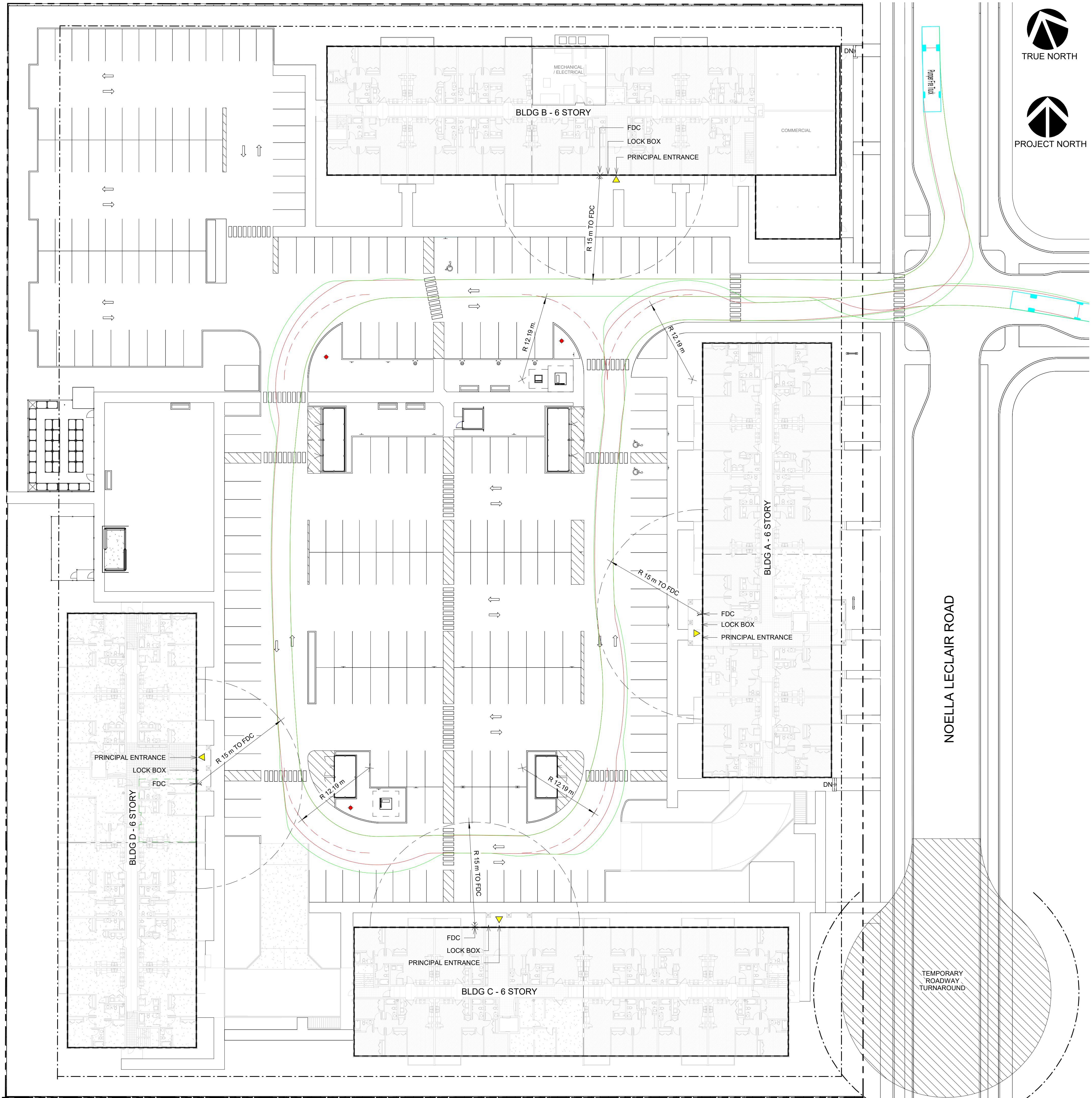
1:32 VERTICAL BIKE LAYOUT  
1:48 HORIZONTAL BIKE LAYOUT

1:275 SITE PLAN - SURFACE / PARKEDE PARKING

LEGEND	
	PROPERTY LINE
	SETBACK LINE
	BUILDING OUTLINE
	FIRE HYDRANT
	PRINCIPAL ENTRANCE
	FIRE DEPARTMENT CONNECTION



NTS

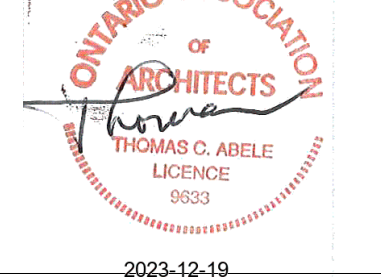


SITE MAP:

PROJECT STATUS:  
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A	ISSUED FOR SCP	05/24/2023
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PROJECT NUMBER:  
 VP 2213

ADDRESS:  
 4200 INNES ROAD  
 OTTAWA, ONTARIO

DRAWING TITLE:  
 FIRE + EMERGENCY ACCESS PLAN

DRAWN BY: EC  
 CHECKED BY: CG  
 DATE: DEC 18, 2023  
 SCALE: As indicated

DRAWING #: **A1.02** REV #: **C**



SITE MAP:

PROJECT STATUS:  
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Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
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OTTAWA, ONTARIO

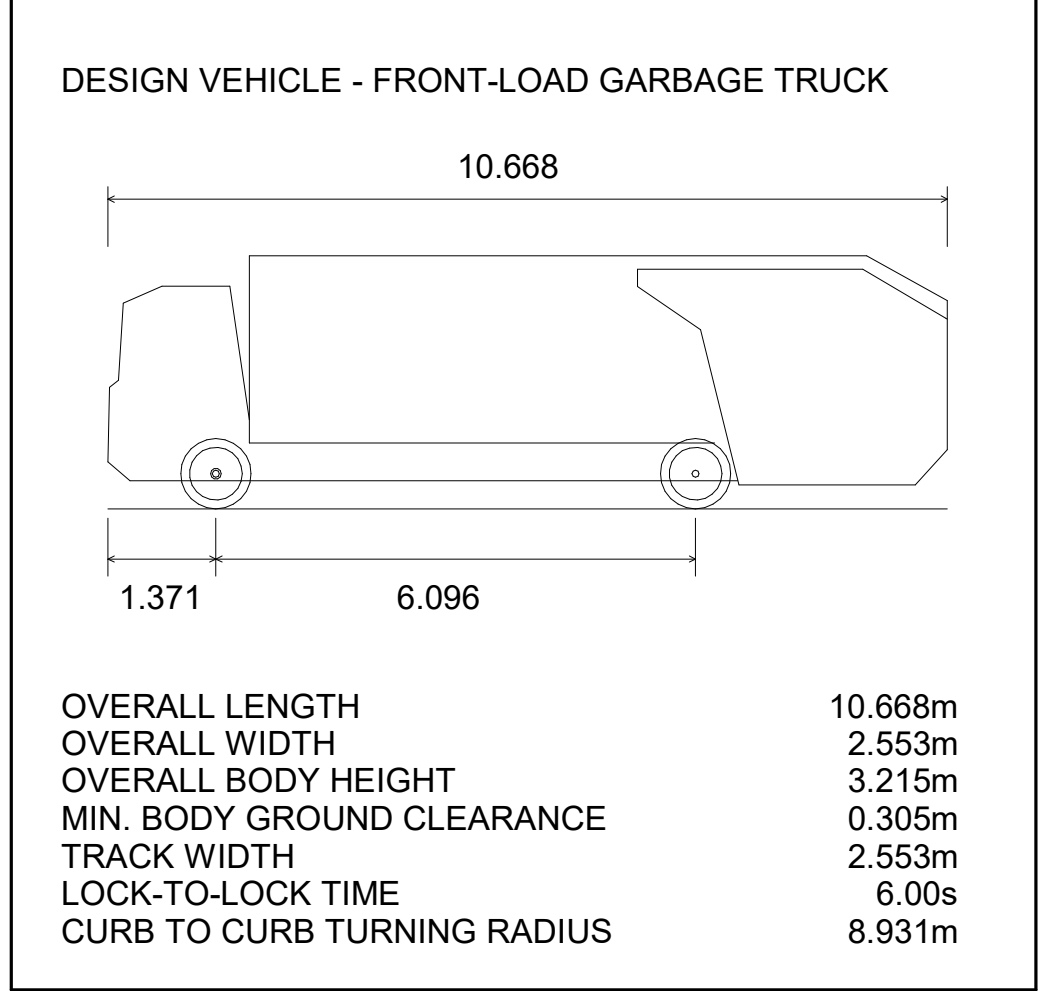
DRAWING TITLE:  
WASTE + RECYCLING PLAN

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated  
DRAWING #: **A1.03**



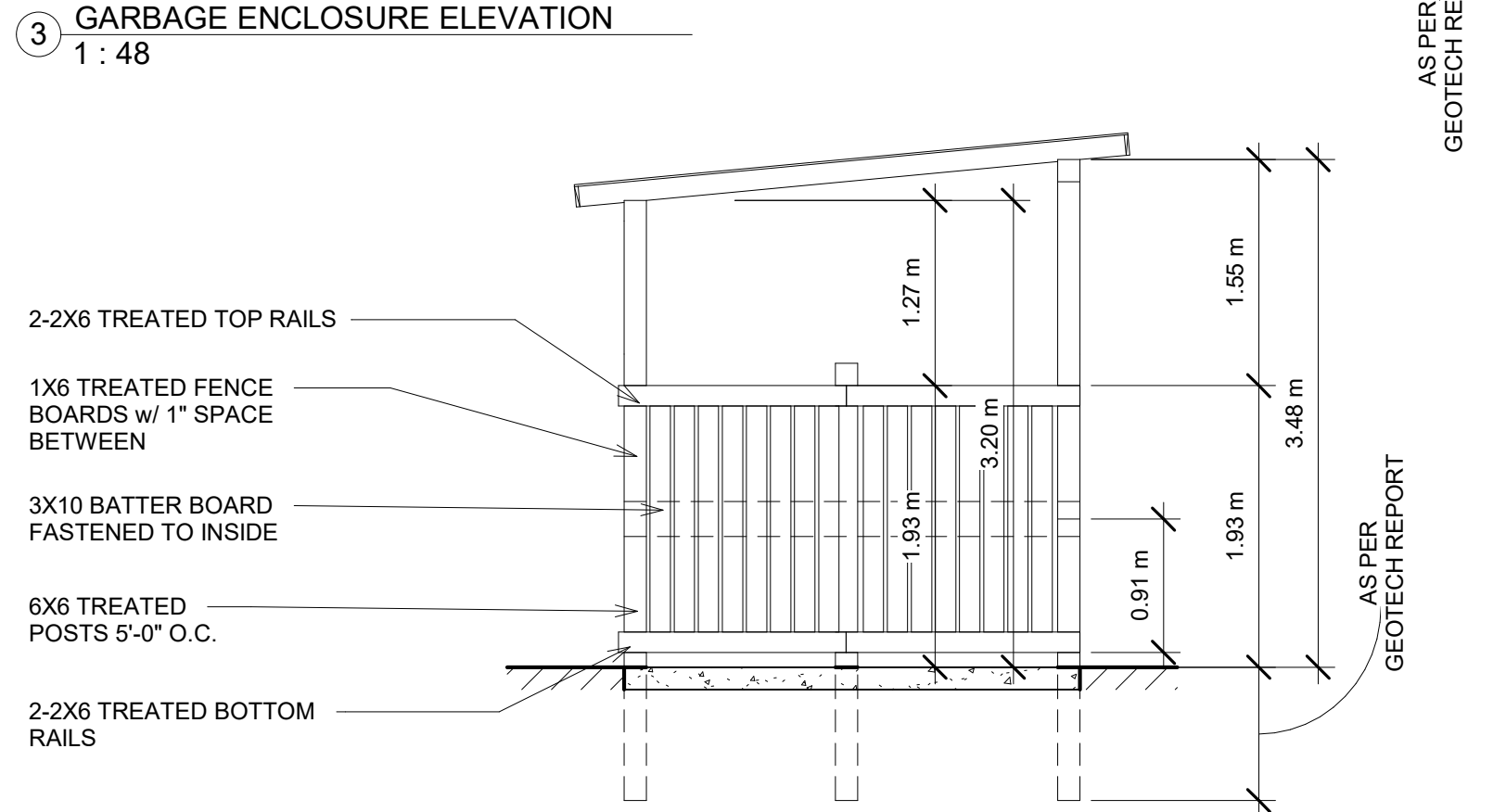
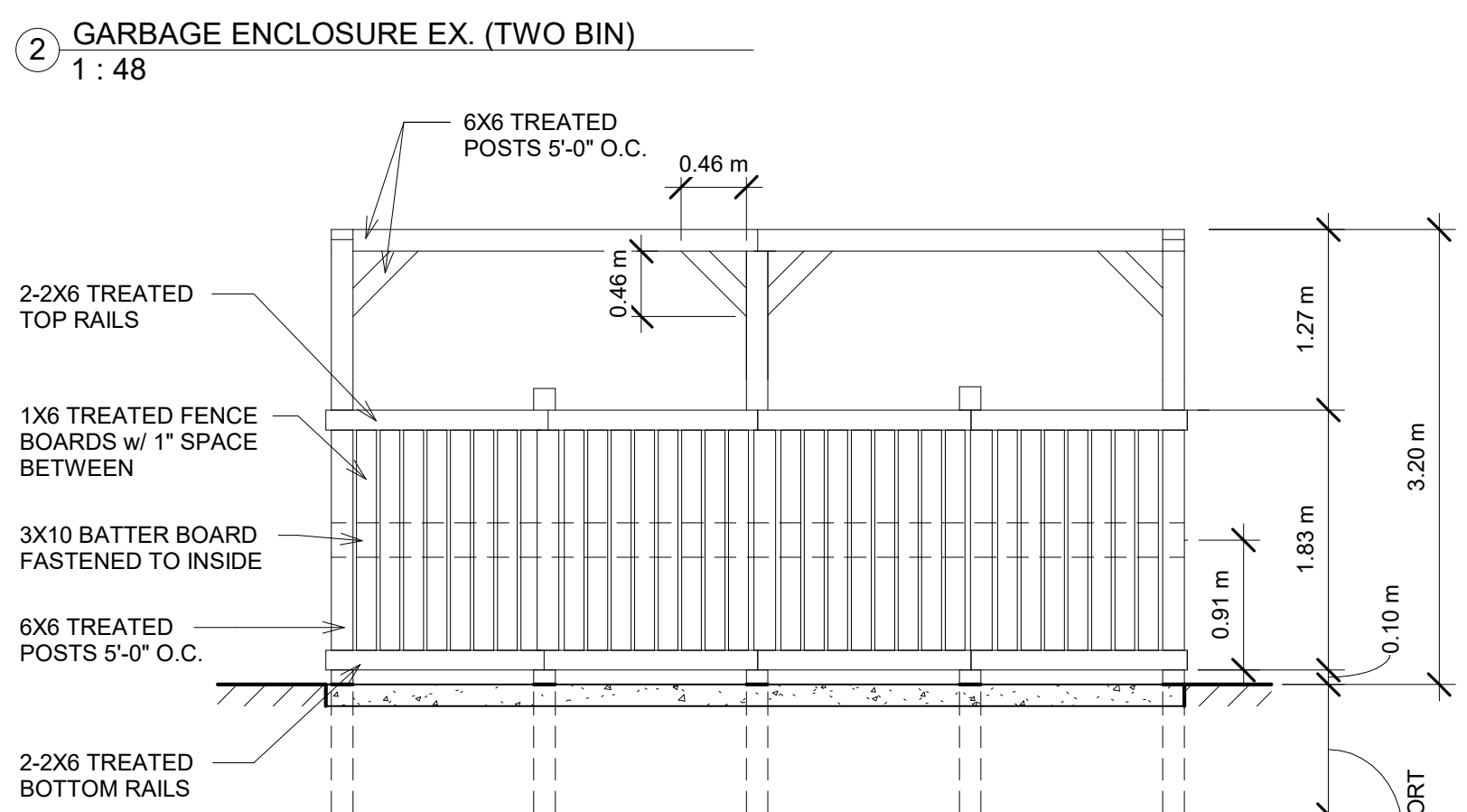
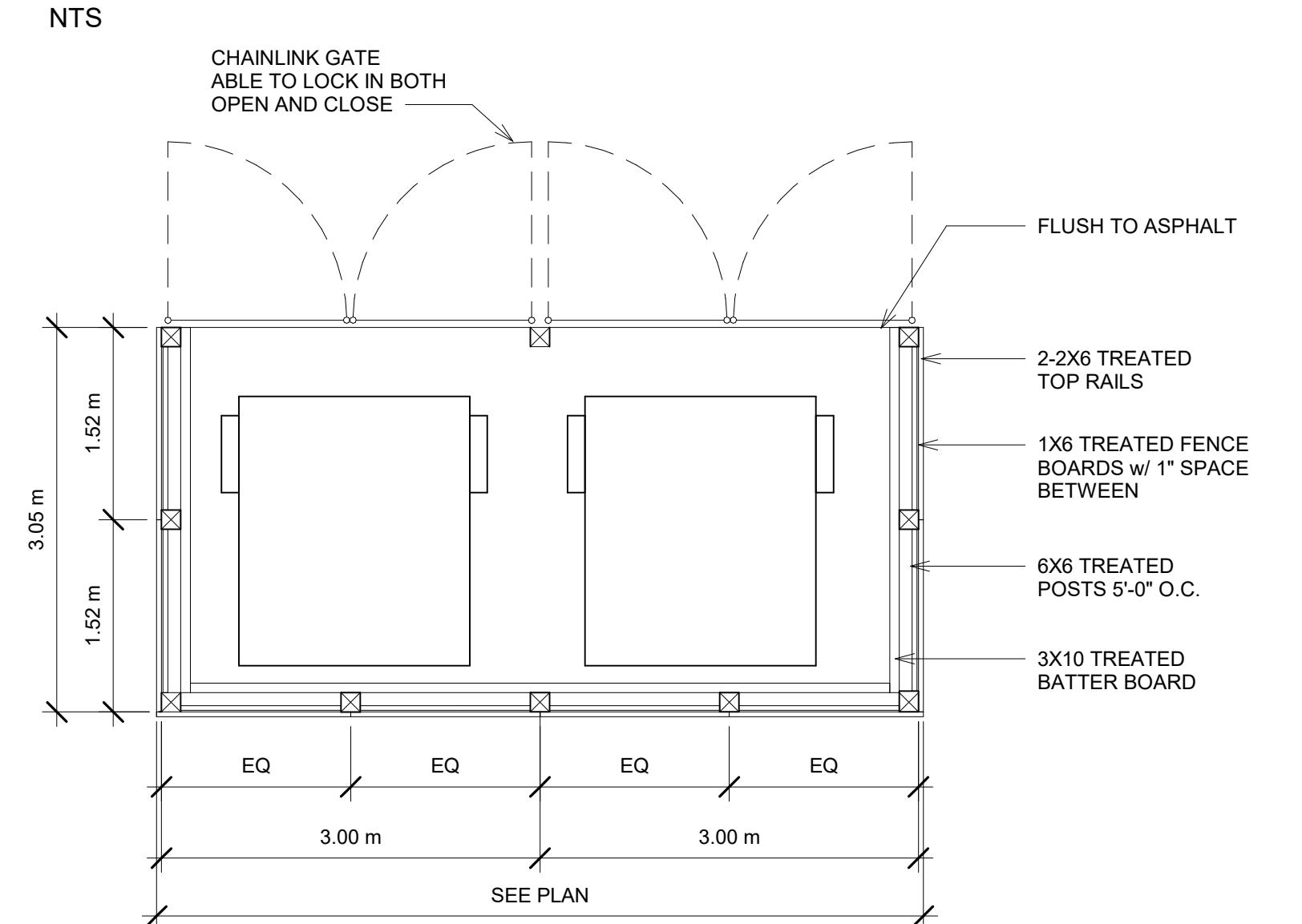
1 WASTE + RECYCLING PLAN  
1 : 275

WASTE CALCULATIONS		
	REQUIRED	PROPOSED
GARBAGE	32 y <sup>3</sup>	32 y <sup>3</sup>
GMP	5 y <sup>3</sup>	8 y <sup>3</sup>
FIBRE	11 y <sup>3</sup>	16 y <sup>3</sup>
ORGANICS	1440 L	1920 L



LEGEND

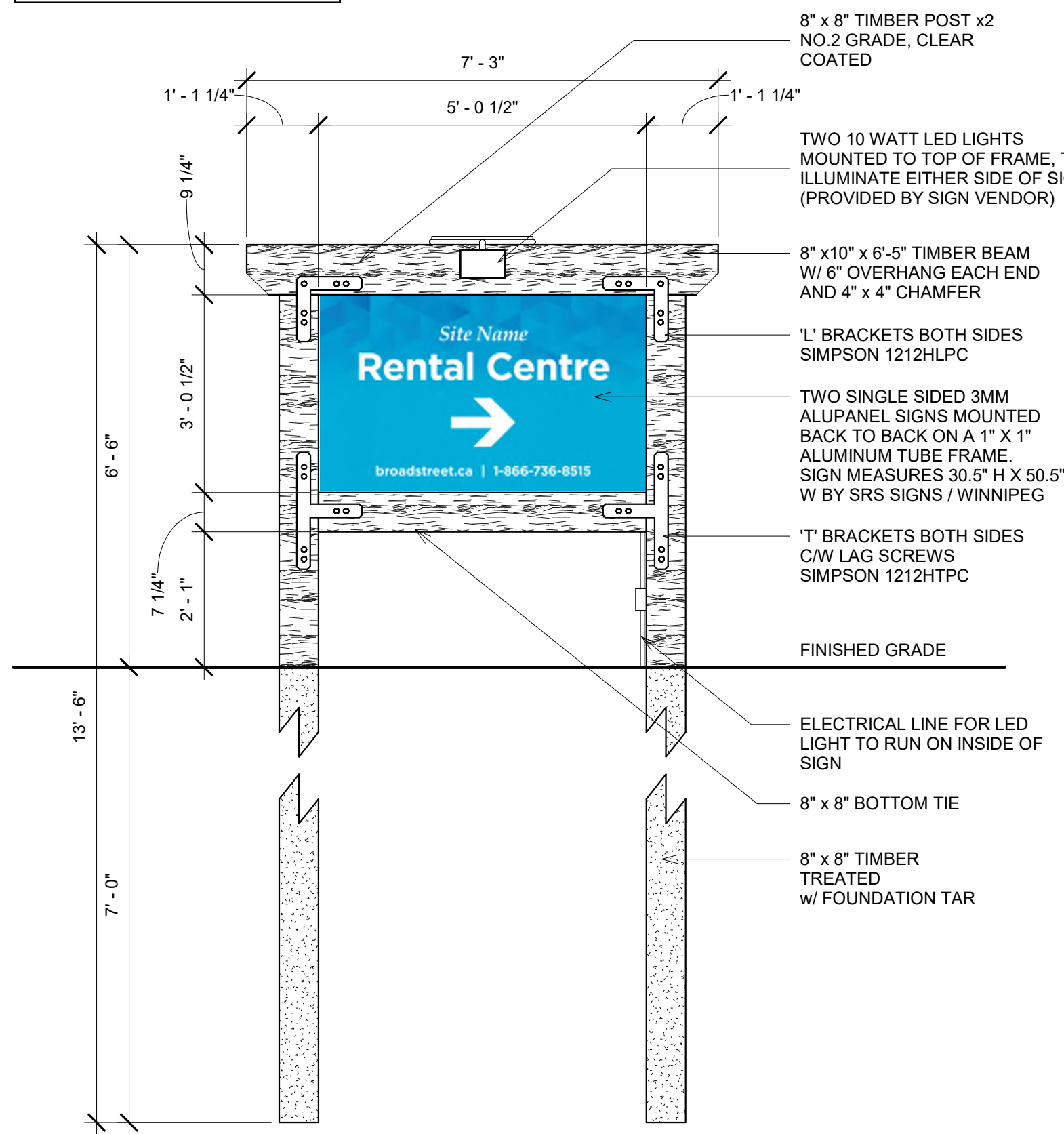
	240 L ORGANIC CANS
	GMP CANS (NUMBER REPRESENTS Y <sup>3</sup> )
	GARBAGE CANS (NUMBER REPRESENTS Y <sup>3</sup> )
	FIBRE BINS (NUMBER REPRESENTS Y <sup>3</sup> )



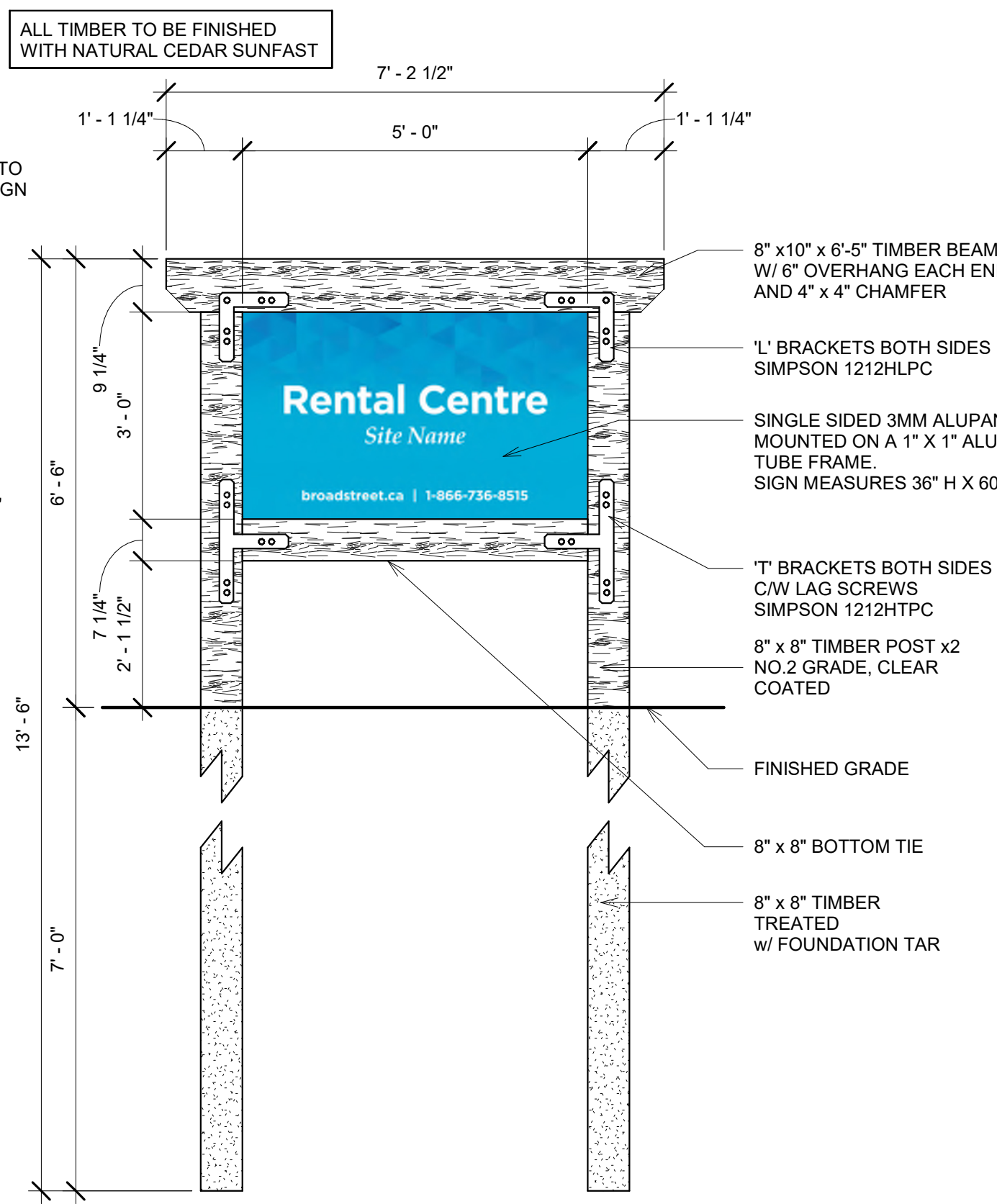
4 GARBAGE ENCLOSURE SIDE ELEVATION  
1 : 48

12/18/2023 3:08:07 PM

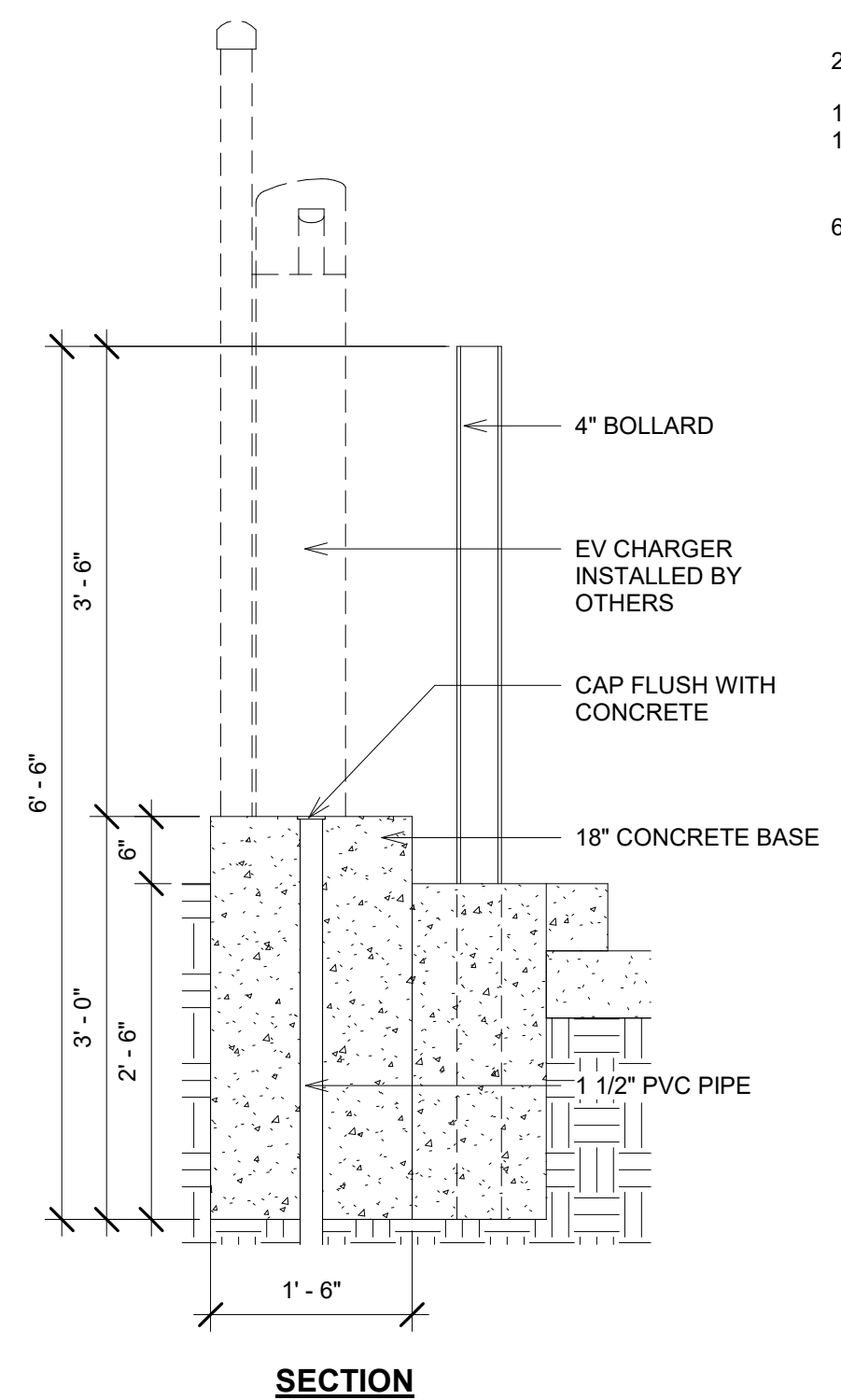
ALL TIMBER TO BE FINISHED WITH NATURAL CEDAR SUNFAST



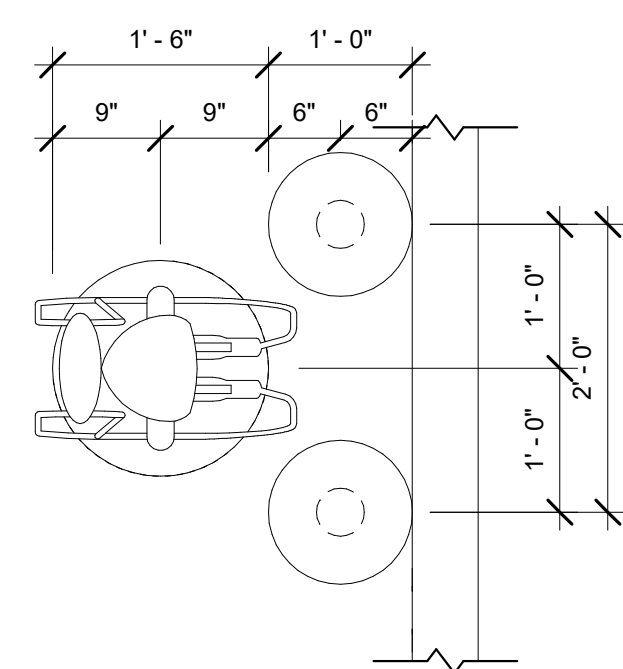
1 ENTRY SIGN  
1 : 24



109 RENTAL OFFICE DIRECTION SIGN  
1 : 24

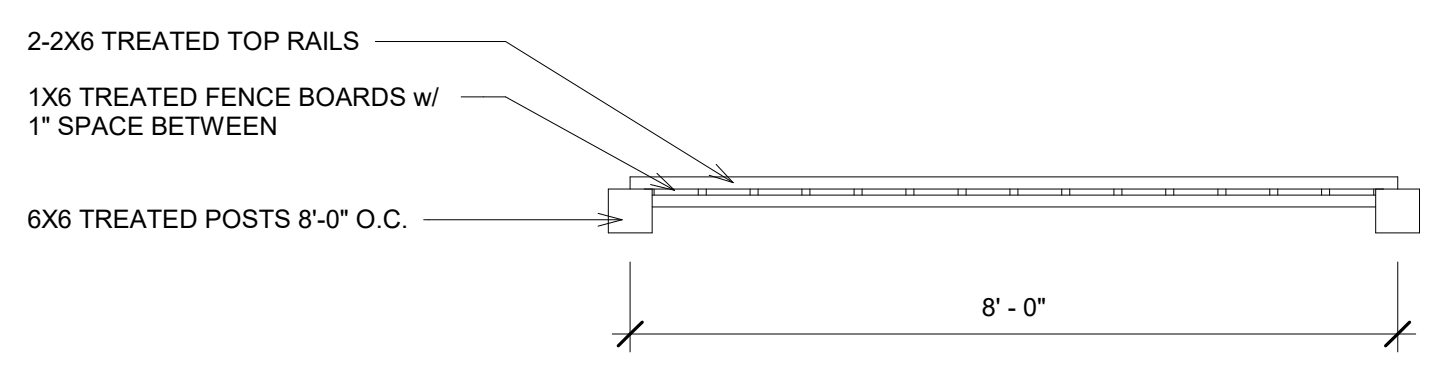


SECTION

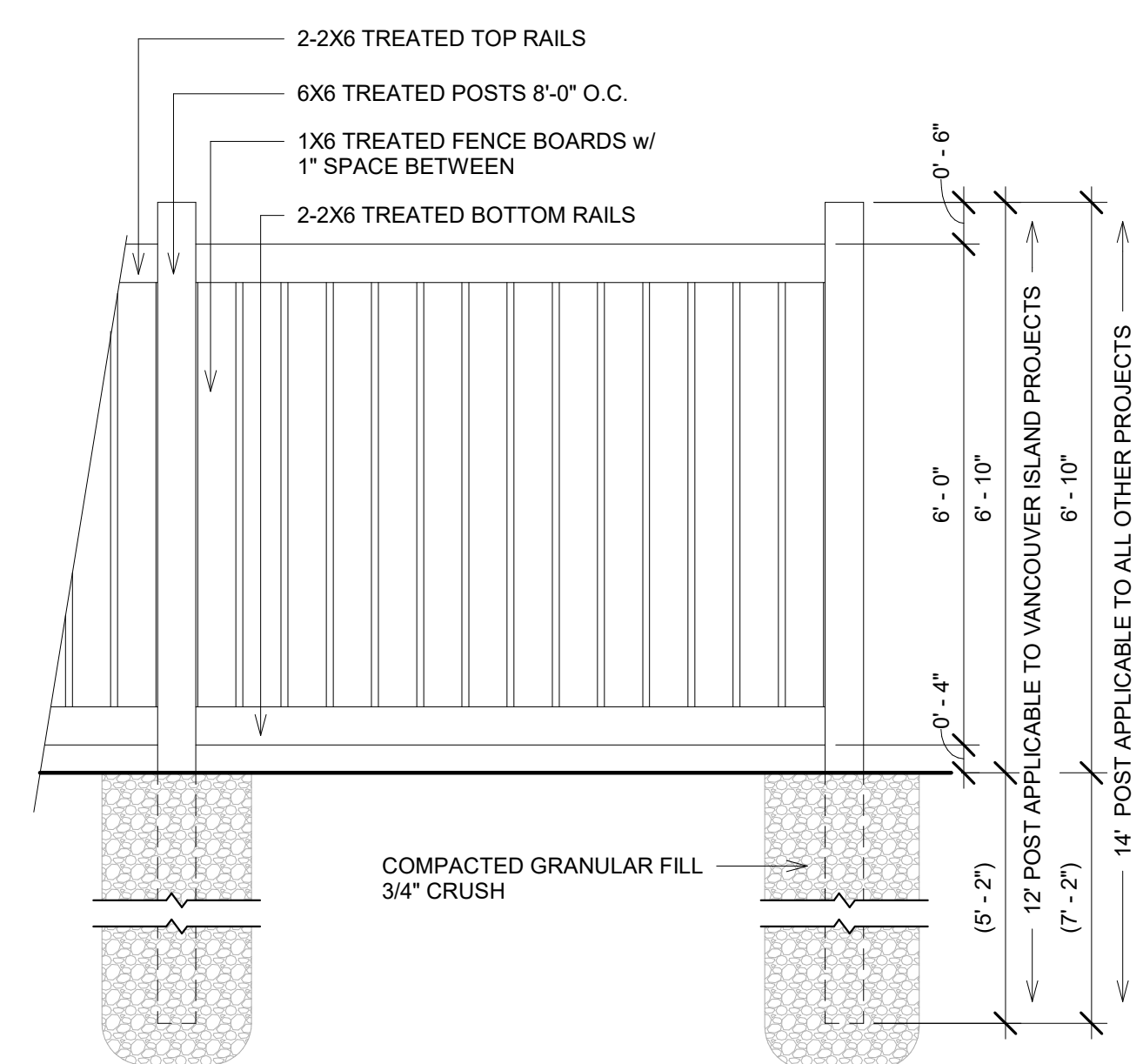


DETAIL

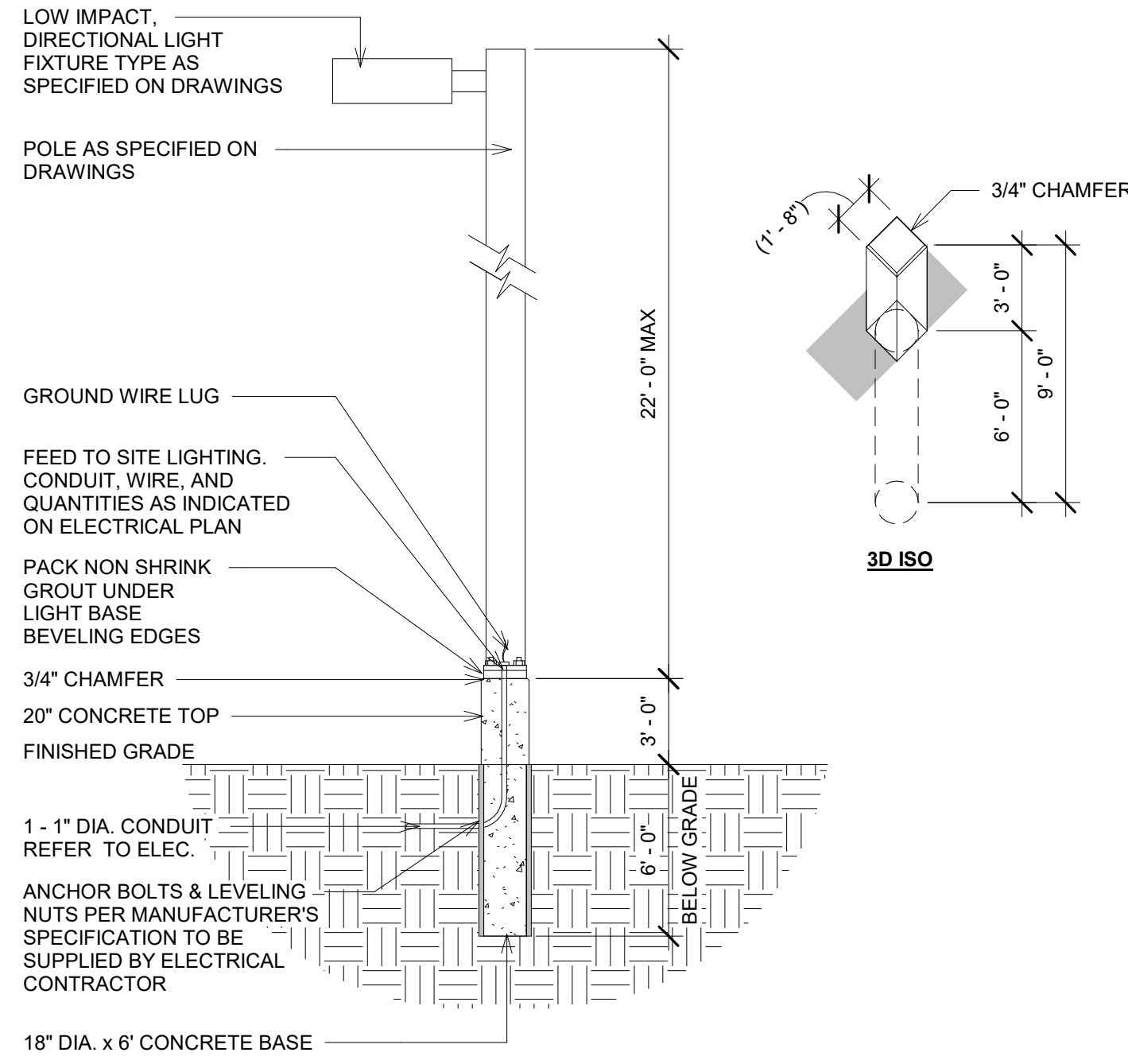
2 EV CHARGER - LANDSCAPE  
1 : 16



5 SITE FENCE PLAN DETAIL  
1 : 24



4 SITE FENCE TYPE (1) ELEVATION DETAIL  
1 : 24



6 TYPICAL SITE LIGHTING  
1 : 64

SITE MAP:

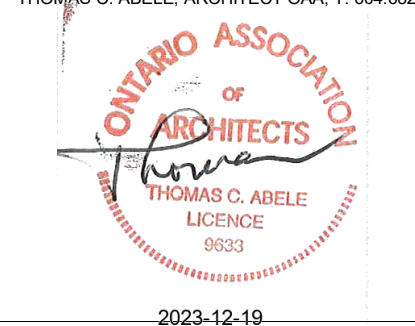
PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT C.O.A. T. 604.682.6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

SITE ACCESSORIES

DRAWN BY: EC

CHECKED BY: CG

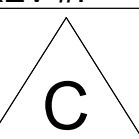
DATE: DEC 18, 2023

SCALE: As indicated

DRAWING #:

**A1.04**

REV #:

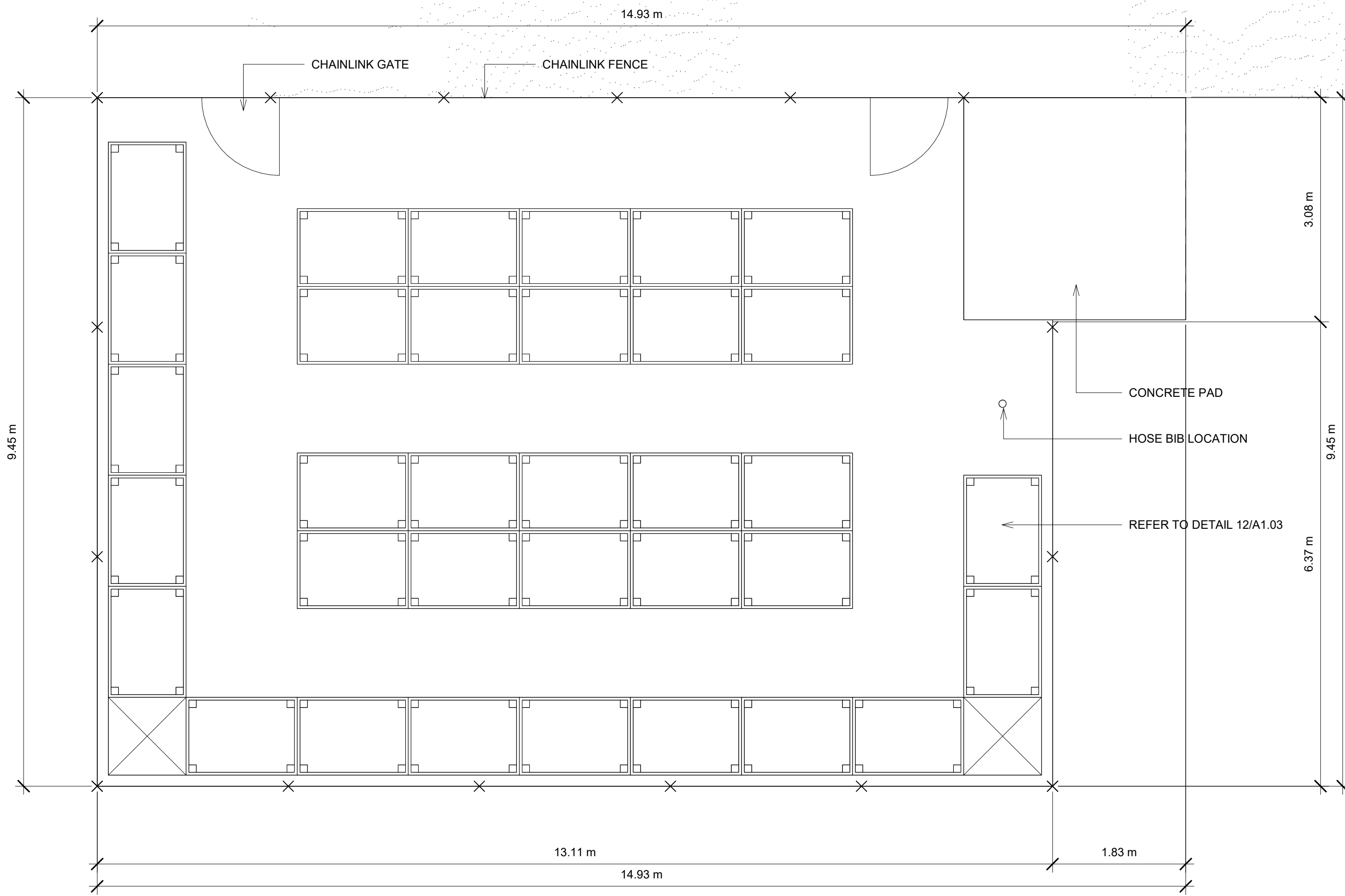
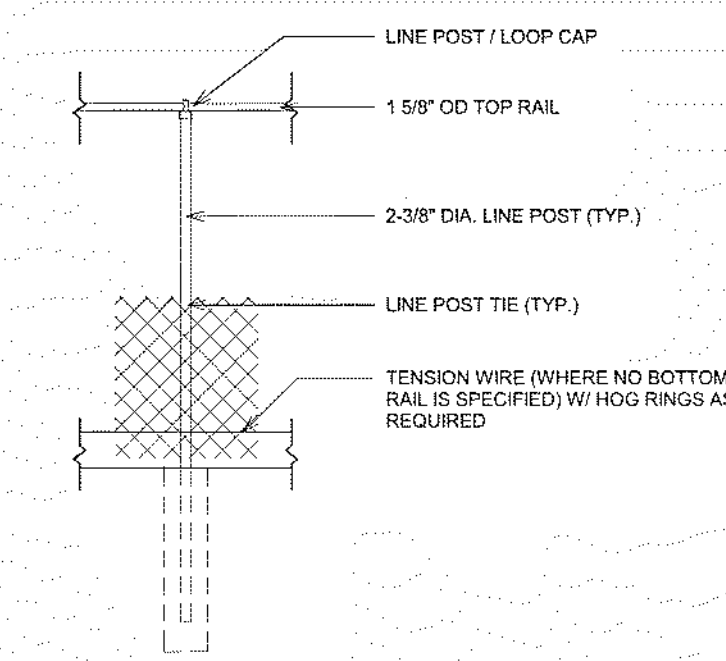
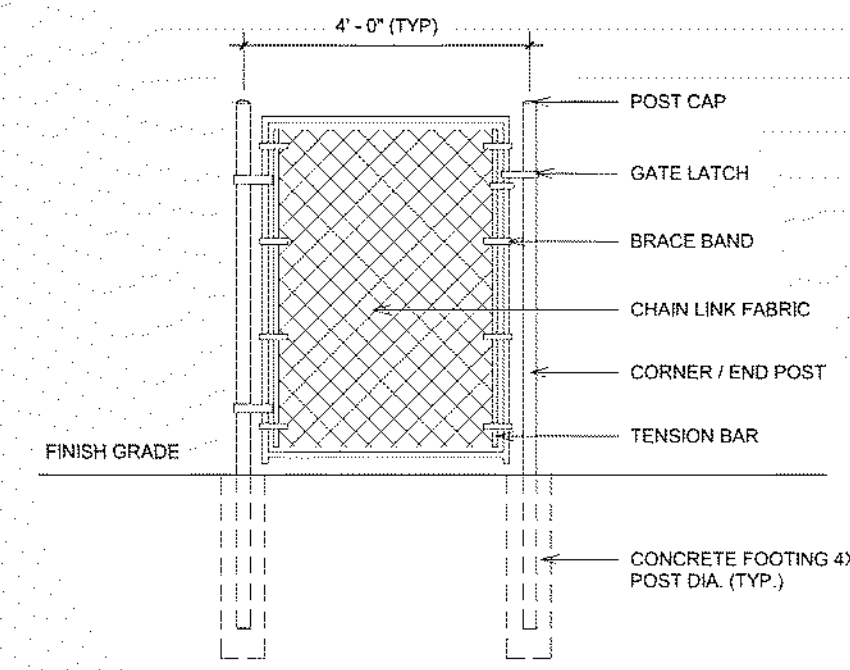
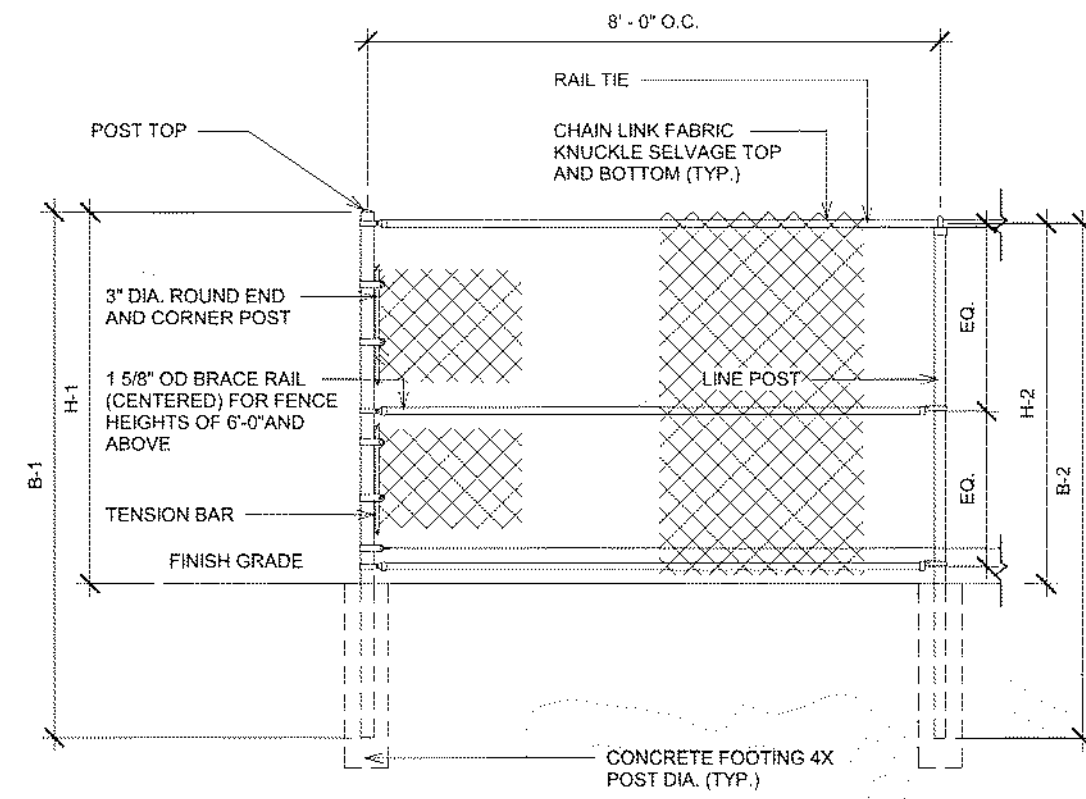


**GENERAL NOTES:**

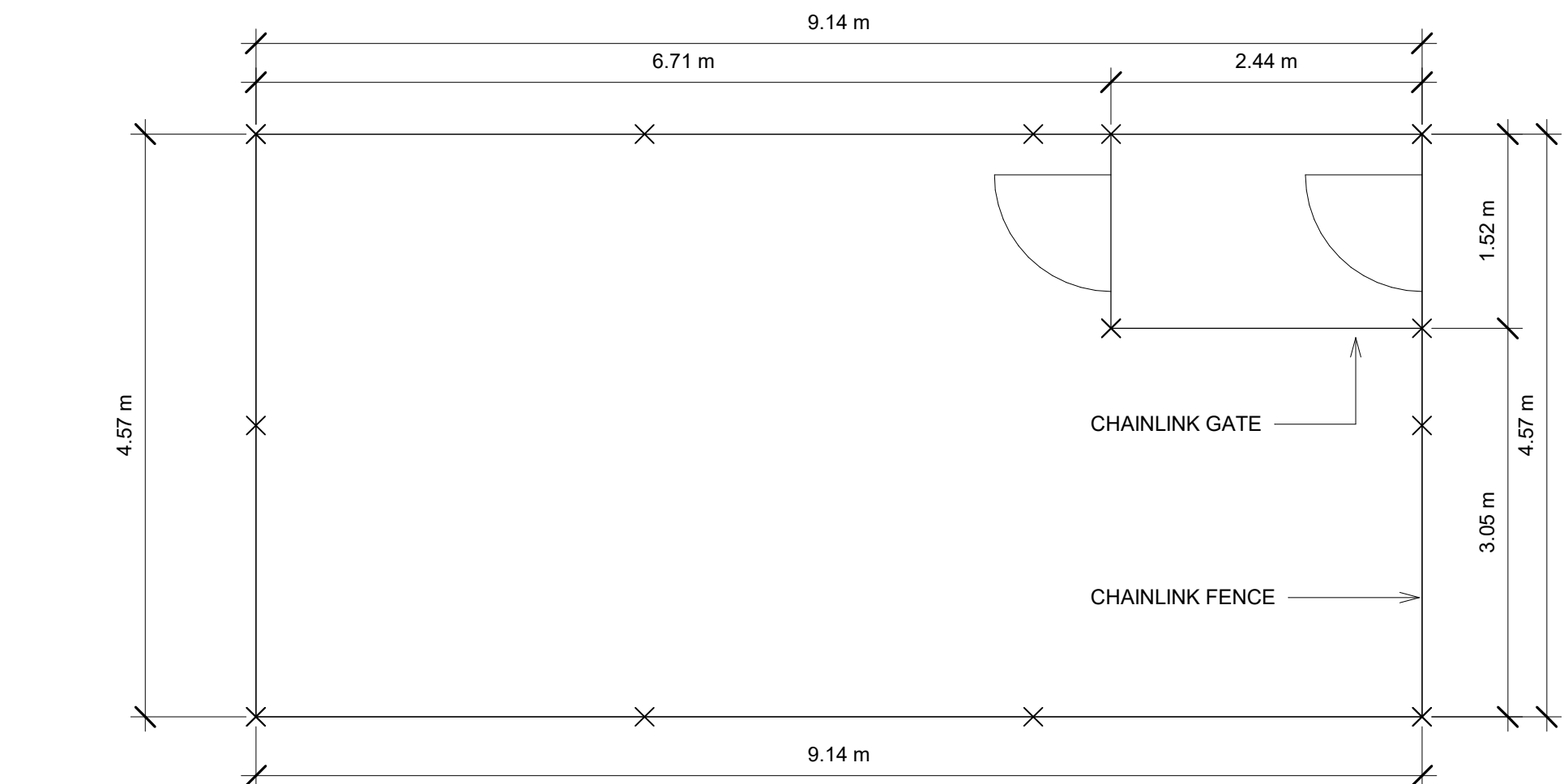
1. FOOTING WIDTH TO BE (4)X POST WIDTH.
2. ALL MATERIAL TO CONFORM TO CSA.
3. ALL GALVANIZED FITTINGS TO CONFORM TO ASTM-A153.
4. ALL FENCE COMPONENTS TO BE VINYL COATED.
5. VINYL COATING COLOR TO BE BLACK.
6. NO ALUMINUM TIES SHALL BE PERMITTED.
7. POST AND RAIL SIZES MAY REQUIRE MODIFICATION TO MEET SPECIFIC PROJECT REQUIREMENTS.

LOCATION	FENCE HEIGHT	END & CORNER POSTS		LINE POSTS	
	NOMINAL HEIGHT	B-1 BAR LENGTH	H-1 HEIGHT ABOVE GRADE	B-2 BAR LENGTH	H-2 HEIGHT ABOVE GRADE
GARDEN	4'-0"	7'-0"	4'-0 5/8"	6'-8"	3'-6 7/8"
DOG RUN	5'-0"	8'-0"	5'-0 5/8"	7'-8"	4'-8 7/8"
PARKADE	9'-0"	NA	9'-0 5/8"	NA	8'-8 7/8"

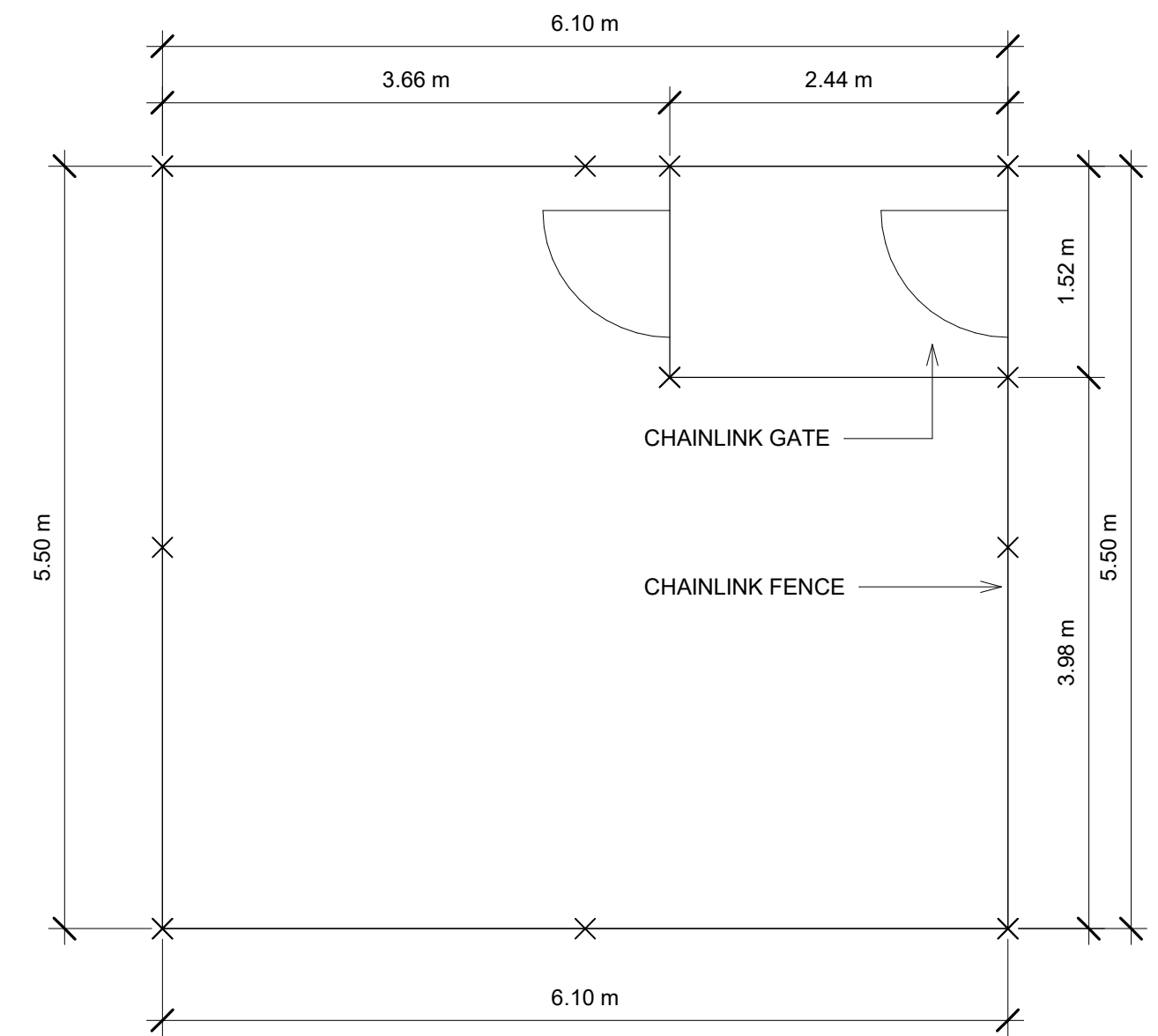
POST CAP	TOP & BOTTOM FABRIC DETAIL
DOME	KNUCKLE



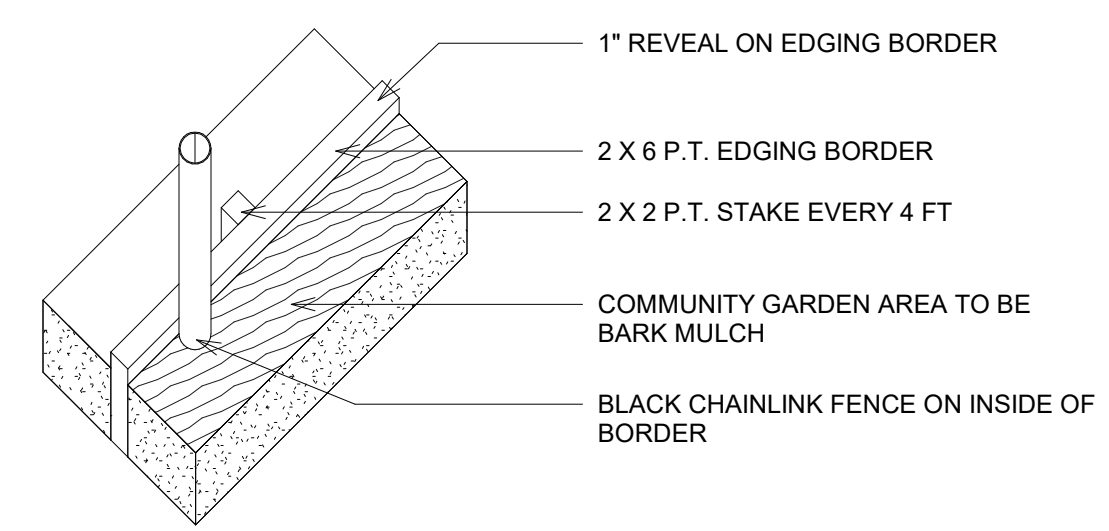
GARDEN LAYOUT  
1 : 48



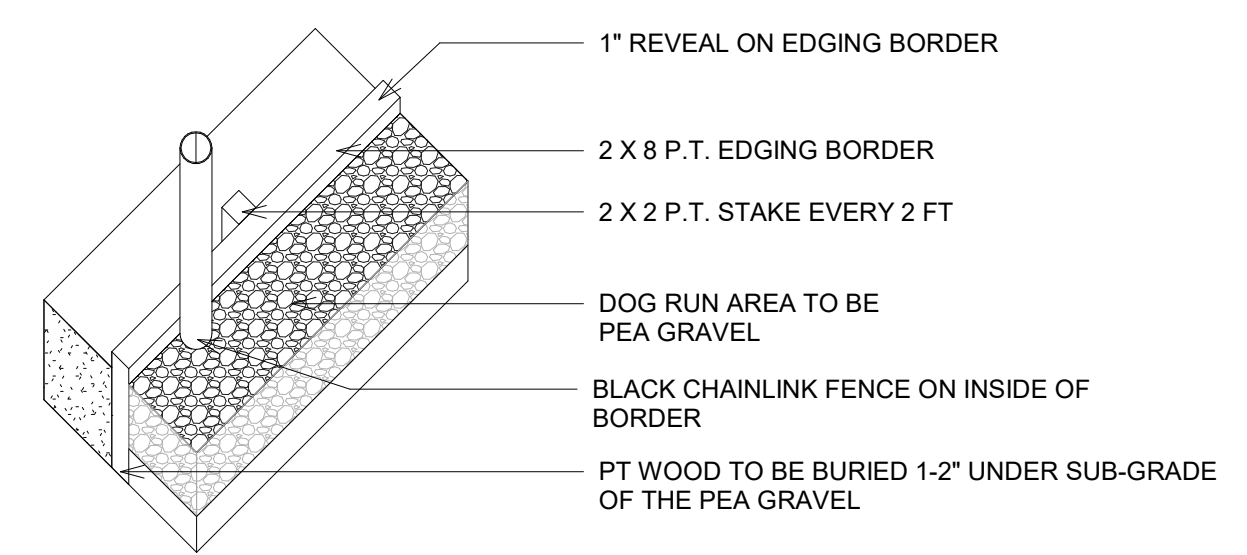
DOG RUN LAYOUT TYPE I  
1 : 48



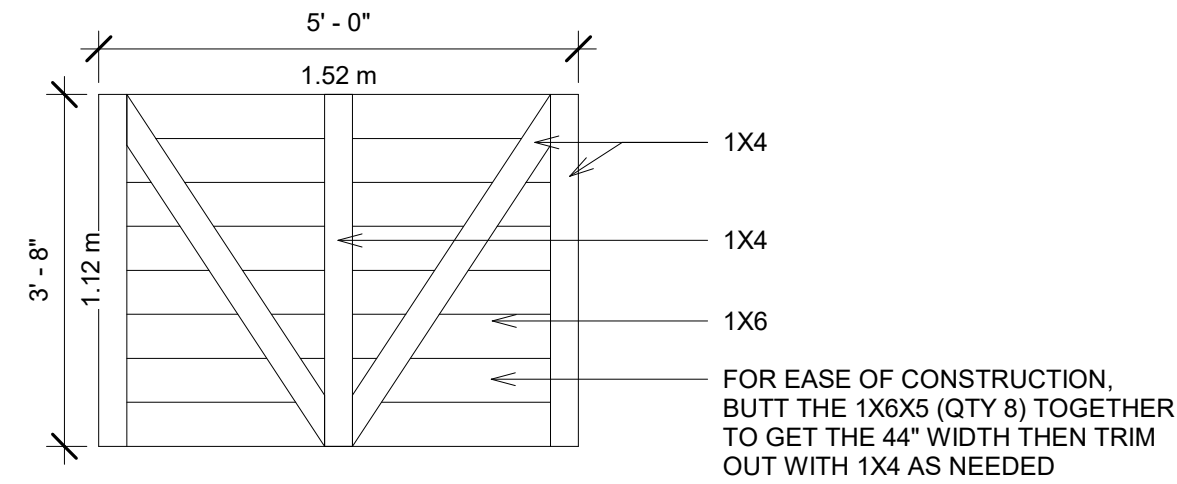
DOG RUN LAYOUT TYPE II  
1 : 48



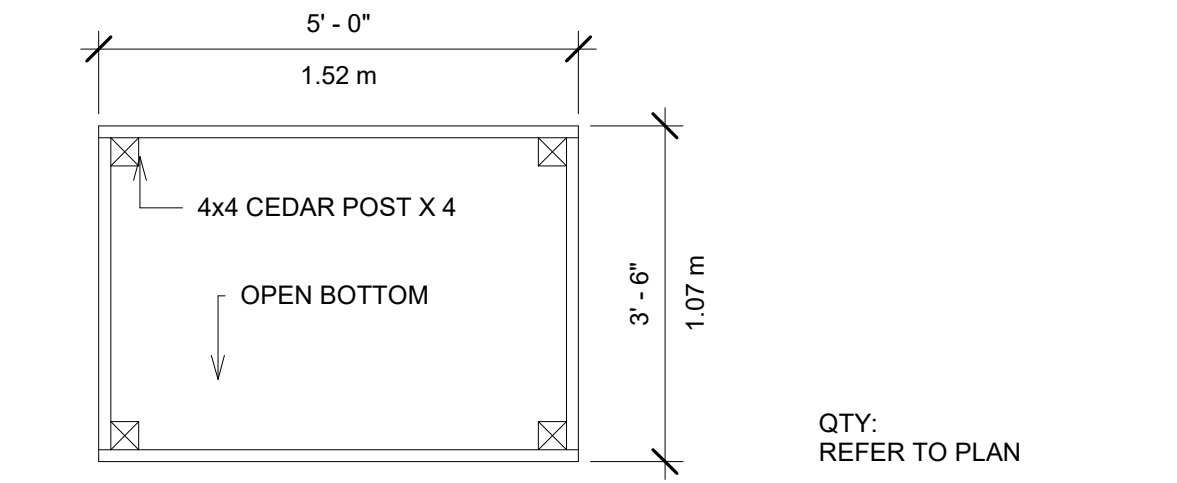
GARDEN RUN BORDER  
1 : 12



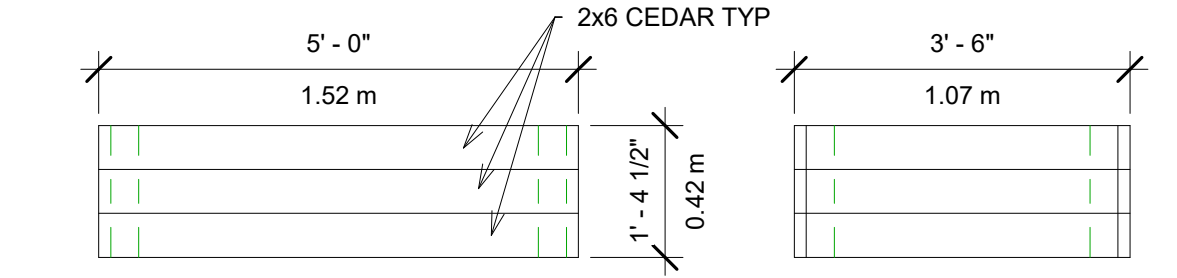
DOG RUN BORDER  
1 : 12



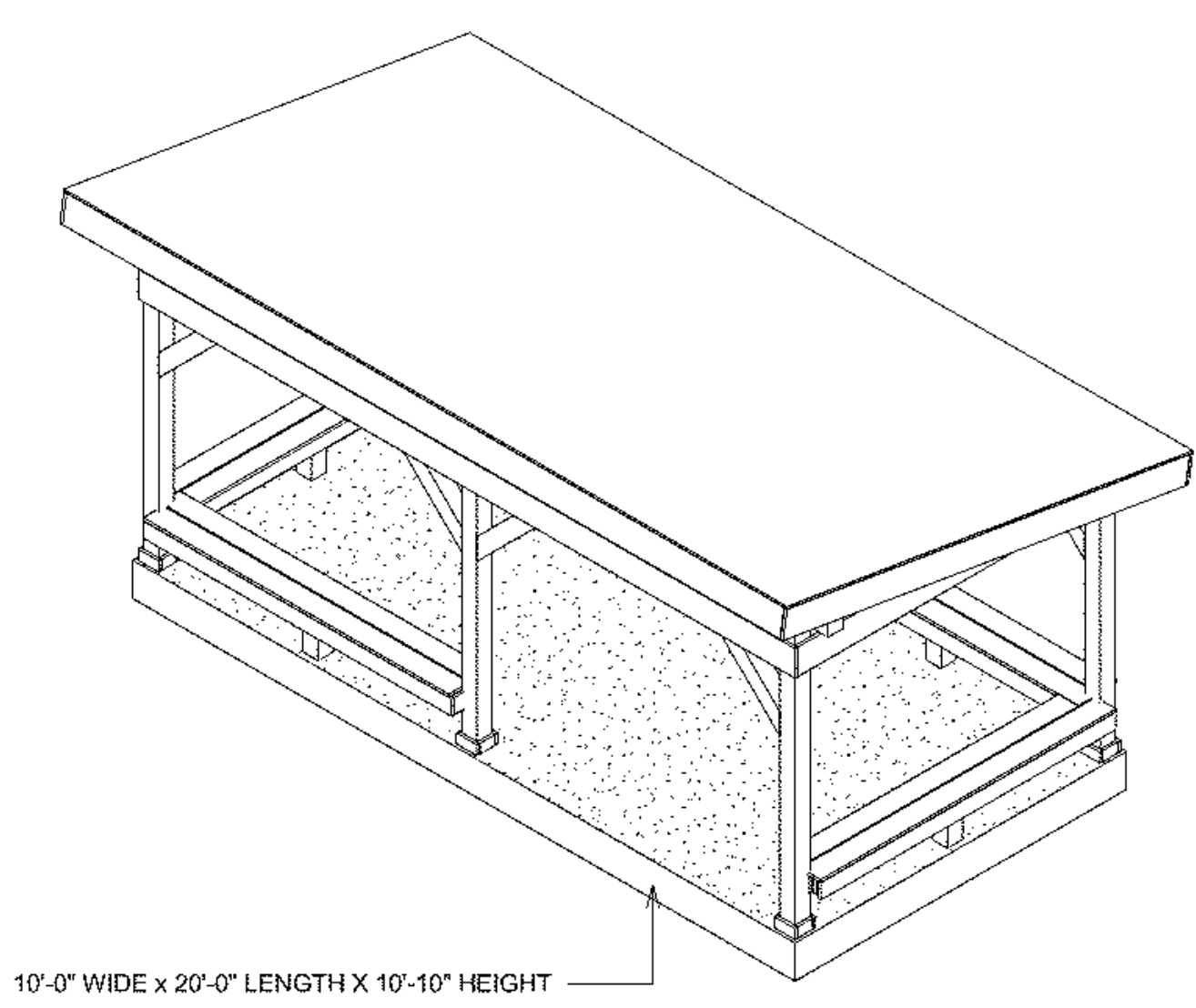
COMMUNITY GARDEN PLANTER BOX  
1 : 24



DOG RUN BORDER  
1 : 12



COMMUNITY GARDEN PLANTER BOX  
1 : 24



PERGOLA - 3D ISO  
1 : 48

SITE MAP:

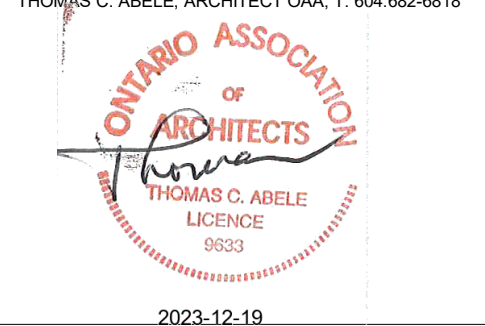
PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: ABELEARCHITECTURE



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

SITE ACCESSORIES

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

SCALE: As indicated

DRAWING #:

A1.05

REV #:

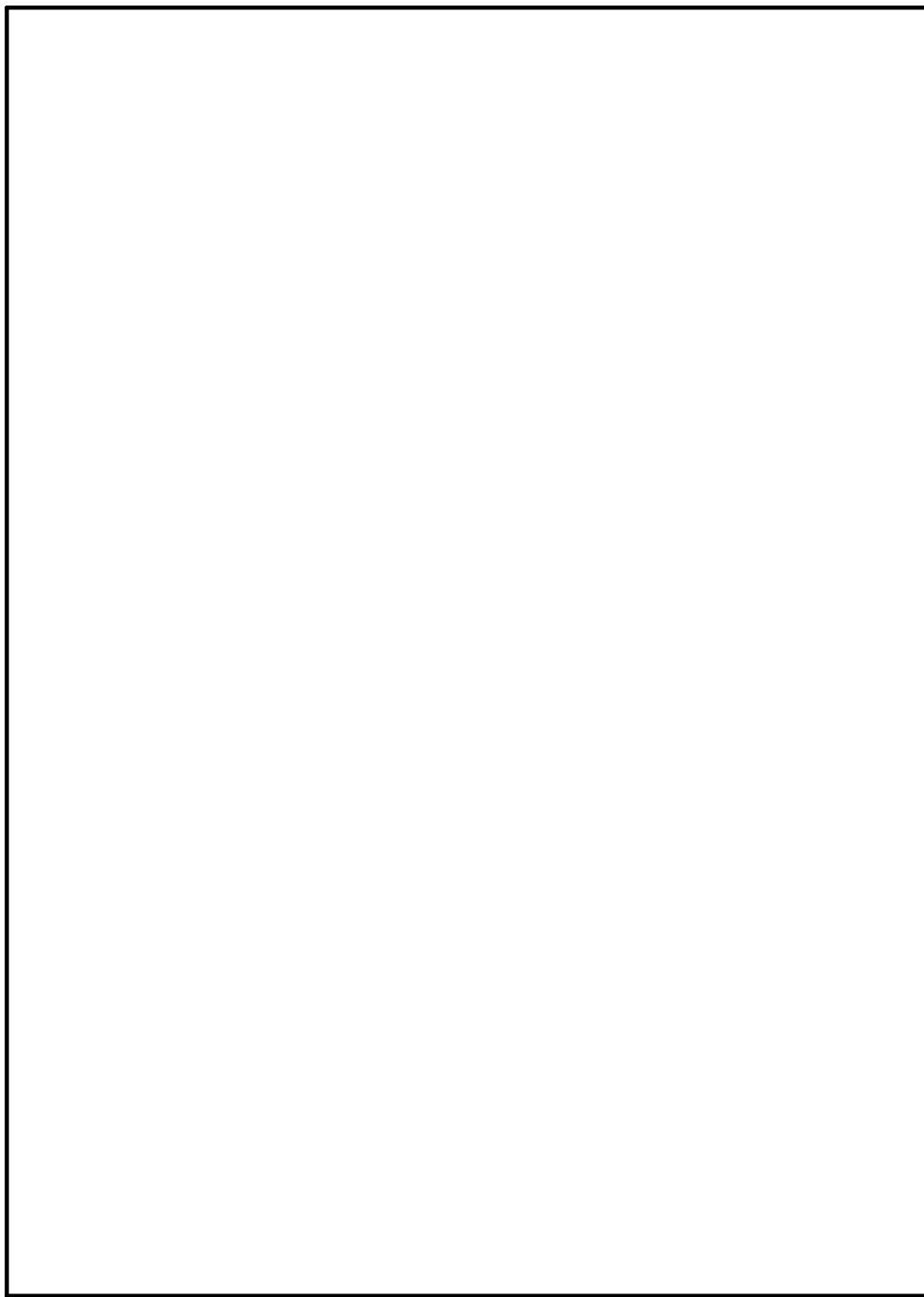
C



**(1) SOUTH - WEST VIEW**



**(4) NORTH - EAST VIEW**



**(2) SOUTH - EAST VIEW**



**(3) NORTH - WEST VIEW**

SITE MAP:

PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT OAA, T. 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

SURROUNDING AREA PERSPECTIVE

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

SCALE: 1 : 600

DRAWING #:

**A1.06**

REV #:

**C**





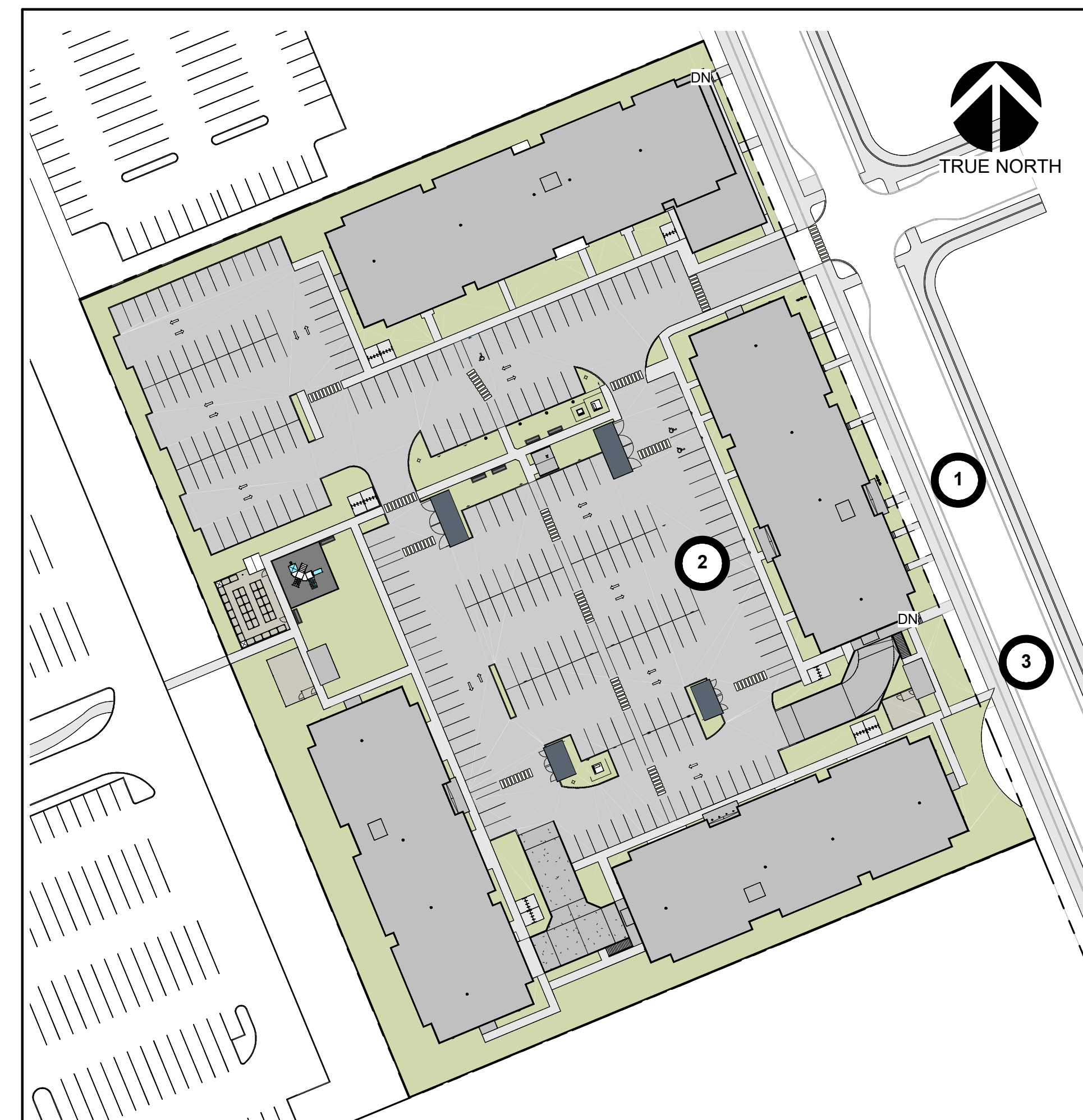
**(1) BUILDING A - STREET SIDE ENTRANCE**



**(2) BUILDING A - PRINCIPAL ENTRANCE**



**(3) WEST VIEW - LANDSCAPE / AMENITY / PARKING LOT**

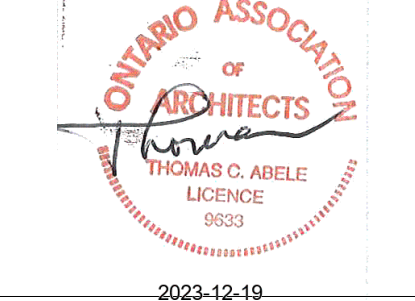


SITE MAP:

PROJECT STATUS:  
ISSUED FOR PLAN CONTROL

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:  
TRINITY APARTMENTS

PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
SITE PERSPECTIVE

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: 1 : 768

DRAWING #: **A1.07** REV #: **C**

SITE MAP:

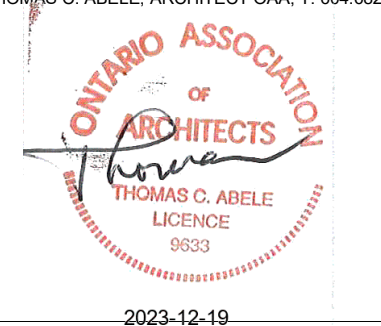
PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

SITE PERSPECTIVE

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

SCALE: 1: 768

DRAWING #:

**A1.08**

REV #:

**C**



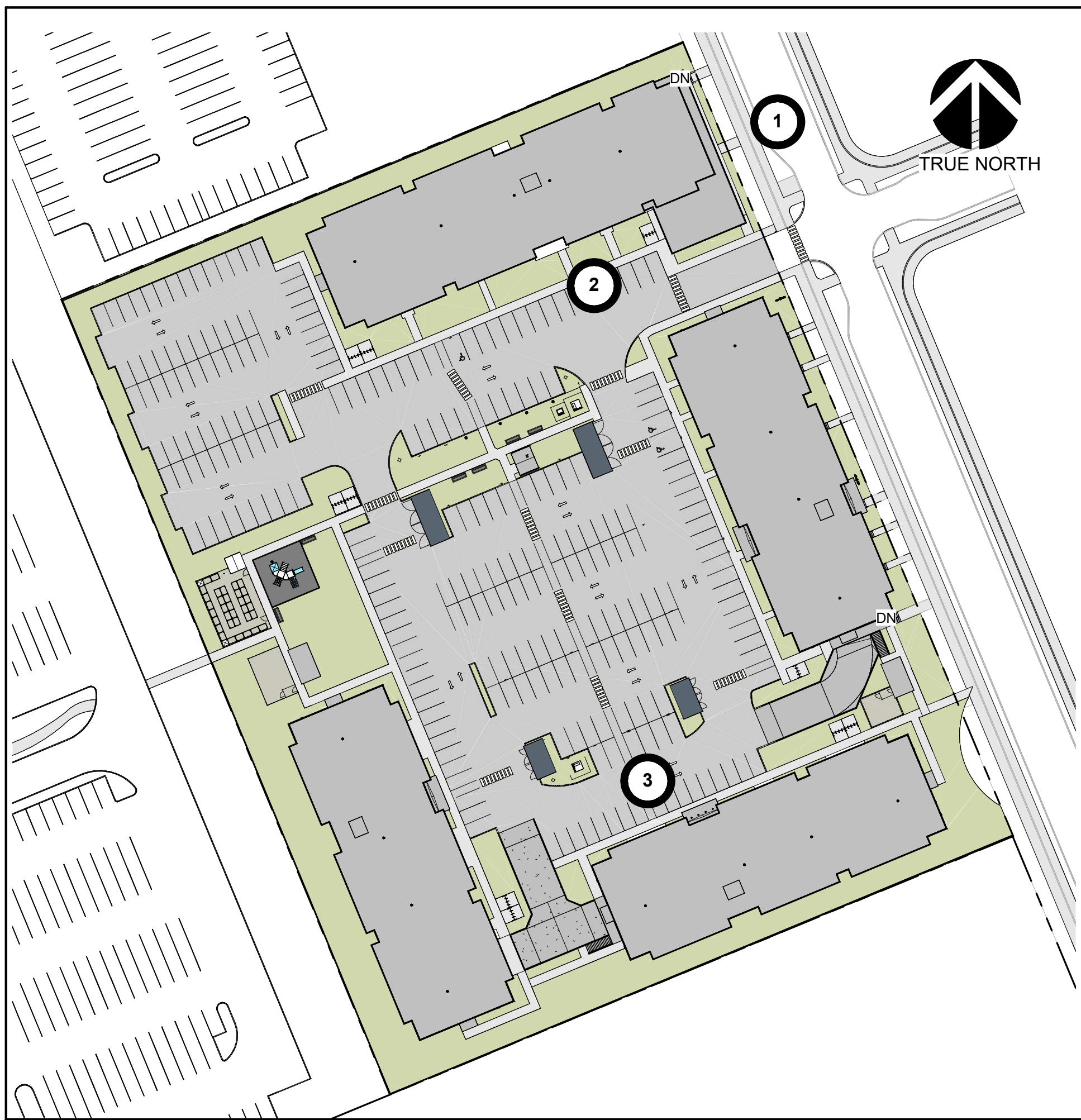
**(1) BUILDING B - EAST SIDE COMMERCIAL ENTRANCES**



**(2) BUILDING B - PRINCIPAL ENTRANCE**



**(3) BUILDING C - PRINCIPAL ENTRANCE**



SITE MAP:

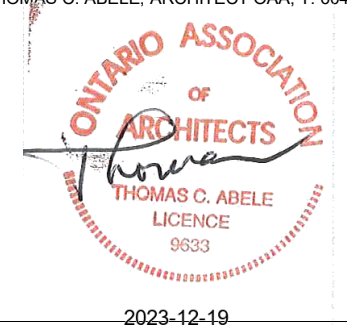
PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
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SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT OAA, T: 604-682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

SITE PERSPECTIVE

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

SCALE: 1 : 768

DRAWING #:

**A1.09**

REV #:

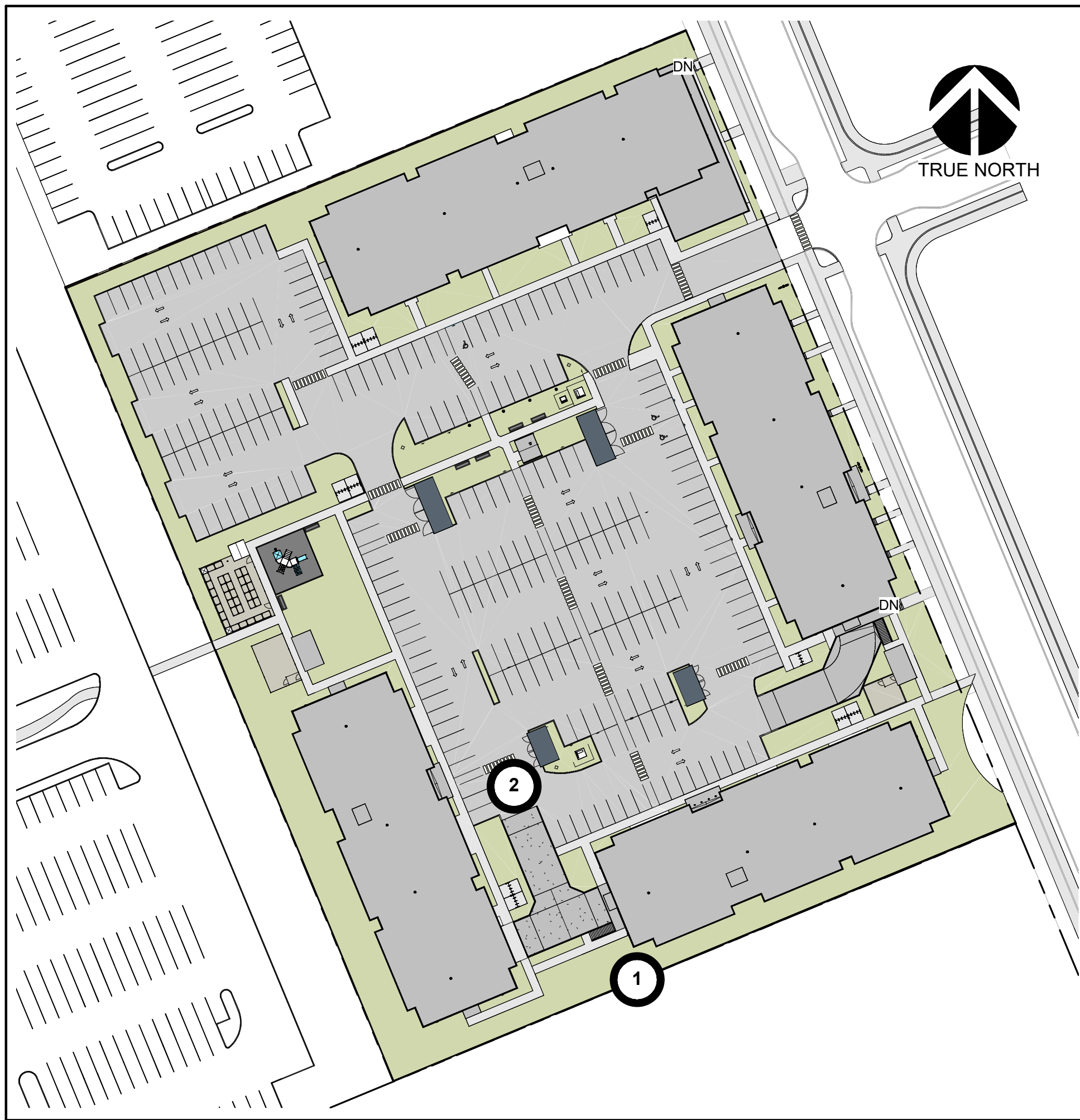
**C**



**(1) BUILDING D - NORTH VIEW**



**(2) BUILDING D - PRINCIPAL ENTRANCE**



SITE MAP:

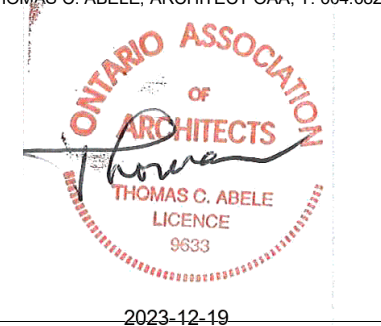
PROJECT STATUS:

ISSUED FOR PLAN CONTROL

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

ONSITE PERSPECTIVE

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

SCALE: 1 : 768

DRAWING #:

**A1.10**

REV #:

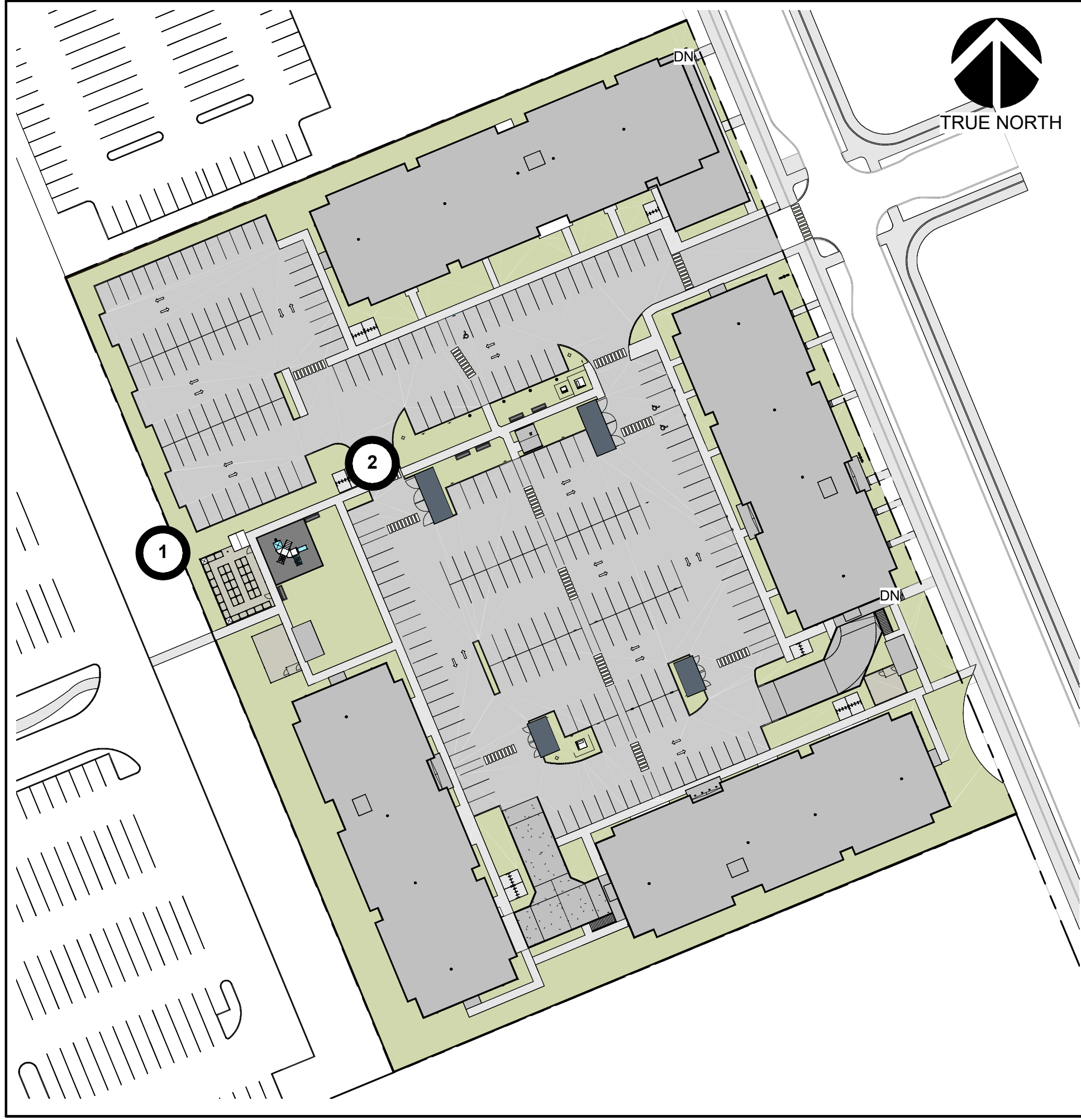
**C**



**(1) COMMUNITY GARDEN / DOG RUN / PLAYGROUND AREA**



**(2) COMMUNITY GARDEN / DOG RUN / PLAYGROUND AREA**





SITE MAP:



PROJECT STATUS:

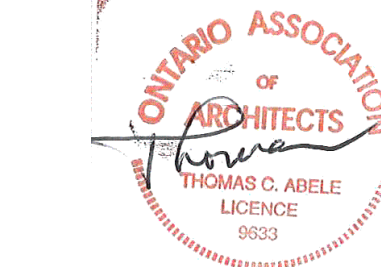
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**

THOMAS C. ABELE, ARCHITECT CMA, T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

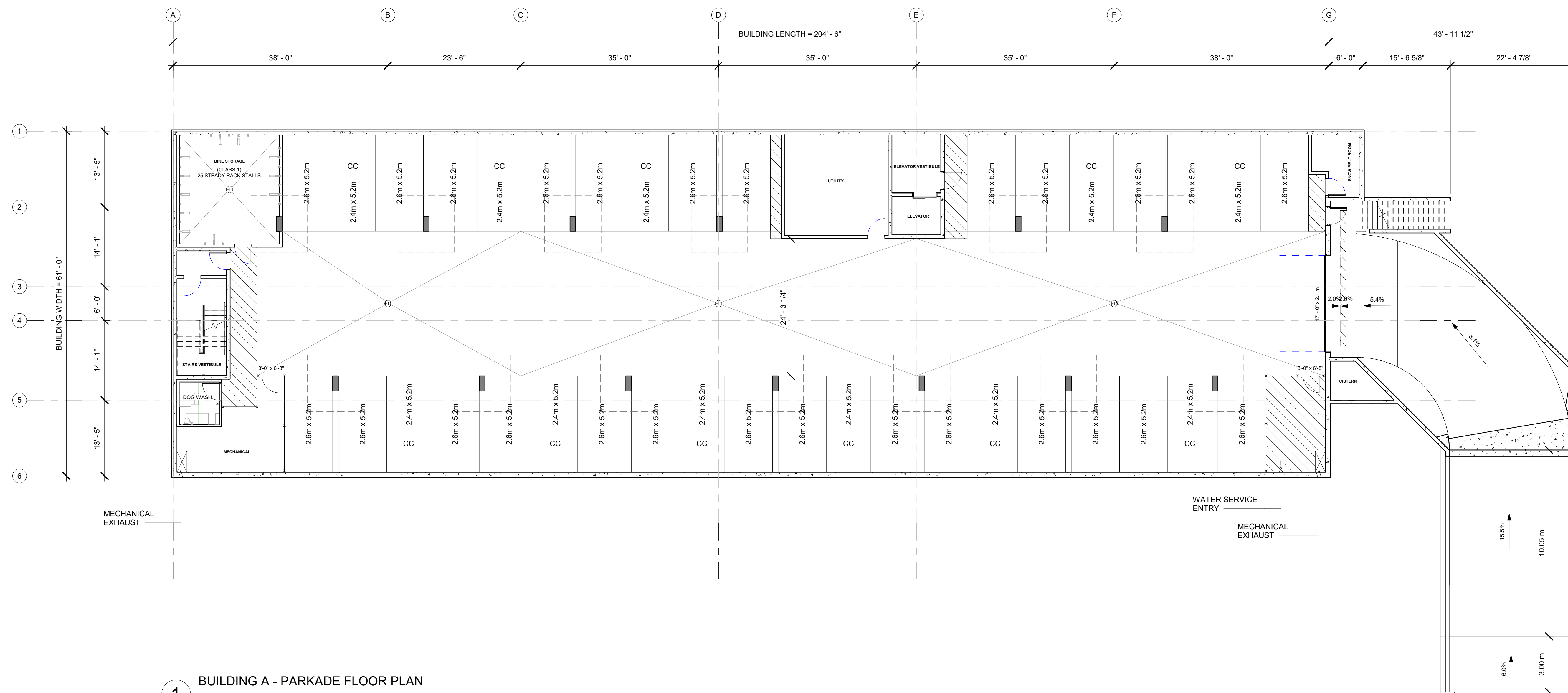
SCALE: As indicated

DRAWING #:

**A2.00**

REV #:

**C**



**1** BUILDING A - PARKADE FLOOR PLAN  
1" = 10'-0"



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**

THOMAS C. ABELE, ARCHITECT OAA, T: 604.682-6818



2023-12-19

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CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - FIRST FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

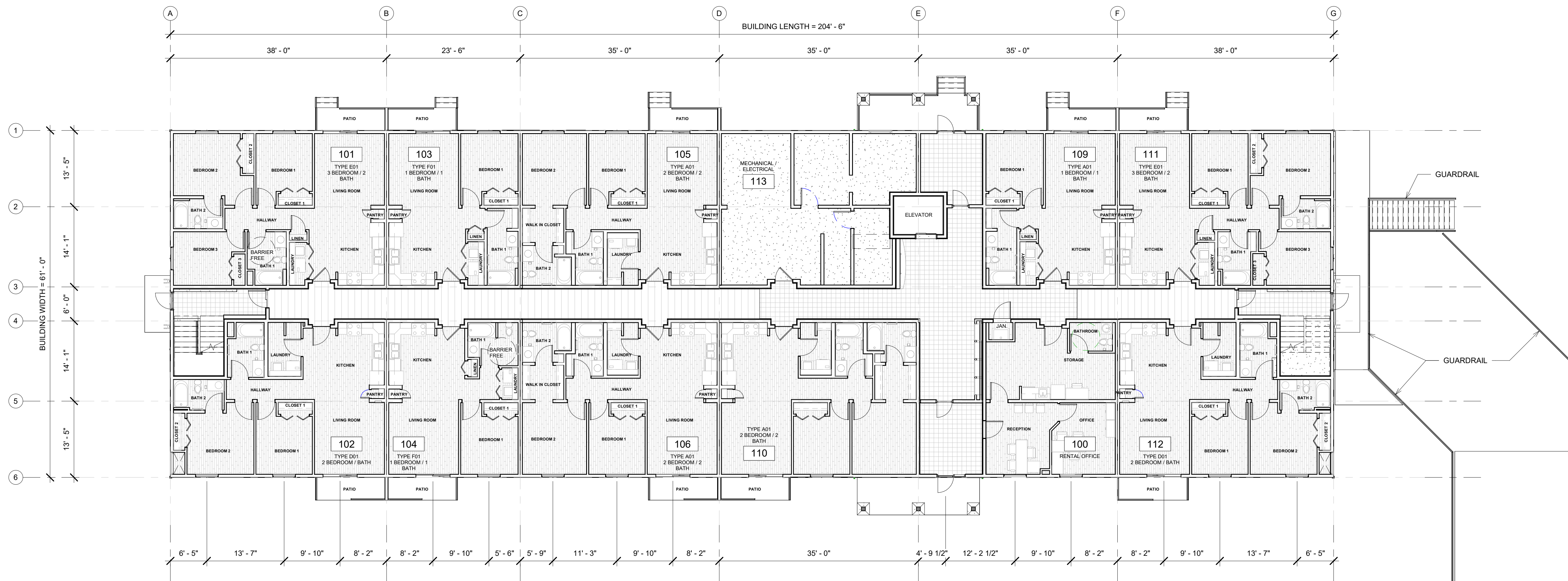
SCALE: As indicated

DRAWING #:

**A2.01**

REV #:

**C**



**1** BUILDING A - FLOOR PLAN - LEVEL 1

1" = 10'-0"

**TOTAL FLOOR AREA = 1158.92M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT OAA, T. 604.682.6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

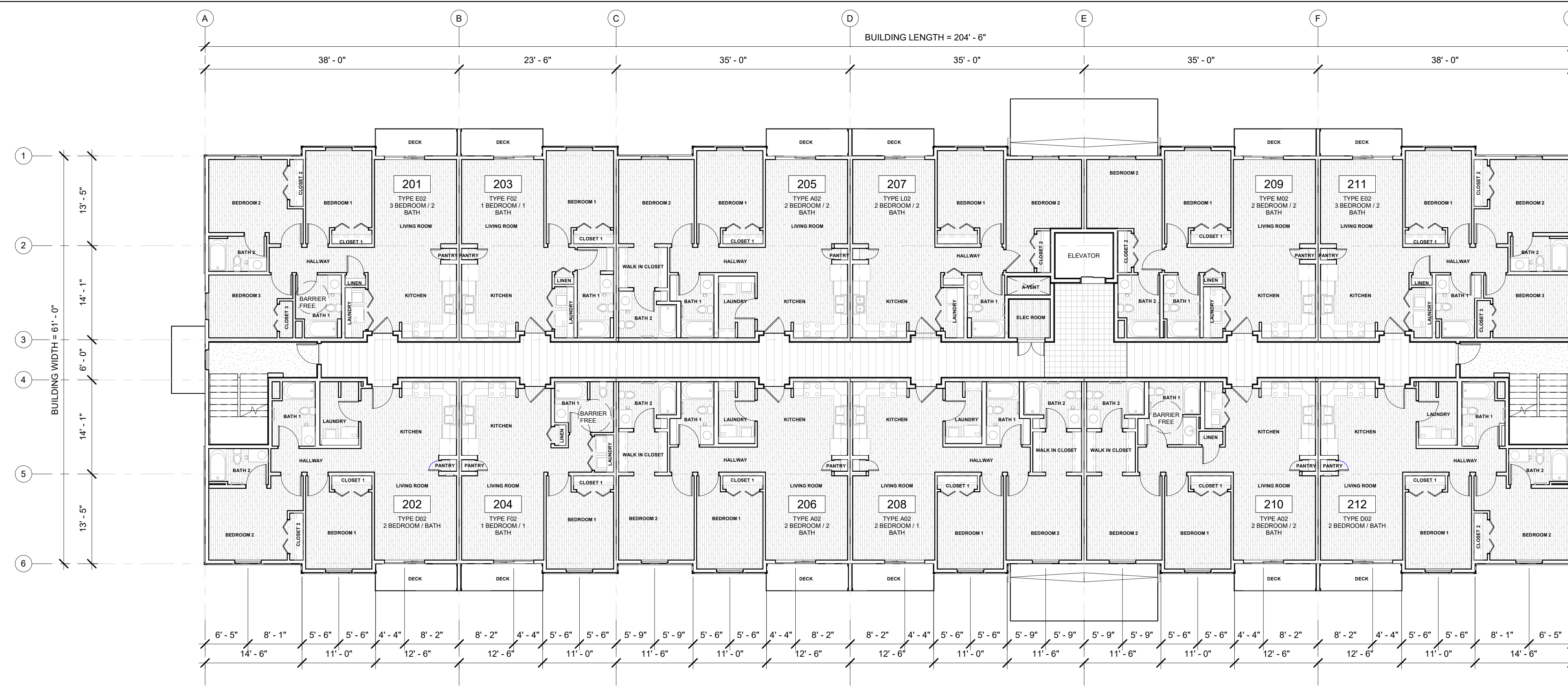
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DRAWING #:

**A2.02**

REV #:

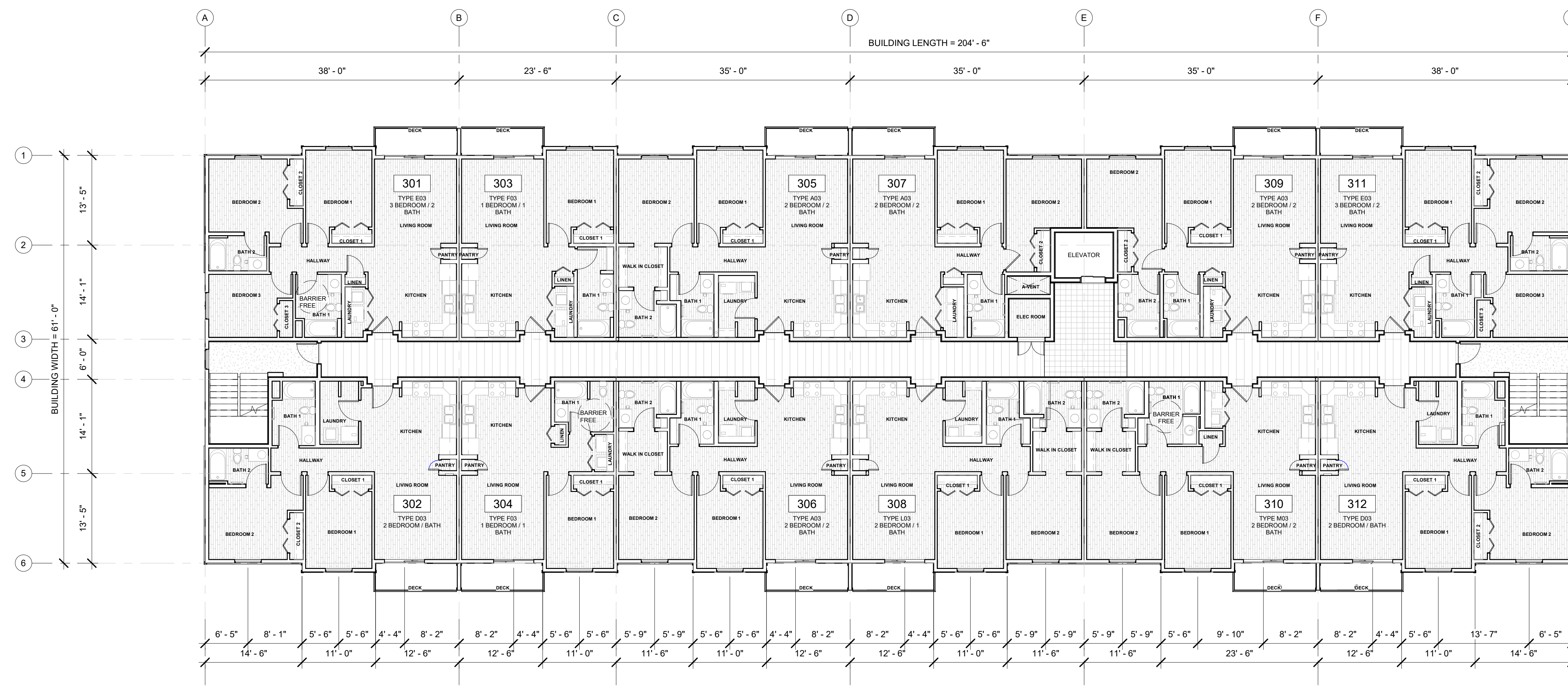
**C**



**1** BUILDING A - FLOOR PLAN - LEVEL 2

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING A - FLOOR PLAN - LEVEL 3

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT OAA, T. 604.682.6818



2023-12-19

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

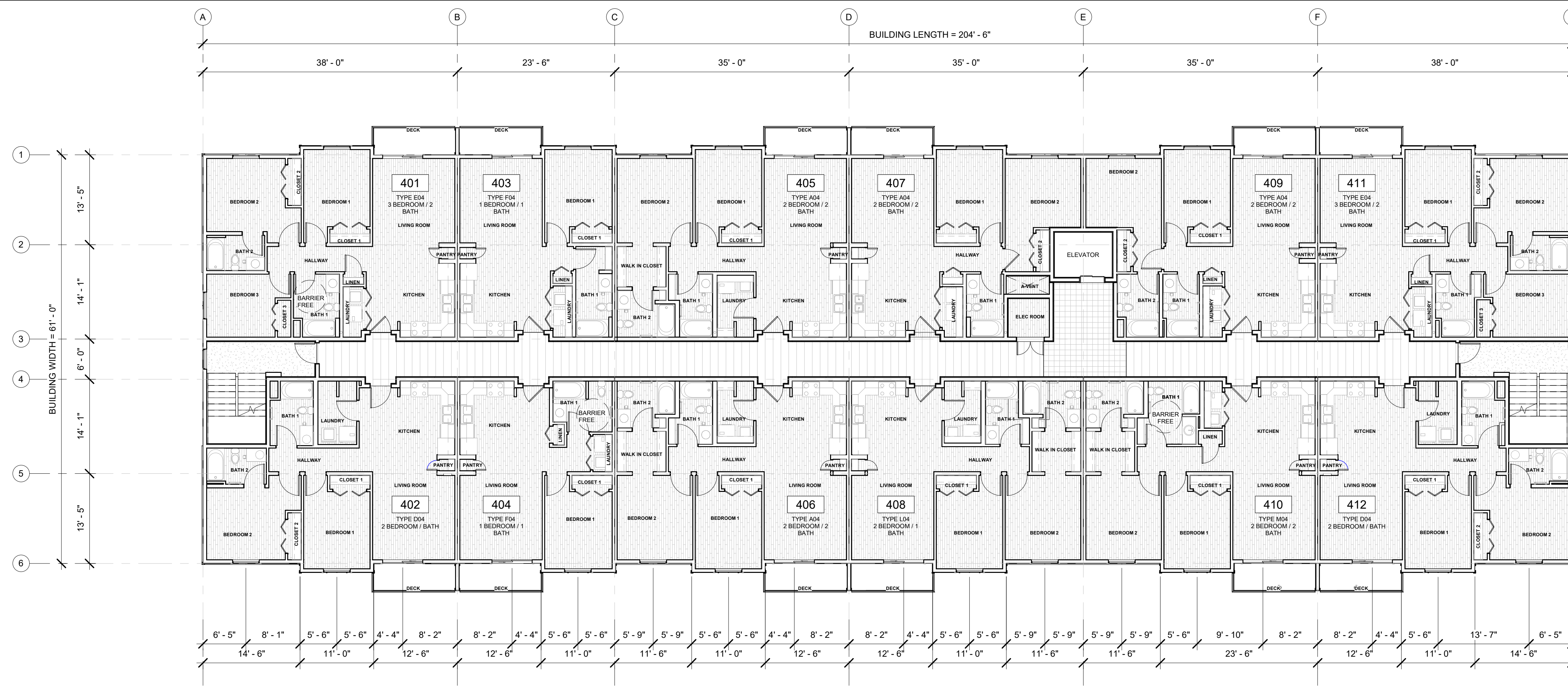
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DRAWING #:

**A2.03**

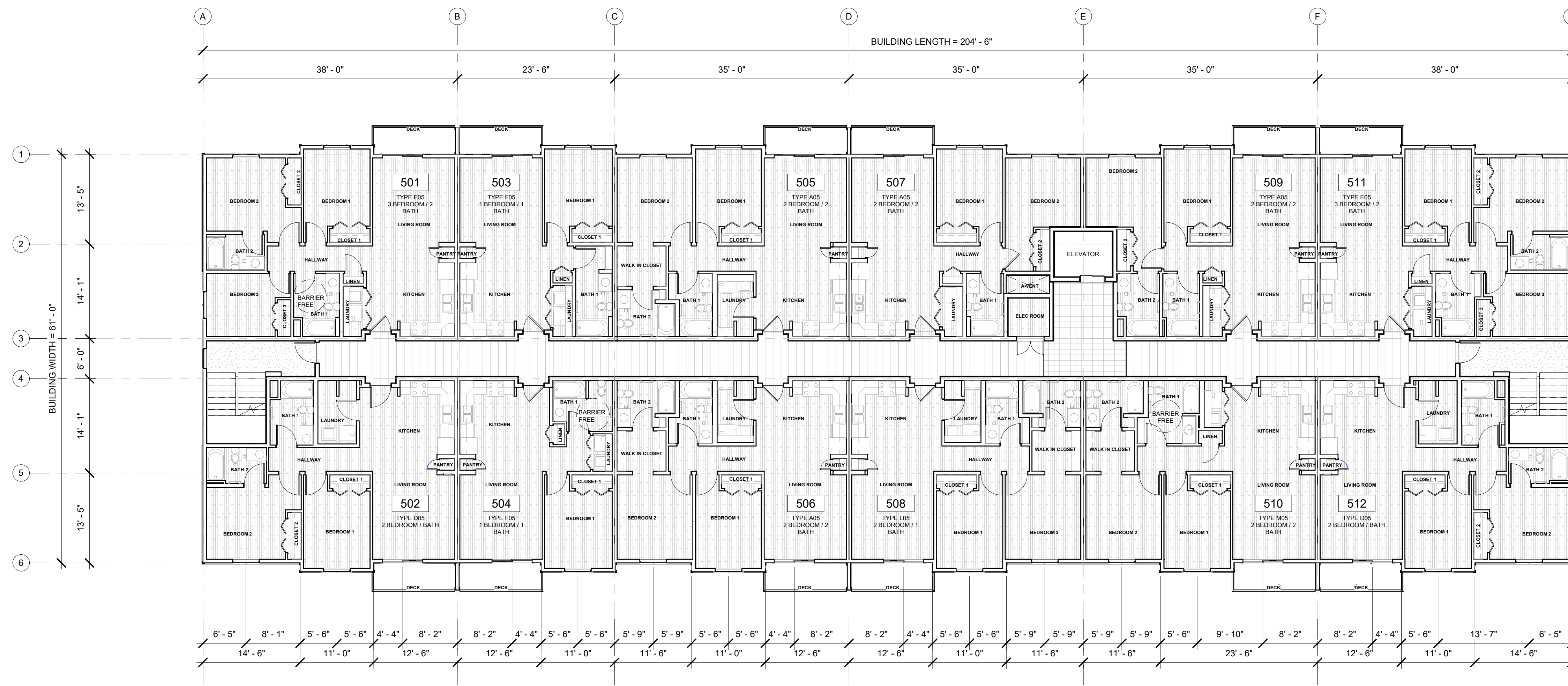
REV #:

**C**



**1** BUILDING A - FLOOR PLAN - LEVEL 4  
1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING A - FLOOR PLAN - LEVEL 5  
1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**





SITE MAP:



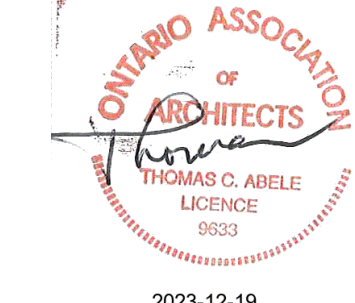
PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - SIXTH / ROOF PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

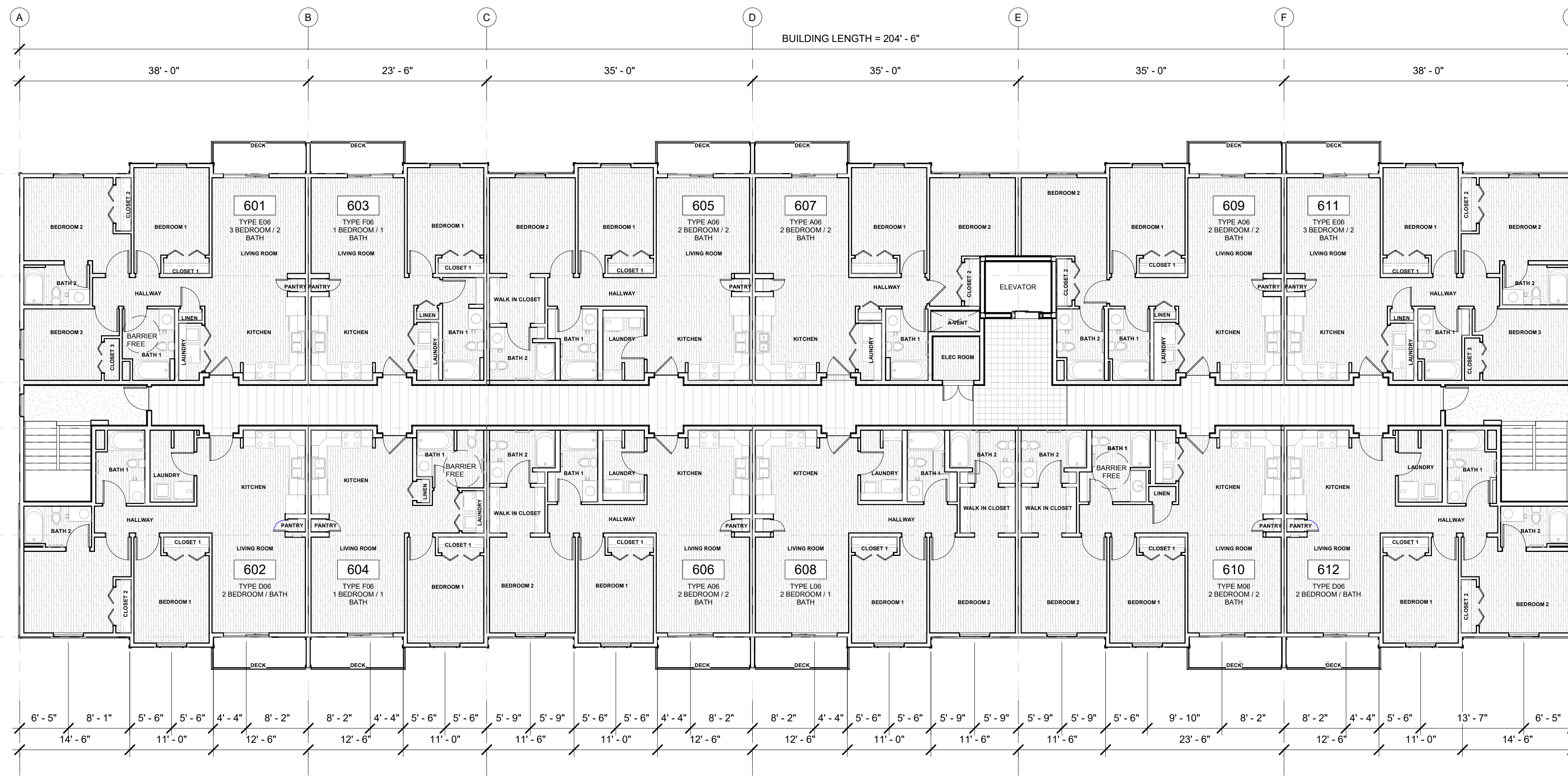
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DRAWING #:

**A2.04**

REV #:

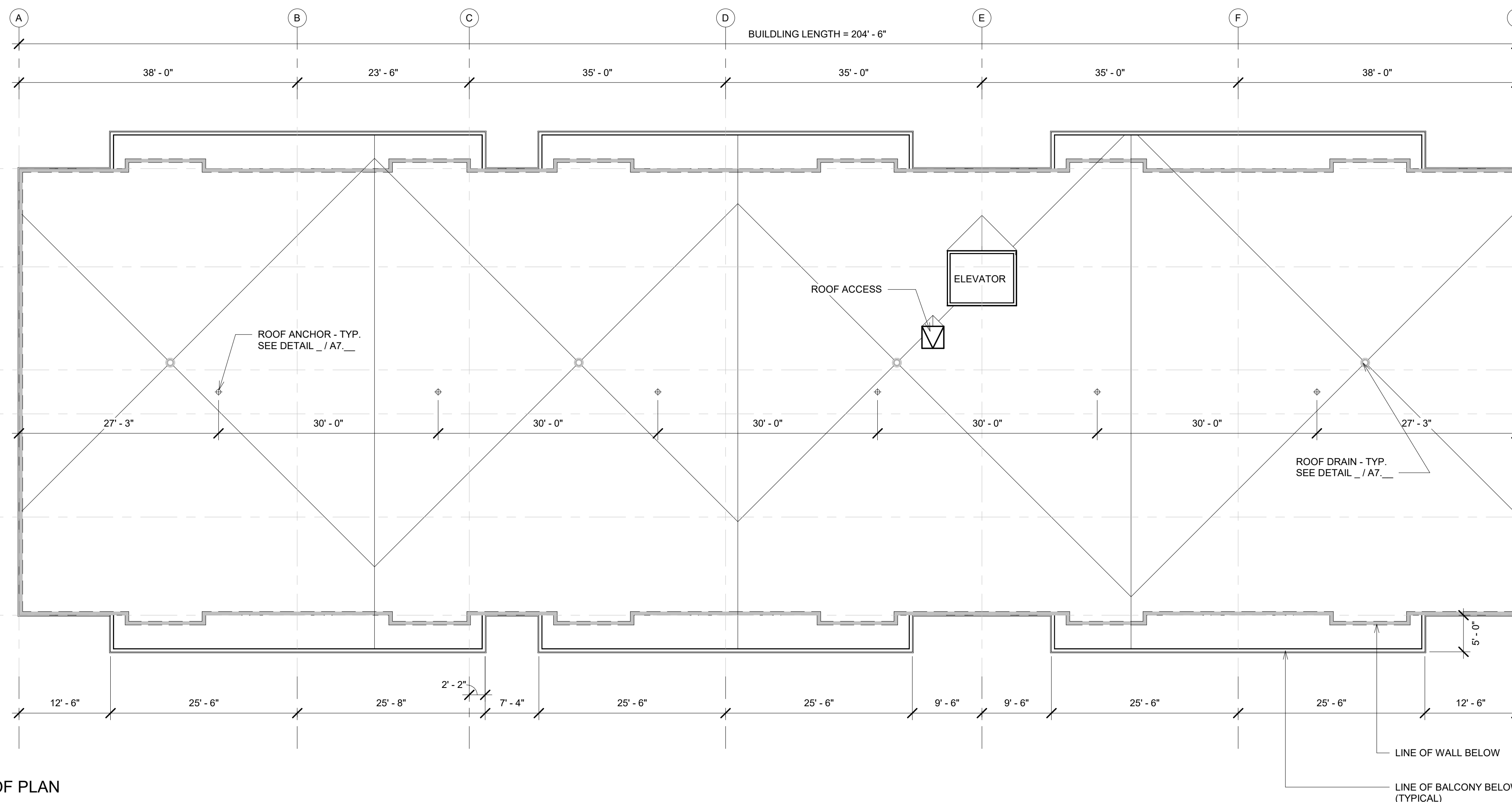
**C**



**1** BUILDING A - FLOOR PLAN - LEVEL 6

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** ROOF PLAN

1" = 10'-0"



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**

THOMAS C. ABLE, ARCHITECT C.A.A. T. 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - FIRST FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

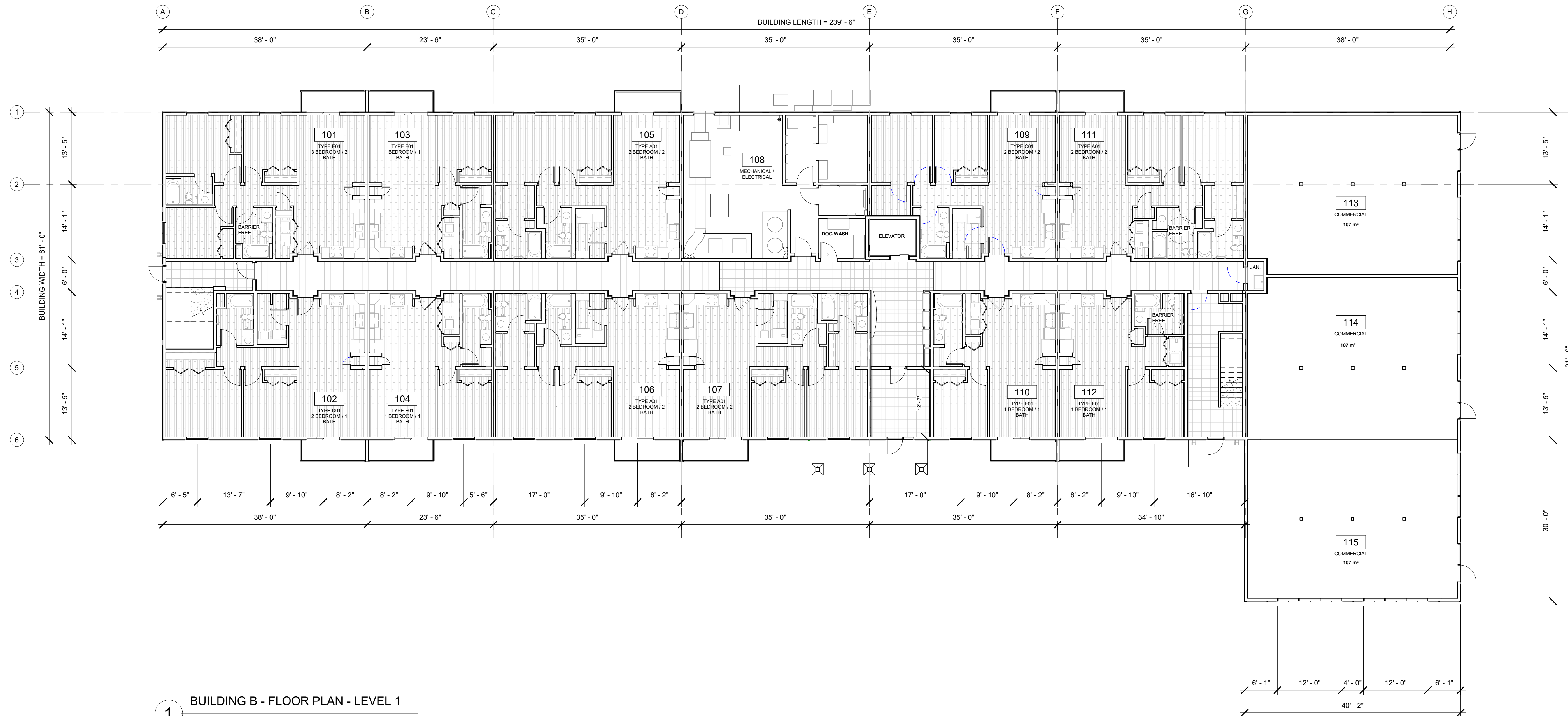
SCALE: As indicated

DRAWING #:

**A2.05**

REV #:

**C**



**1** BUILDING B - FLOOR PLAN - LEVEL 1  
1" = 10'-0"

**TOTAL FLOOR AREA = 1480.55M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

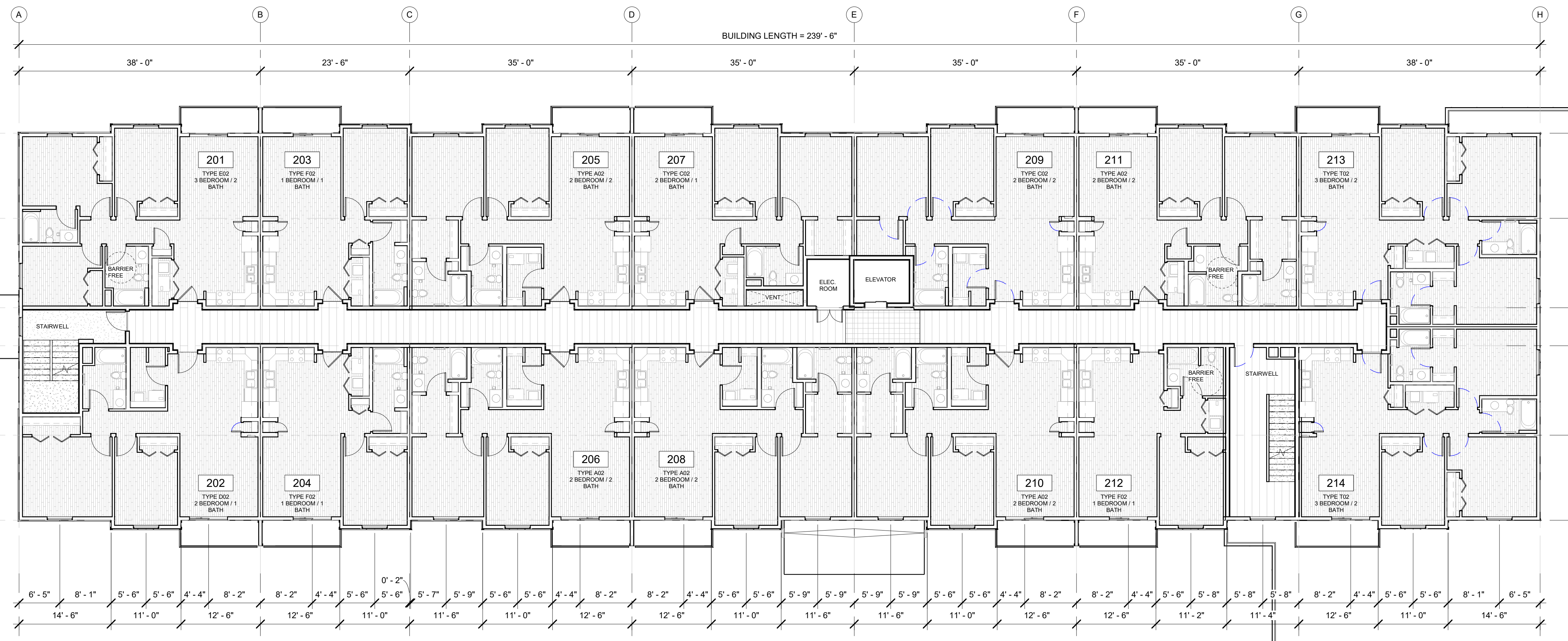
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DRAWING #:

**A2.06**

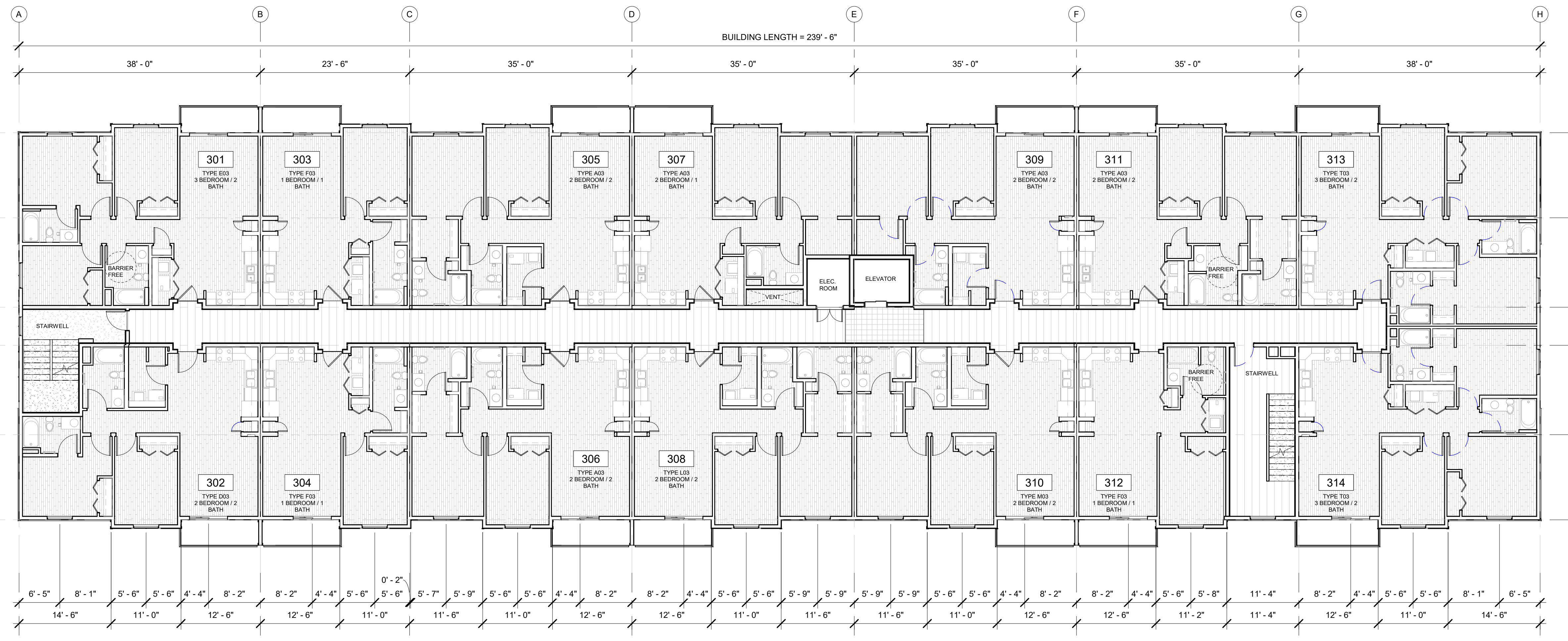
REV #:

**C**



**1** BUILDING B - FLOOR PLAN - LEVEL 2  
1" = 10'-0"

**TOTAL FLOOR AREA = 1376.34M<sup>2</sup>**



**2** BUILDING B - FLOOR PLAN - LEVEL 3  
1" = 10'-0"

**TOTAL FLOOR AREA = 1376.34M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

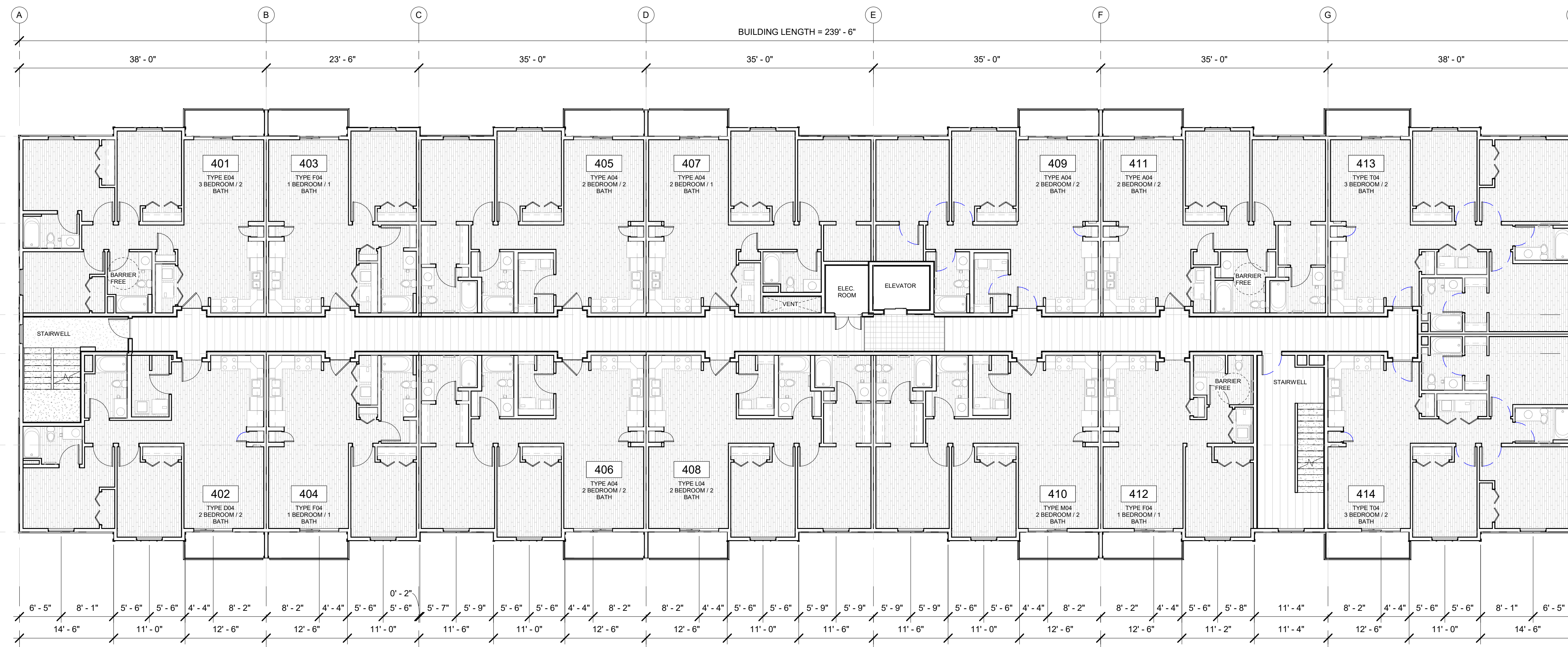
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DRAWING #:

**A2.07**

REV #:

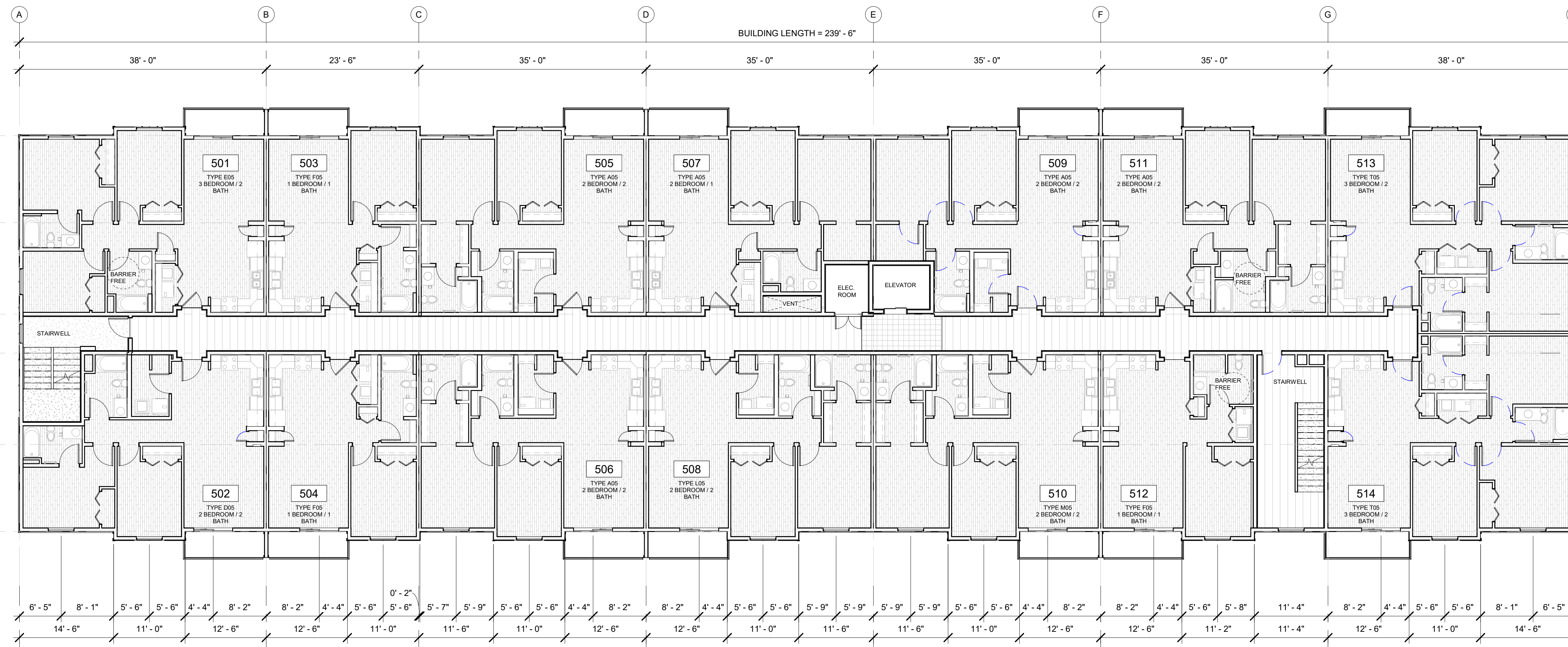
**C**



**1** BUILDING B - FLOOR PLAN - LEVEL 4

1" = 10'-0"

**TOTAL FLOOR AREA = 1376.34M<sup>2</sup>**



**2** BUILDING B - FLOOR PLAN - LEVEL 5

1" = 10'-0"

**TOTAL FLOOR AREA = 1376.34M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - SIXTH / ROOF FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

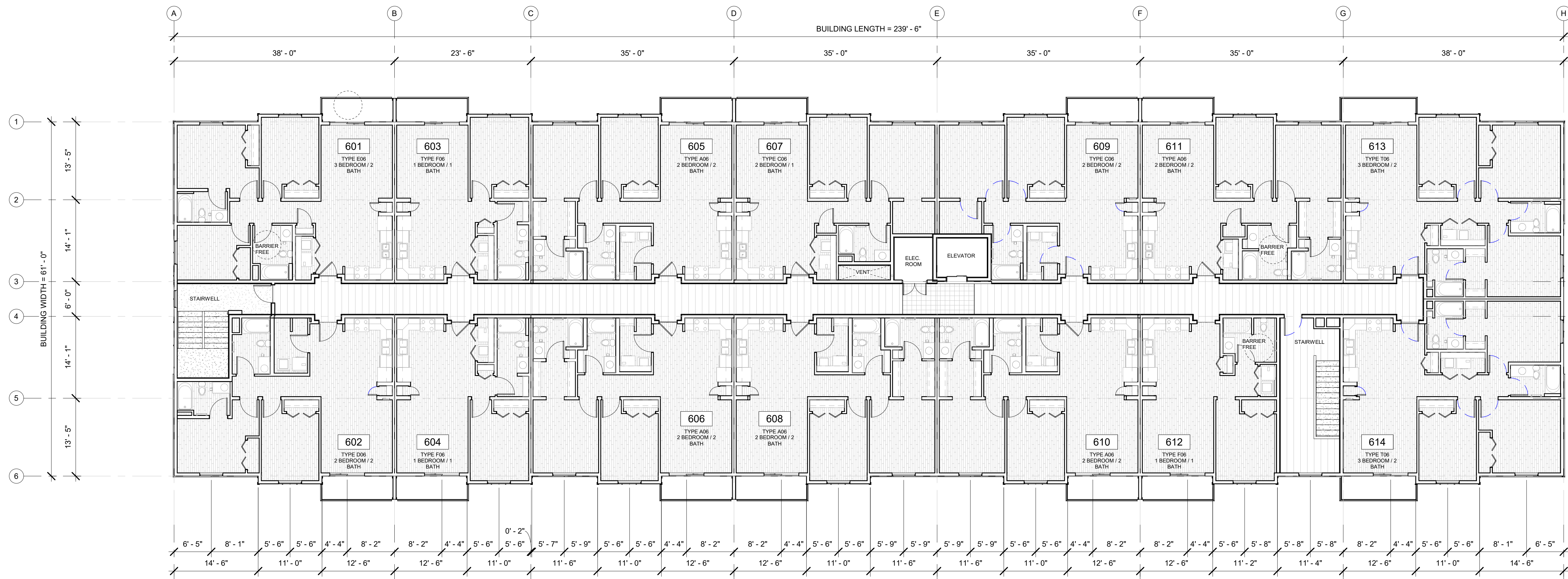
DATE: DEC 18, 2023

SCALE: As indicated

DRAWING #: REV #:

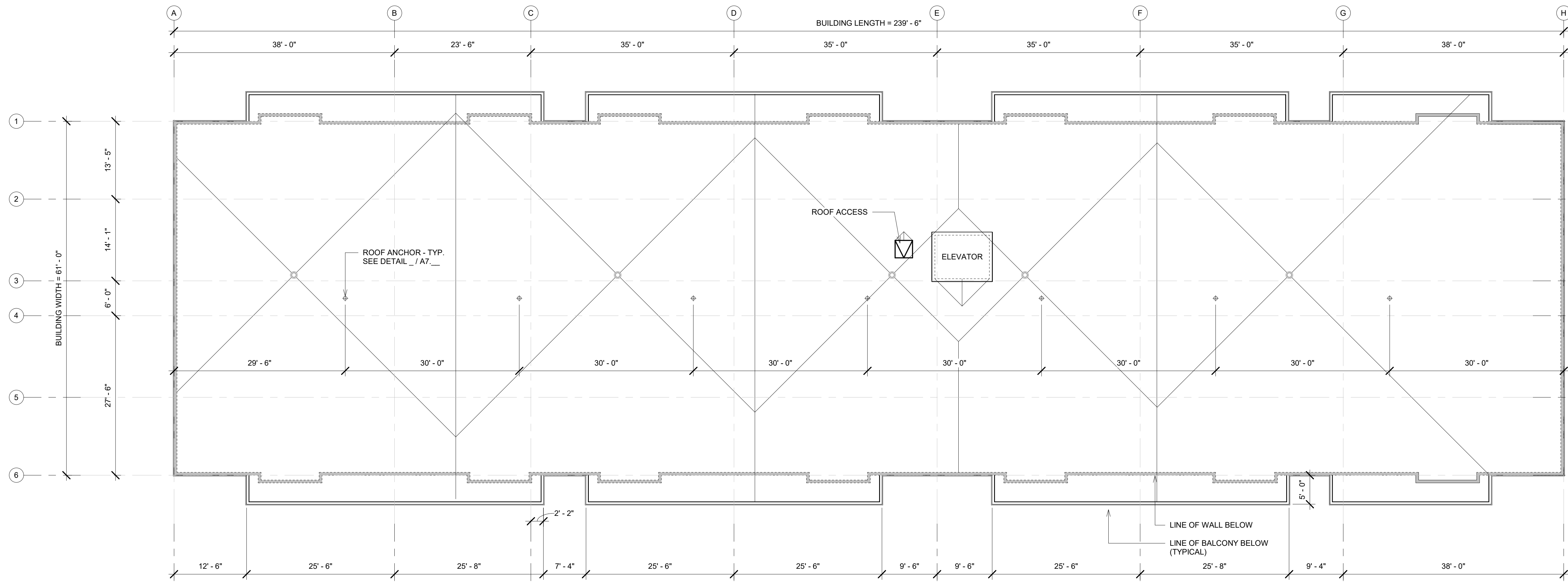
A2.08

C



**1** BUILDING B - FLOOR PLAN - LEVEL 6  
1" = 10'-0"

**TOTAL FLOOR AREA = 1376.34M<sup>2</sup>**



**2** ROOF PLAN  
1" = 10'-0"



SITE MAP:



PROJECT STATUS:

ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

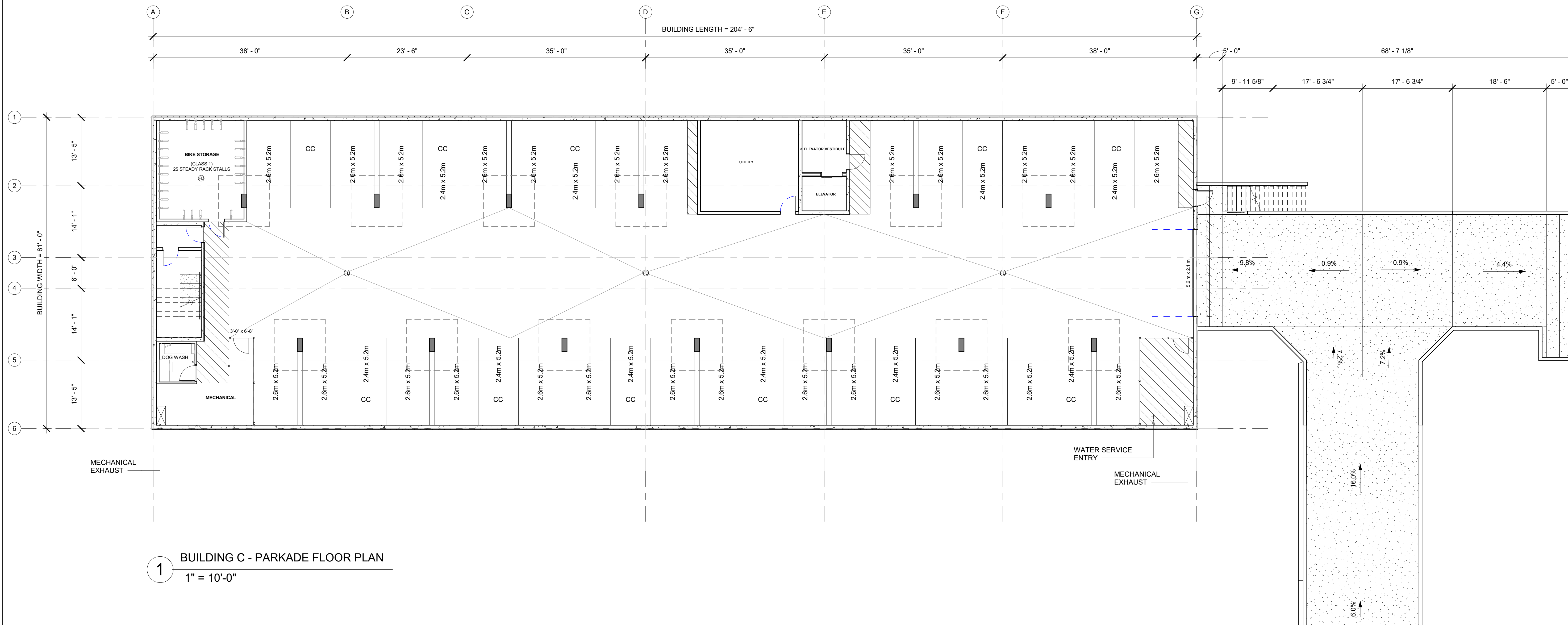
SCALE: As indicated

DRAWING #:

**A2.09**

REV #:

**C**



**1** BUILDING C - PARKADE FLOOR PLAN  
1" = 10'-0"



SITE MAP:



PROJECT STATUS:

ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT C.O.A. T. 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - FIRST FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

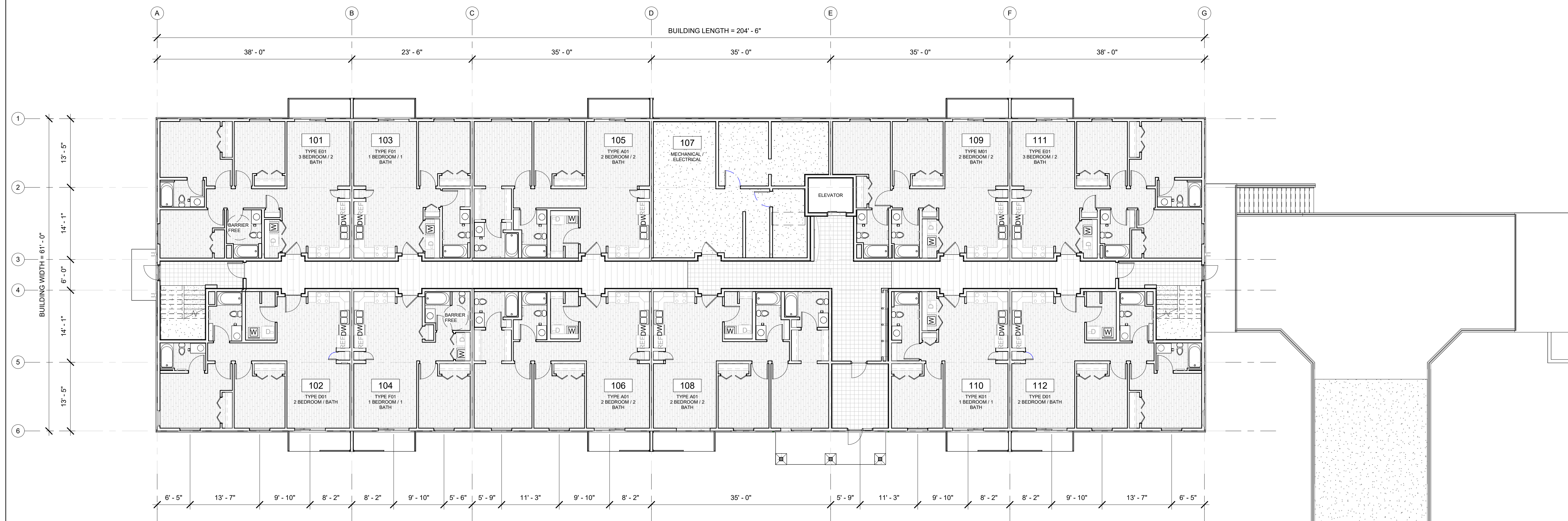
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**A2.10**

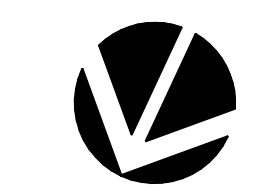
REV #:

**C**



**TOTAL FLOOR AREA = 1158.92M<sup>2</sup>**

**1** BUILDING C - FLOOR PLAN - LEVEL 1  
1" = 10'-0"



PROJECT NORTH



100 St Anns, Campbell River, B.C.  
(T)250.286.8045 (F)250.286.8046  
www.broadstreet.ca

SITE MAP:



PROJECT STATUS:

ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: ABELARCHITECTURE  
THOMAS C. ABLE, ARCHITECT OAA, T: 604.682-6818



2023-12-19

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

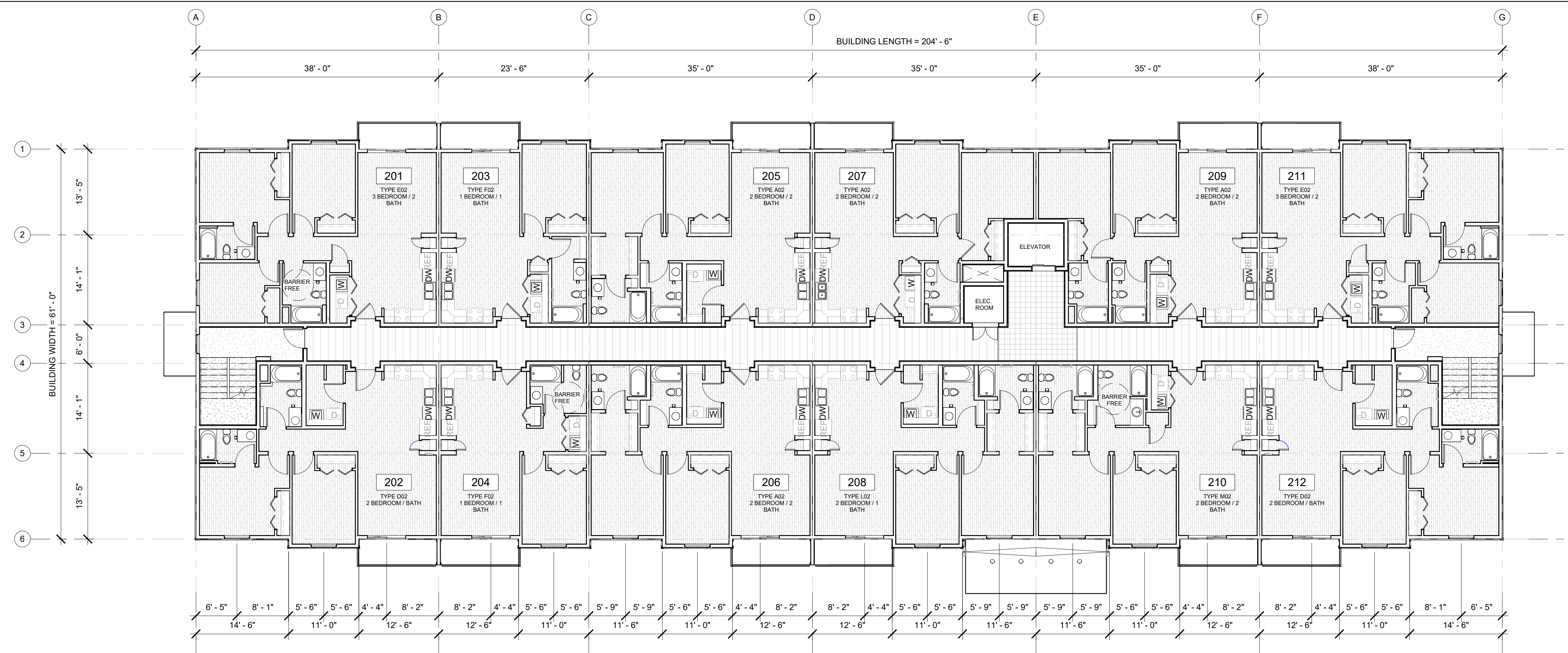
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DRAWING #:

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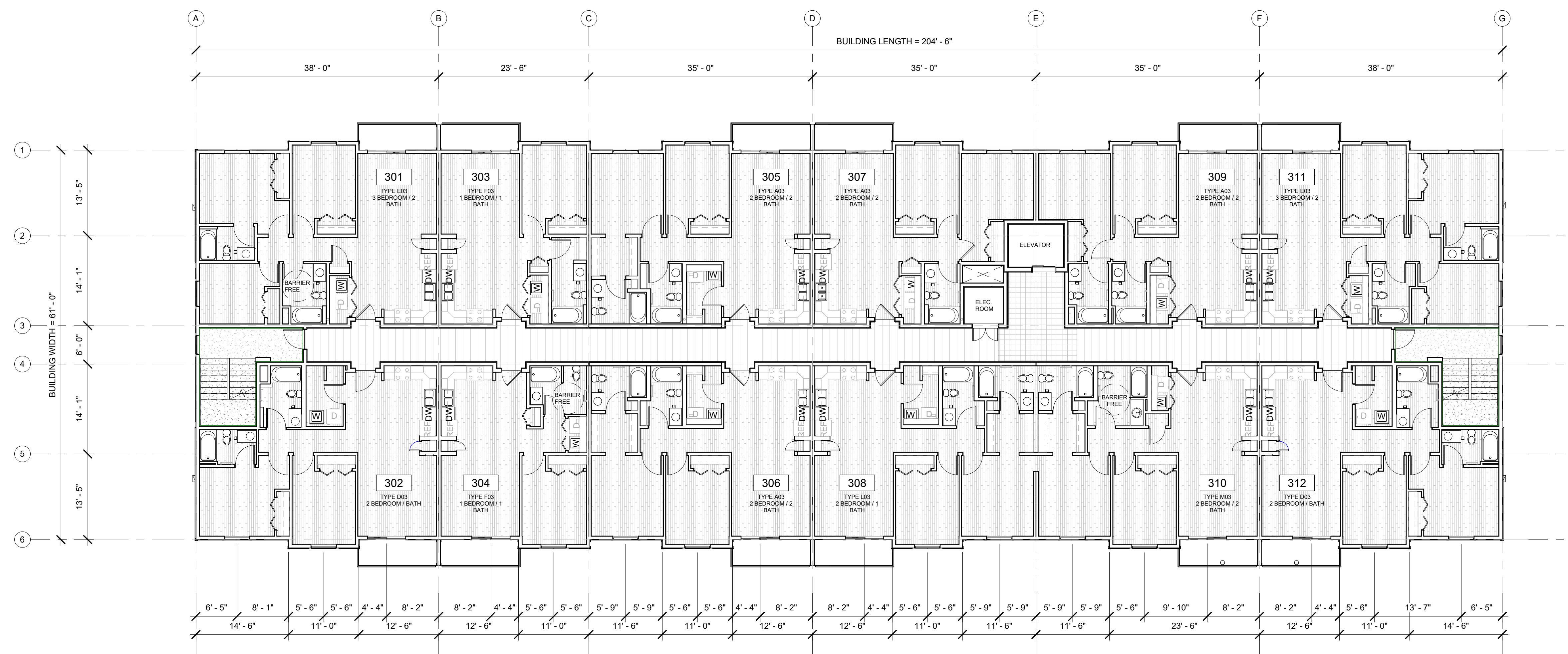
REV #:

C



**1** BUILDING C - FLOOR PLAN - LEVEL 2  
1" = 10'-0"

TOTAL FLOOR AREA = 1175.25M<sup>2</sup>



**2** BUILDING C - FLOOR PLAN - LEVEL 3  
1" = 10'-0"

TOTAL FLOOR AREA = 1175.25M<sup>2</sup>





SITE MAP:



PROJECT STATUS:

ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT OAA, T: 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

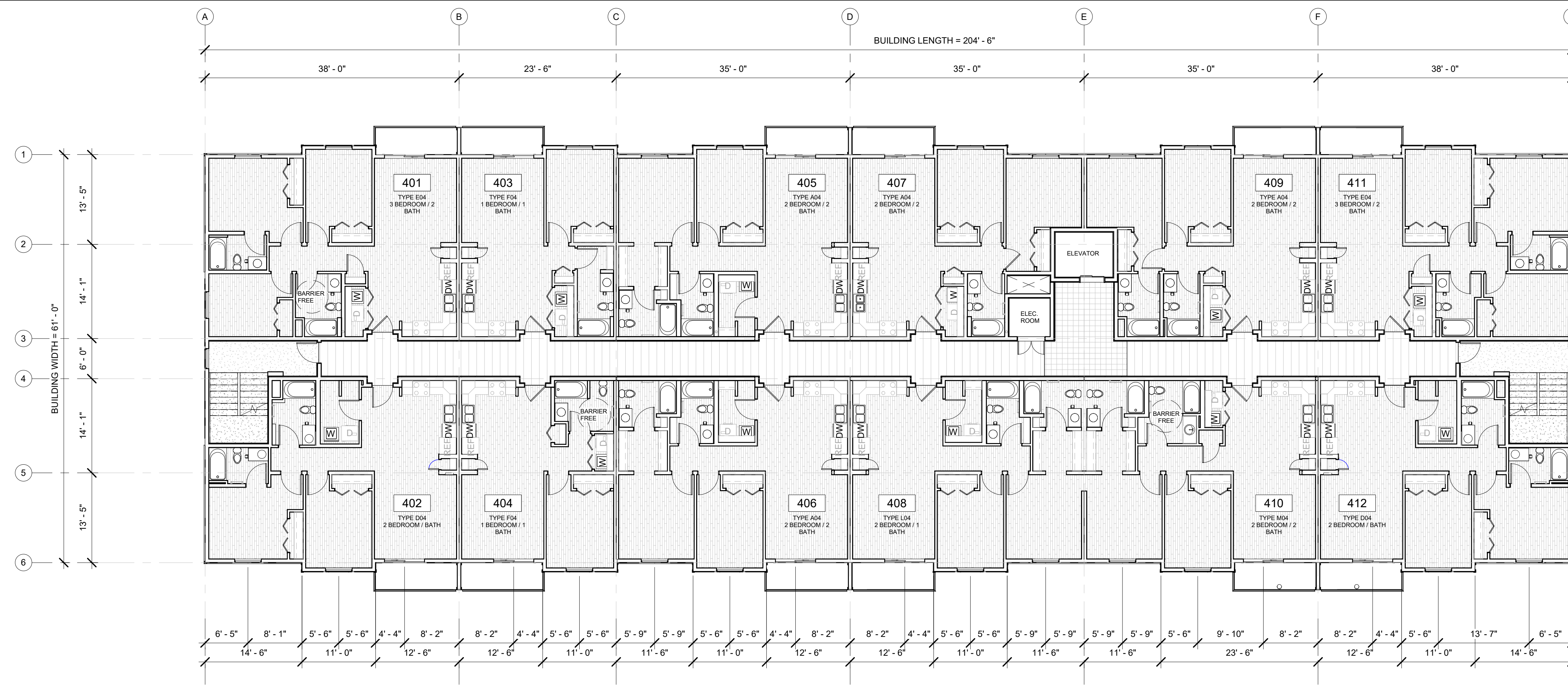
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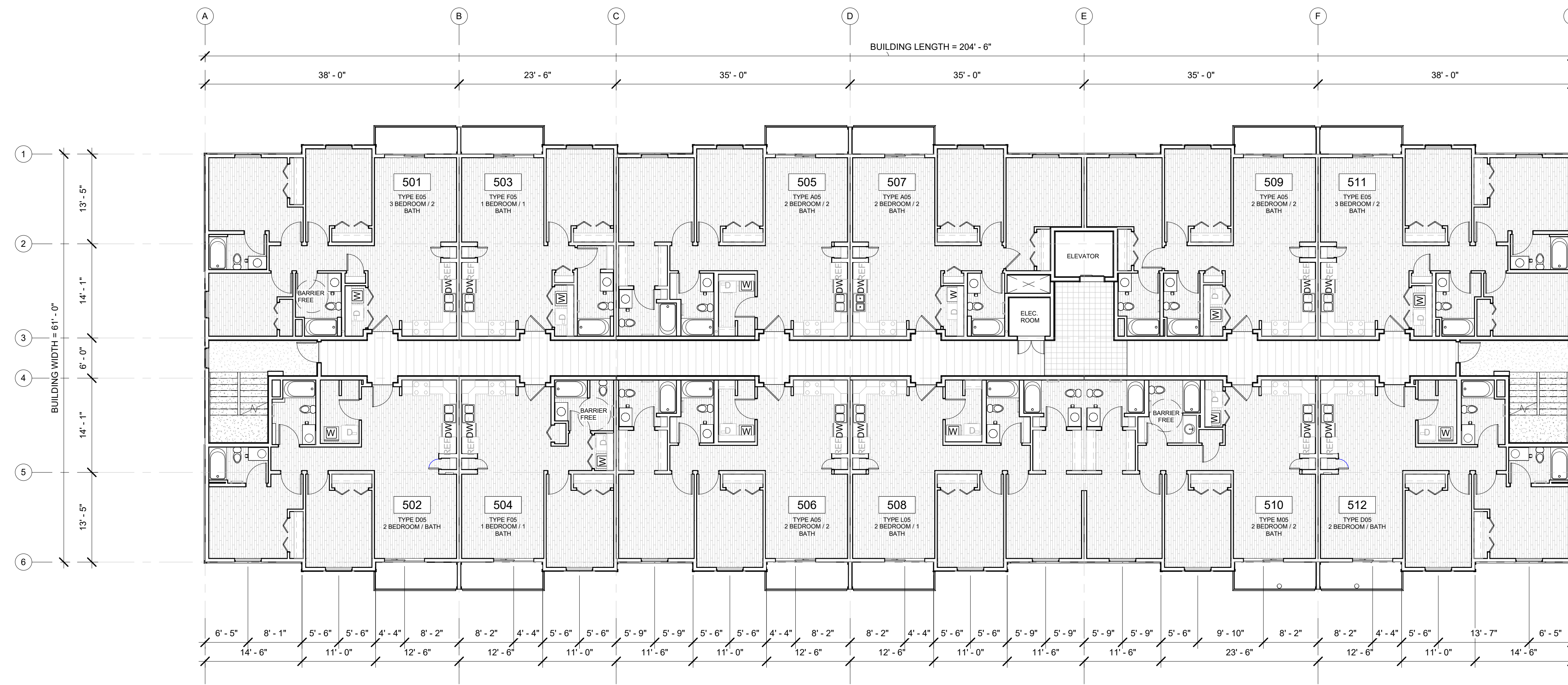
REV #:

C



**1** BUILDING C - FLOOR PLAN - LEVEL 4  
1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING C - FLOOR PLAN - LEVEL 5  
1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT C.M.A. T: 604.682.6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING C - SIXTH / ROOF FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

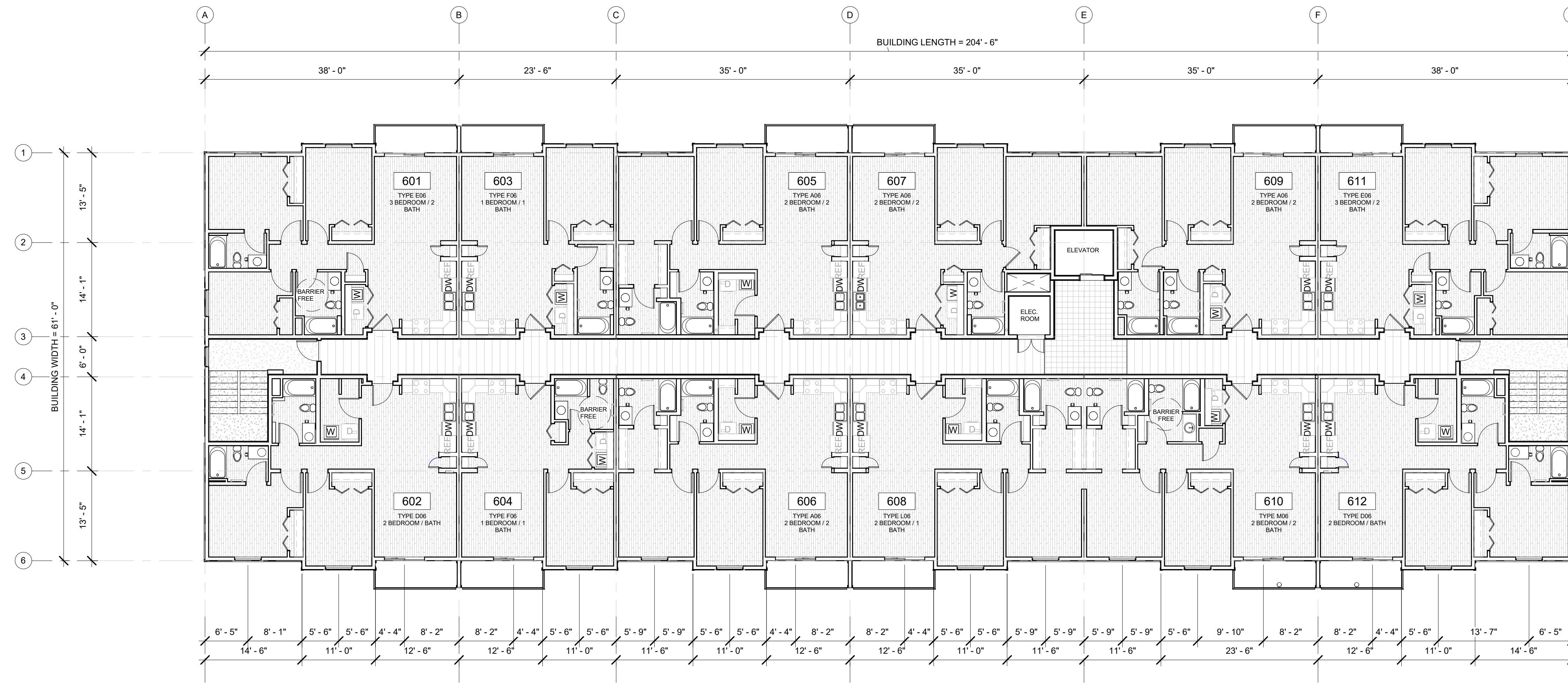
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DRAWING #:

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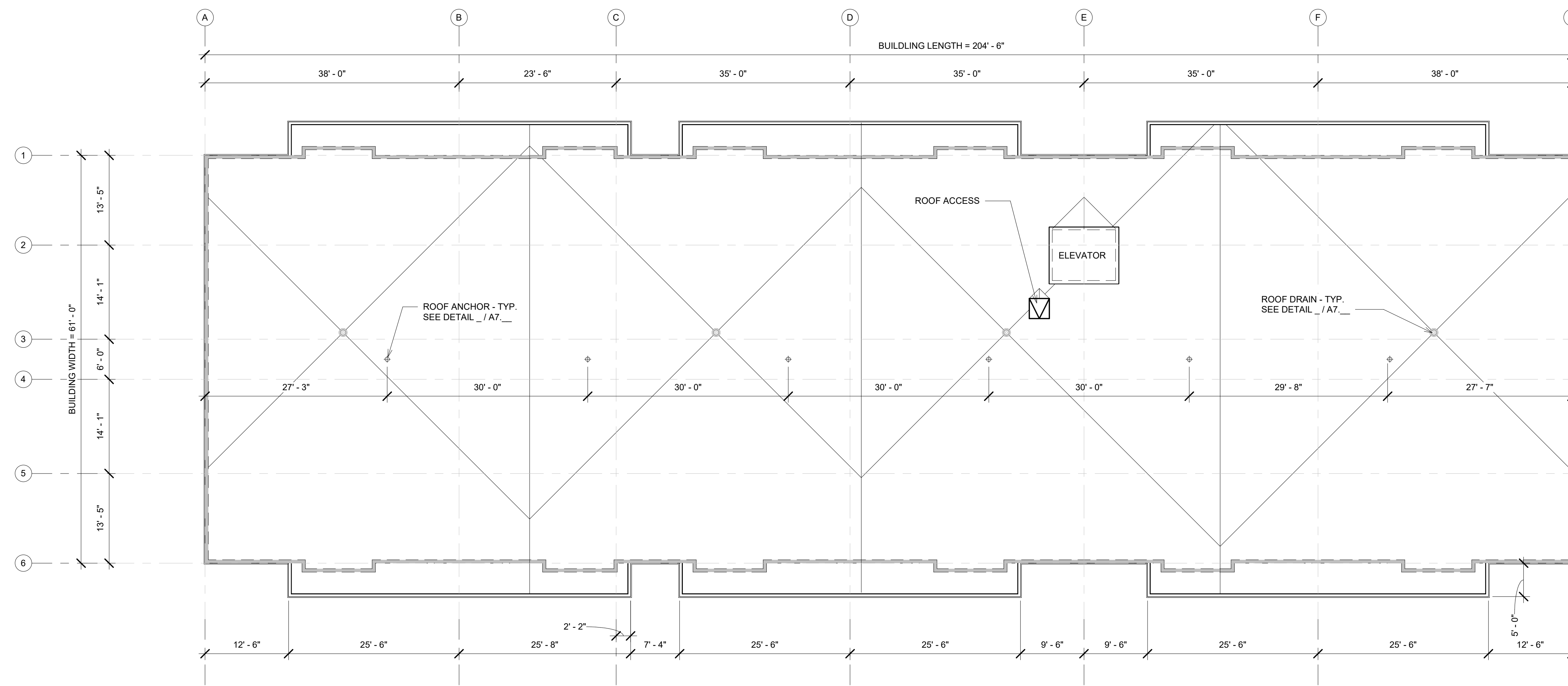
REV #:

**C**



**1** BUILDING C - FLOOR PLAN - LEVEL 6  
1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING C - ROOF PLAN  
1" = 10'-0"



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING D - PARKADE FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

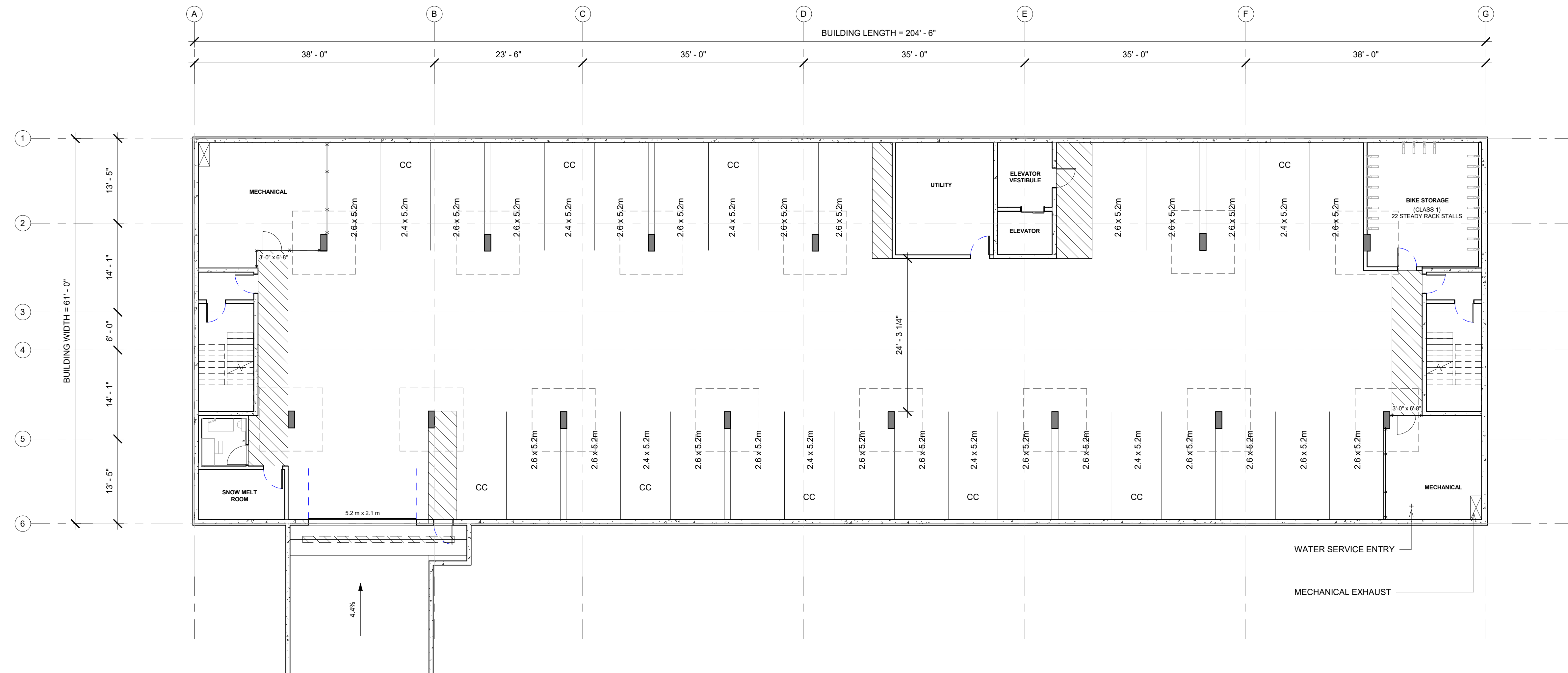
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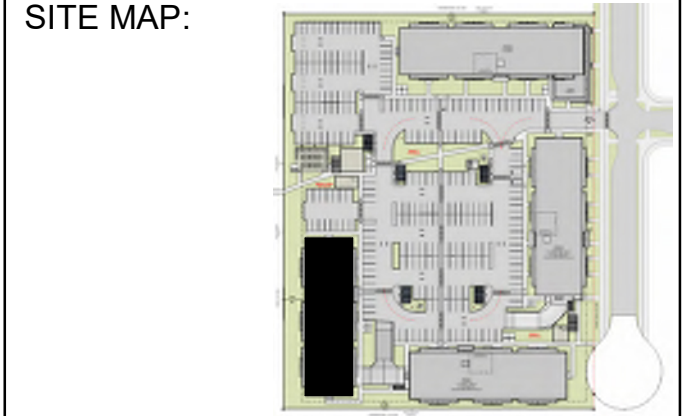
**A2.14**

REV #:

**C**



**1** BUILDING D - PARKADE FLOOR PLAN  
1" = 10'-0"



PROJECT STATUS:  
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
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PROJECT NAME:  
TRINITY APARTMENTS

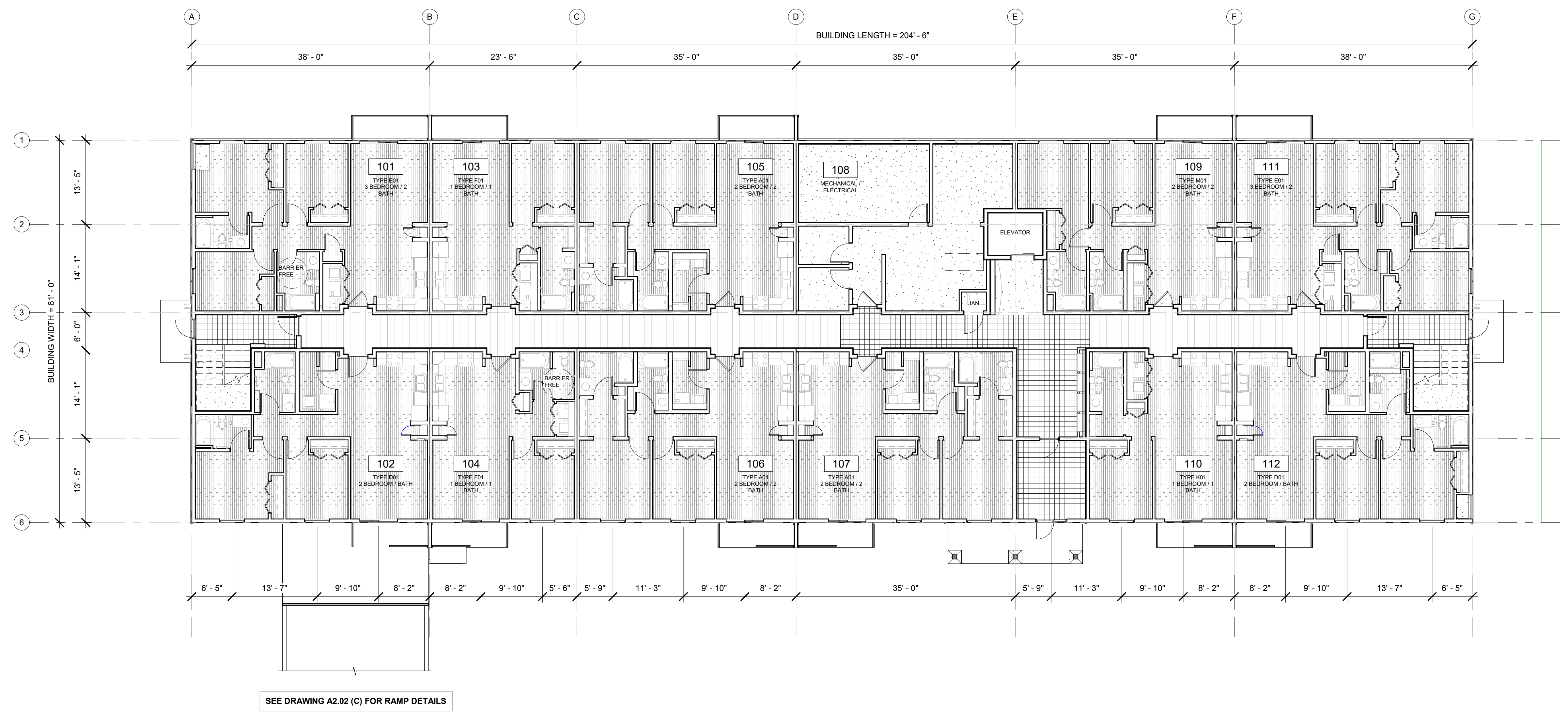
PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
BUILDING D - FIRST FLOOR PLAN

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

DRAWING #: **A2.15** REV #: **C**



SEE DRAWING A2.02 (C) FOR RAMP DETAILS

**TOTAL FLOOR AREA = 1158.92M<sup>2</sup>**

**1** BUILDING D - FLOOR PLAN - LEVEL 1  
1" = 10'-0"



SITE MAP:



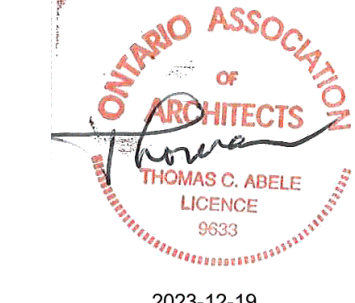
PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING D - SECOND / THIRD FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

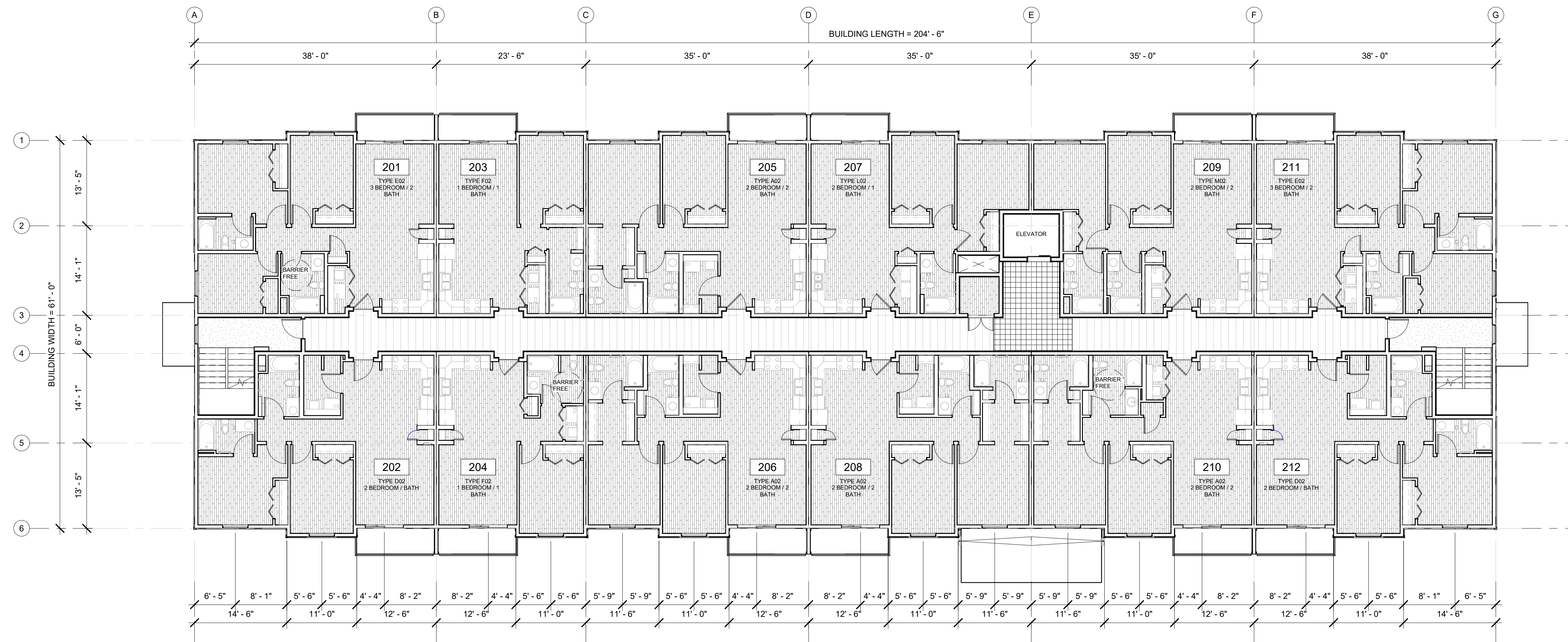
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DRAWING #:

**A2.16**

REV #:

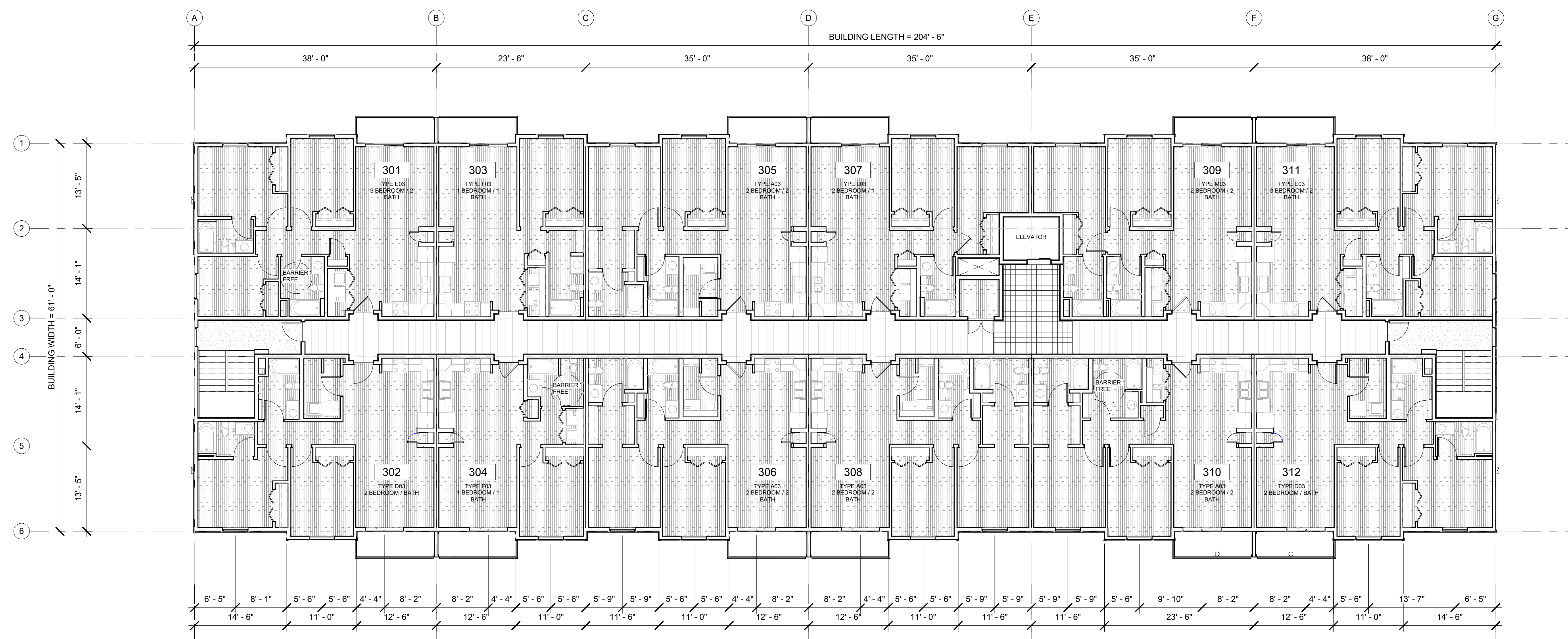
**C**



**1** BUILDING D - FLOOR PLAN - LEVEL 2

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING D - FLOOR PLAN - LEVEL 3

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING D - FOURTH / FIFTH FLOOR PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

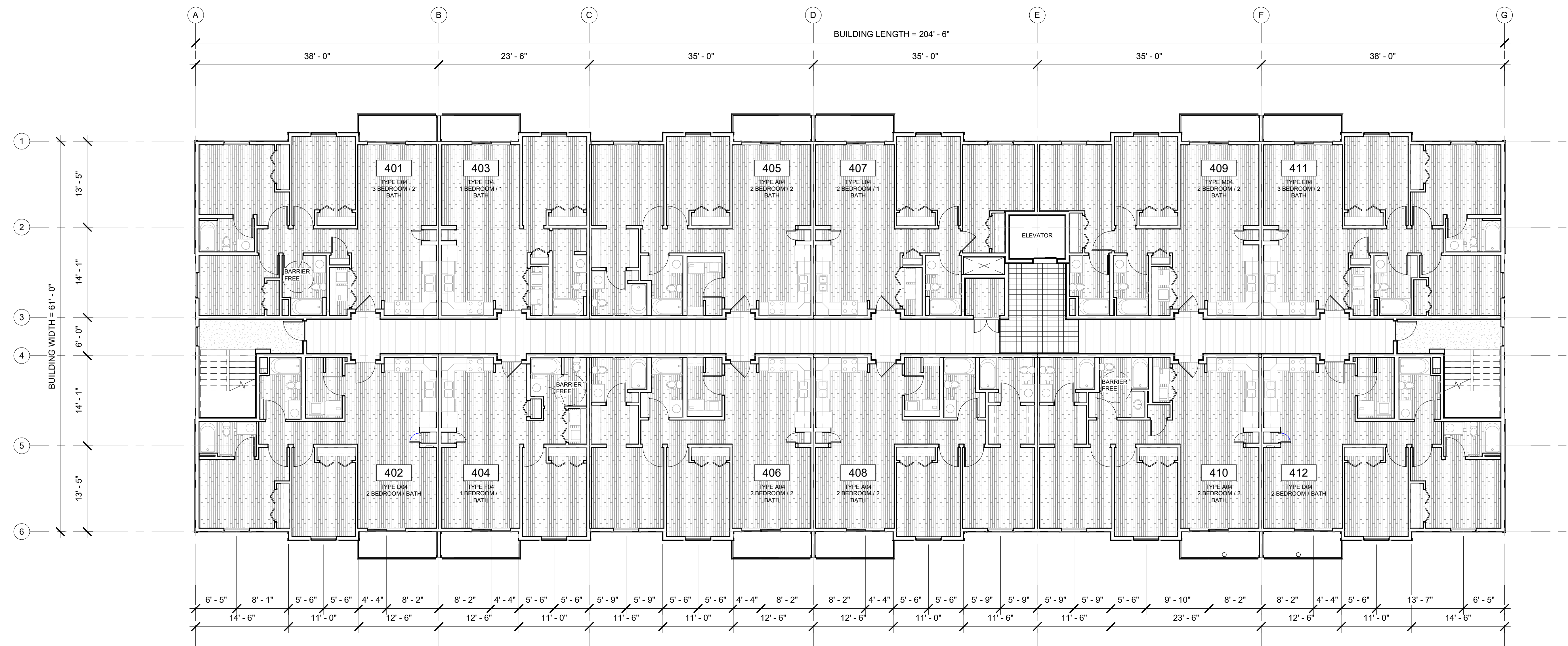
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REV #:

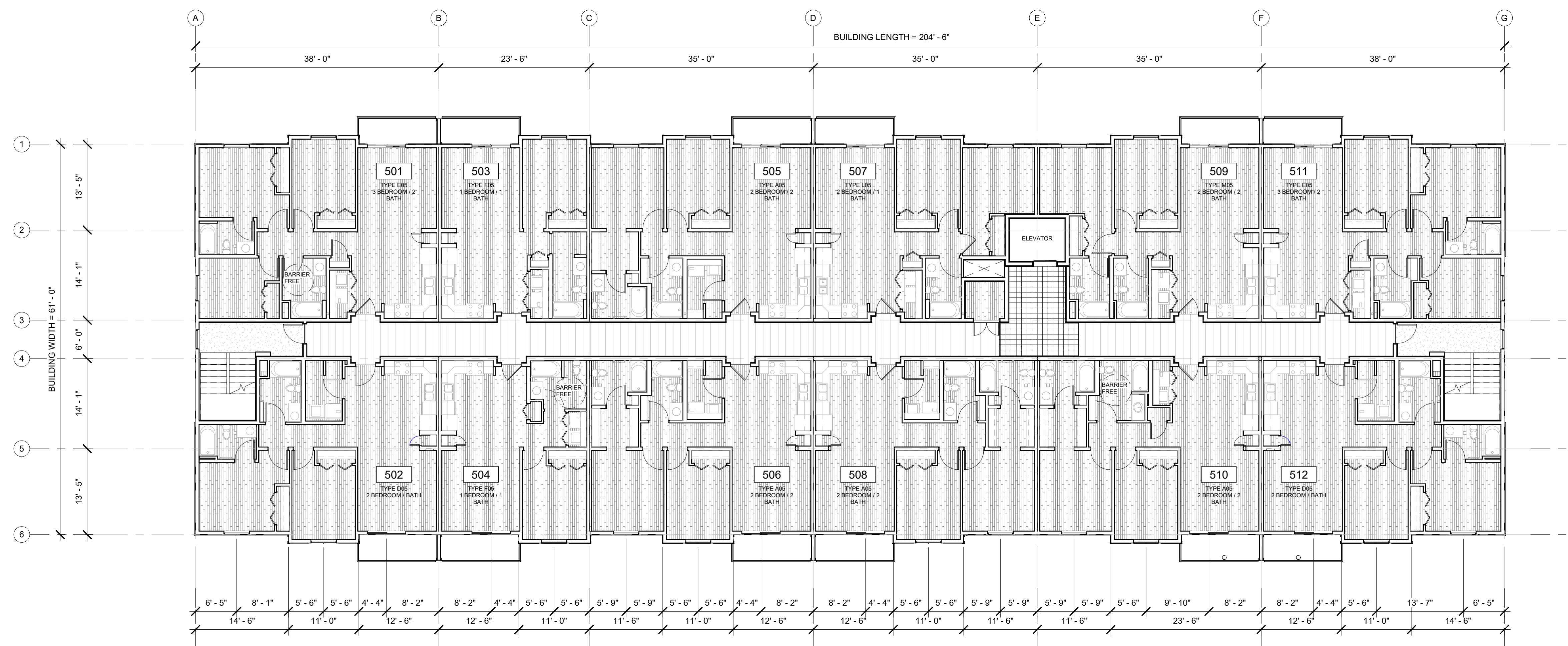
**C**



**1** BUILDING D - FLOOR PLAN - LEVEL 4

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING D - FLOOR PLAN - LEVEL 5

1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



SITE MAP:



PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING D - SIXTH / ROOF PLAN

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

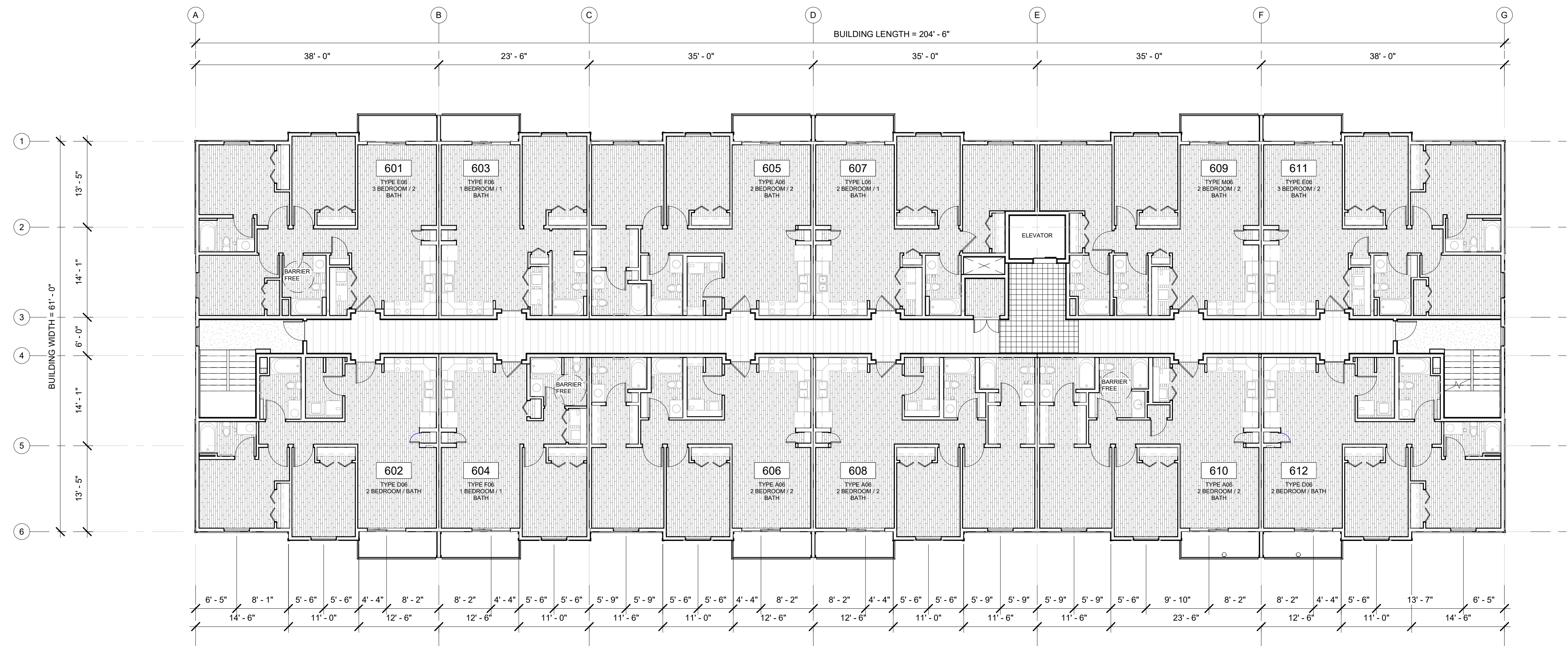
SCALE: As indicated

DRAWING #:

**A2.18**

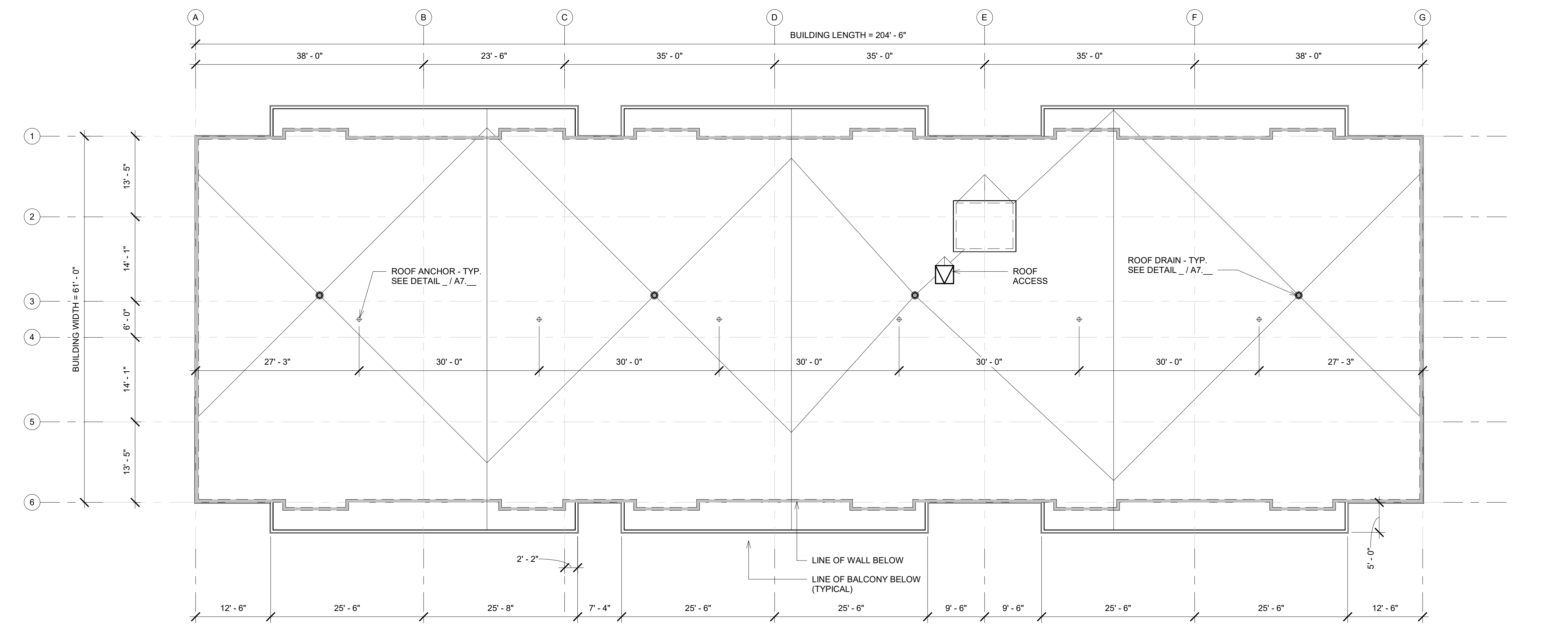
REV #:

**C**



**1** BUILDING D - FLOOR PLAN - LEVEL 6  
1" = 10'-0"

**TOTAL FLOOR AREA = 1175.25M<sup>2</sup>**



**2** BUILDING D - ROOF PLAN  
3/32" = 1'-0"

SITE MAP:



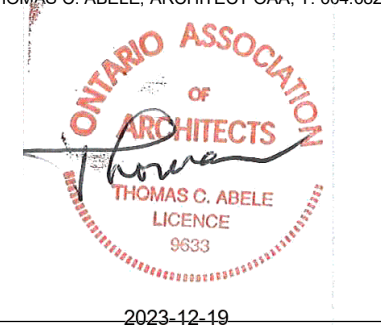
PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT O.A.A. T. 604.682-6818



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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - ELEVATION

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

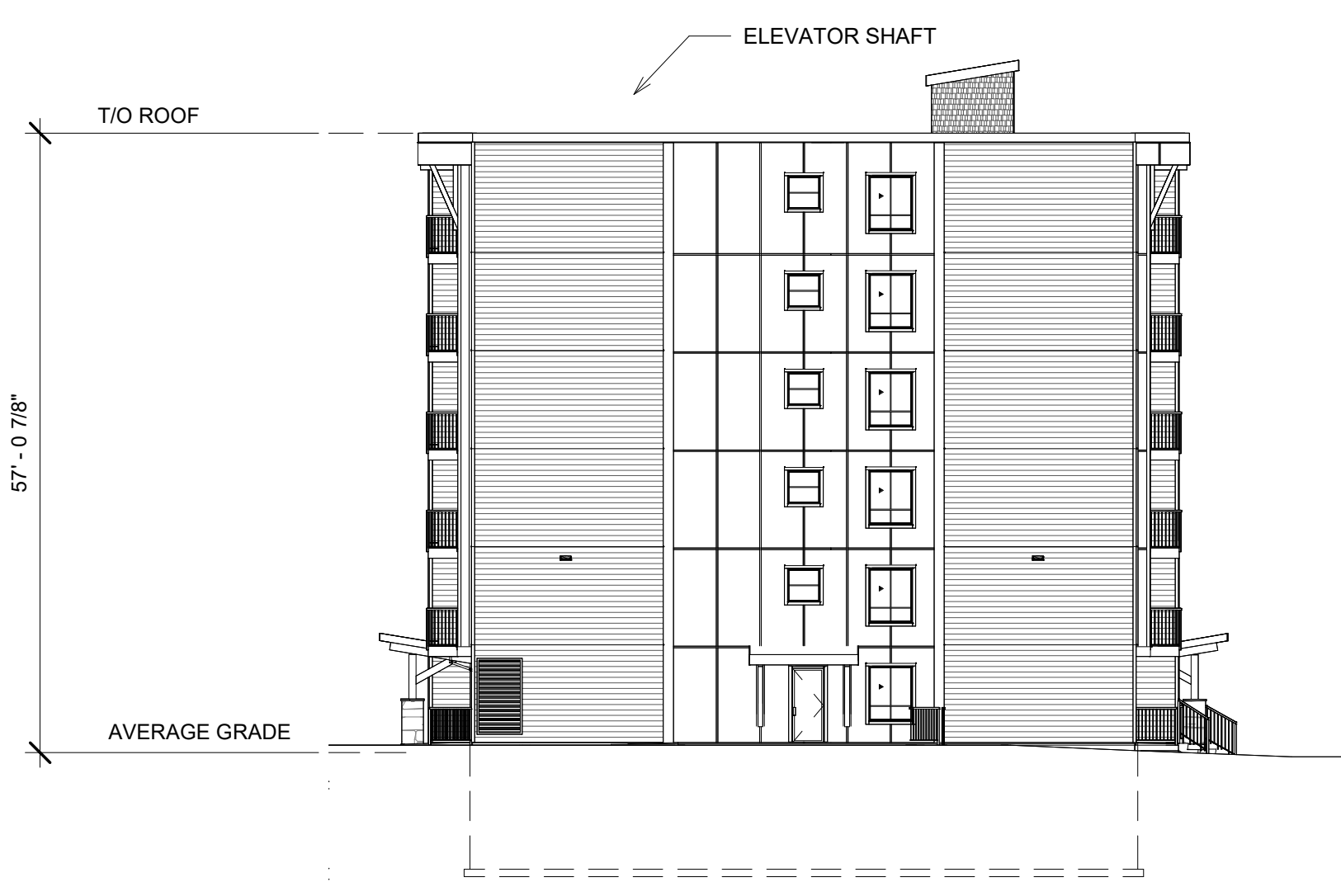
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DRAWING #:

**A3.00**

REV #:

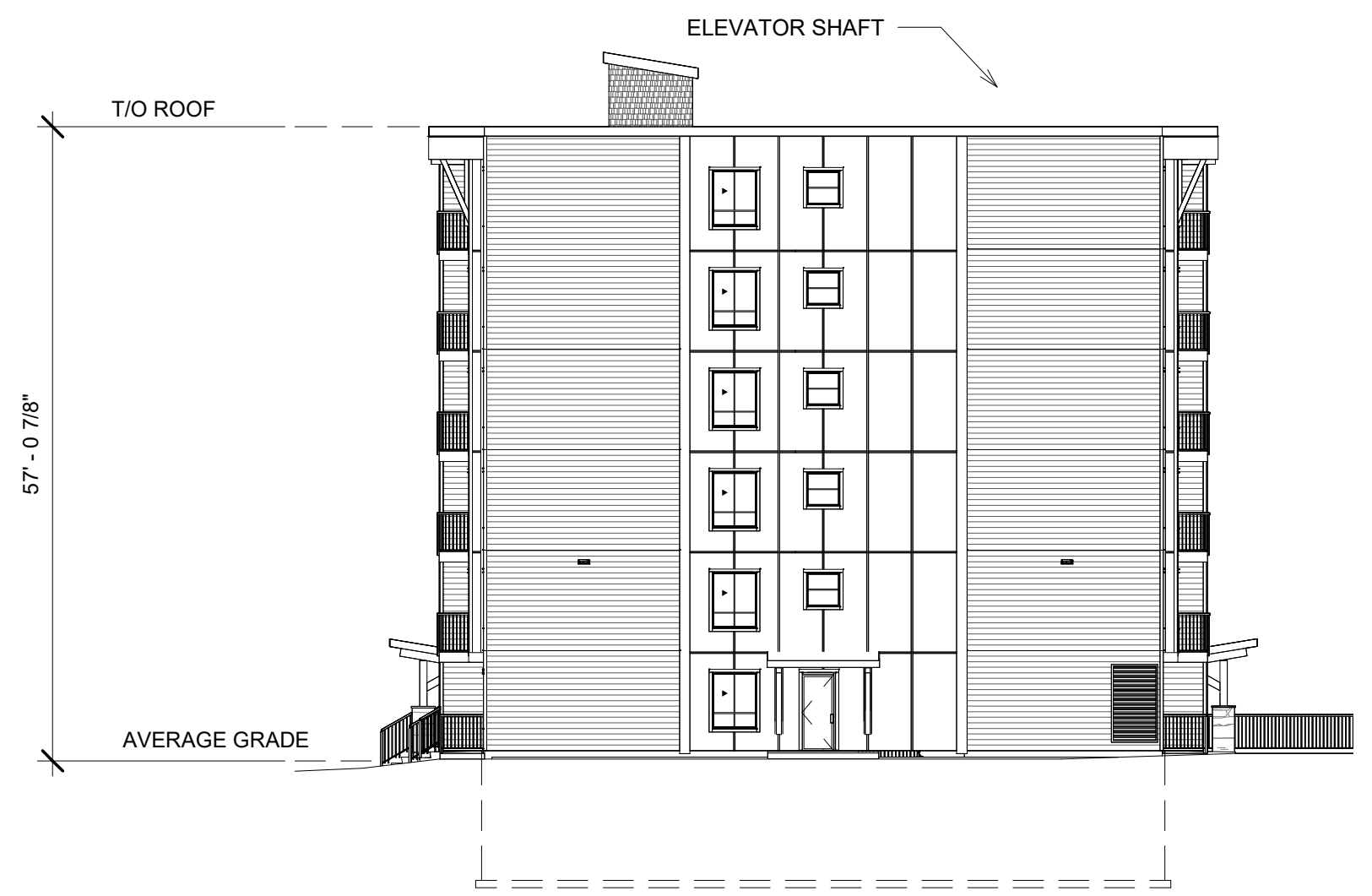
**C**



**1** SOUTH ELEVATION  
1 : 175



**2** WEST ELEVATION  
1 : 175



**3** NORTH ELEVATION  
1 : 175



**4** EAST ELEVATION  
1 : 175



SITE MAP:



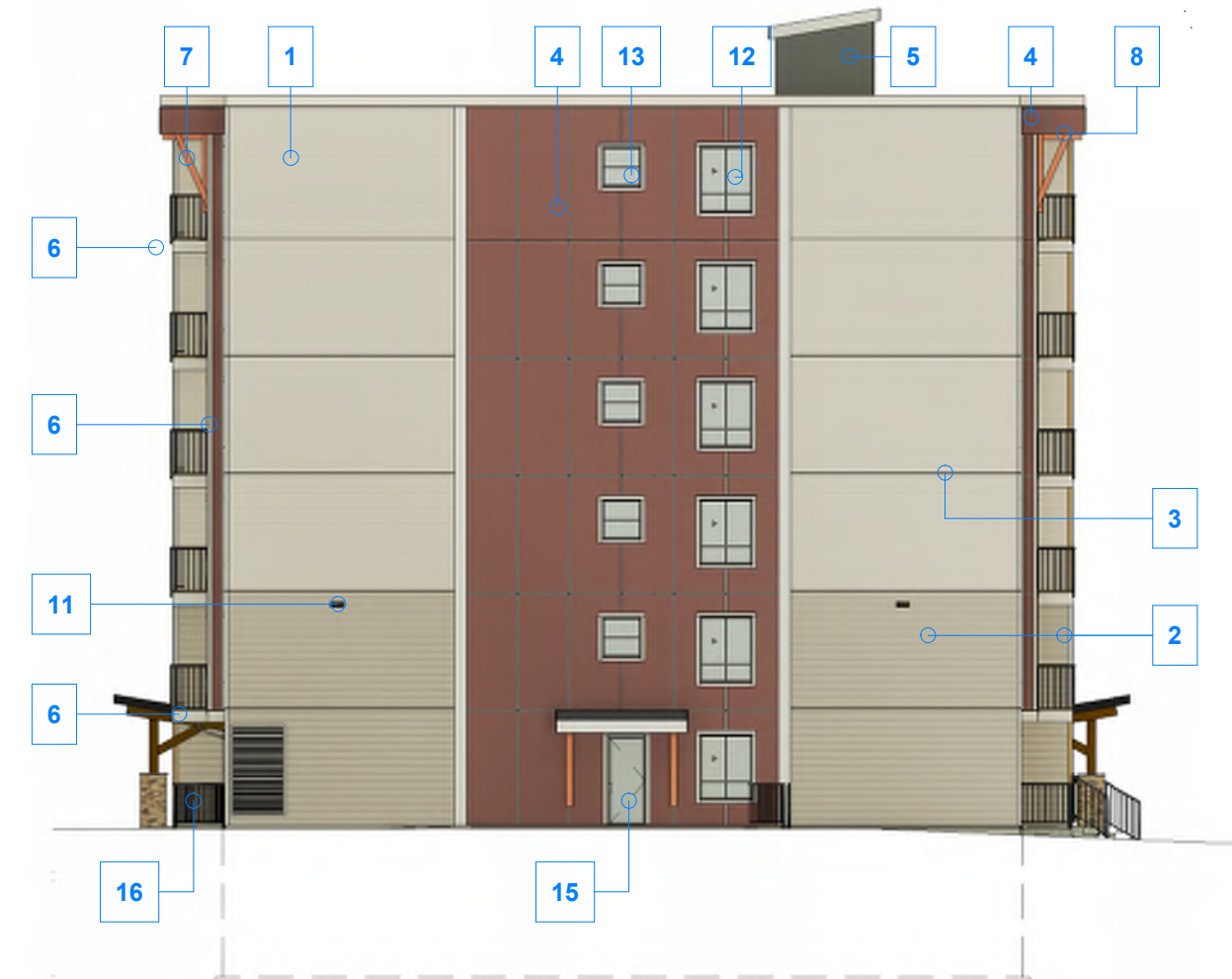
PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

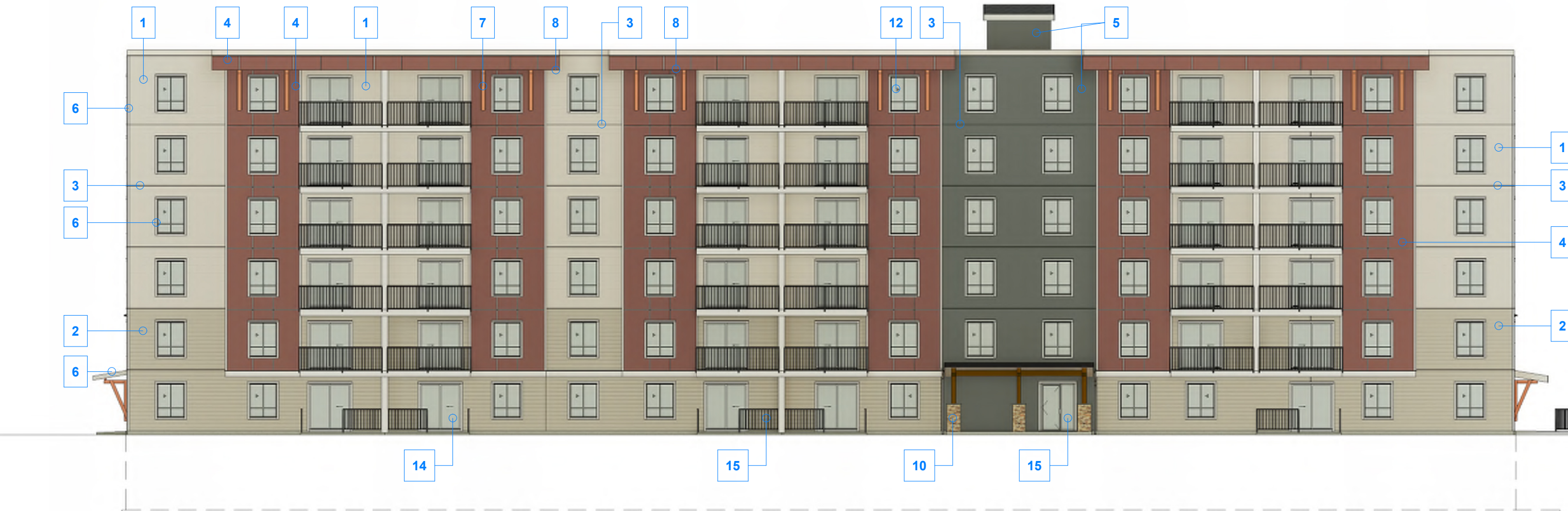
Revision Schedule

No.	Description	Revision Date

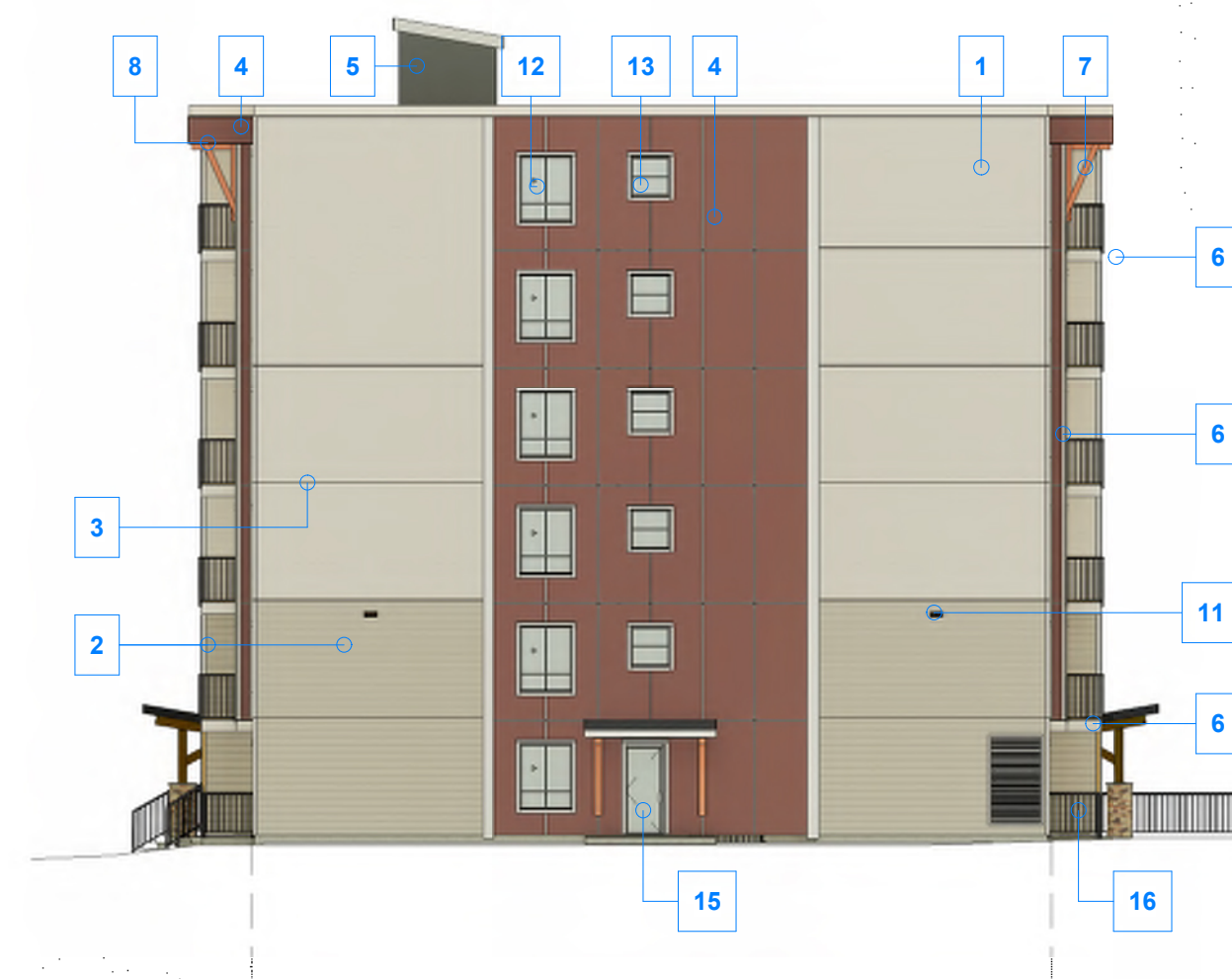
SEAL: ABELEARCHITECTURE  
THOMAS C. ABELLE, ARCHITECT C.M.A. T: 604-682-6818



**1 COLOUR SOUTH ELEVATION**  
1 : 175



**2 COLOUR WEST ELEVATION**  
1 : 175



**3 COLOUR NORTH ELEVATION**  
1 : 175



**4 COLOUR EAST ELEVATION**  
1 : 175

1	PLANK - CEDARMILL (COBBLE STONE)	7	CEDAR ACCENTS - STAIN TBC	13	WINDOW - AWNING - WHITE
2	PLANK - CEDARMILL (MONTERAY TAUPE)	8	3 PANEL CLASSIC SOFFIT - WHITE	14	PATIO DOOR - SLIDER - WHITE
3	FLASHING	9	EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED	15	ENTRY DOOR - SWING - ALUMINUM
4	PANEL - SMOOTH (COUNTRYLANE RED)	10	CULTURED STONE - TBC	16	ALUMINUM RAILING - WELDED SYSTEM - BLACK
5	STRAIGHT EDGE SHAKE (IRON GRAY)	11	LED WALL SCONCE		
6	HARDIE TRIM - SMOOTH (ARCTIC WHITE)	12	WINDOW - SLIDER - WHITE		

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING A - COLOUR ELEVATION

DRAWN BY: EC

CHECKED BY: CG

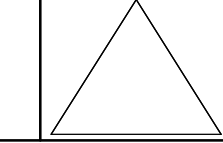
DATE: DEC 18, 2023

SCALE: As indicated

DRAWING #:

**A3.01**

REV #:



SITE MAP:



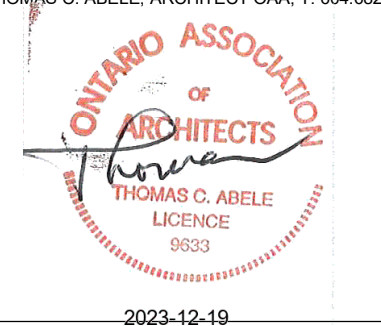
PROJECT STATUS:

ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT O.A.A. T. 604.682-6818



2023-12-19

TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY, FOR CLARIFICATION AND/OR CONFIRMATION. DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

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PROJECT NAME:

TRINITY APARTMENTS

PROJECT NUMBER:

VP 2213

ADDRESS:

4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:

BUILDING B - ELEVATION

DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

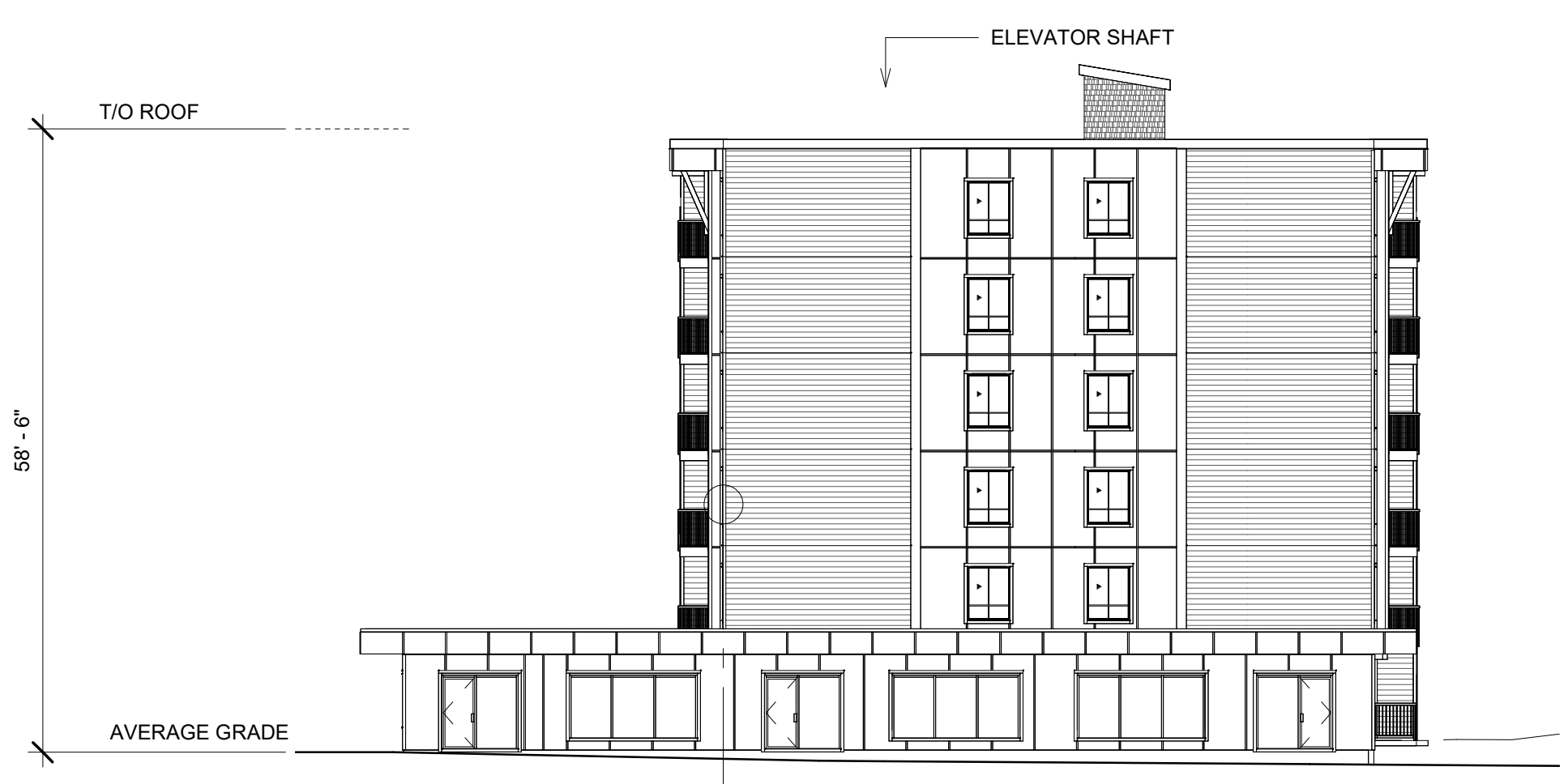
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DRAWING #:

**A3.02**

REV #:

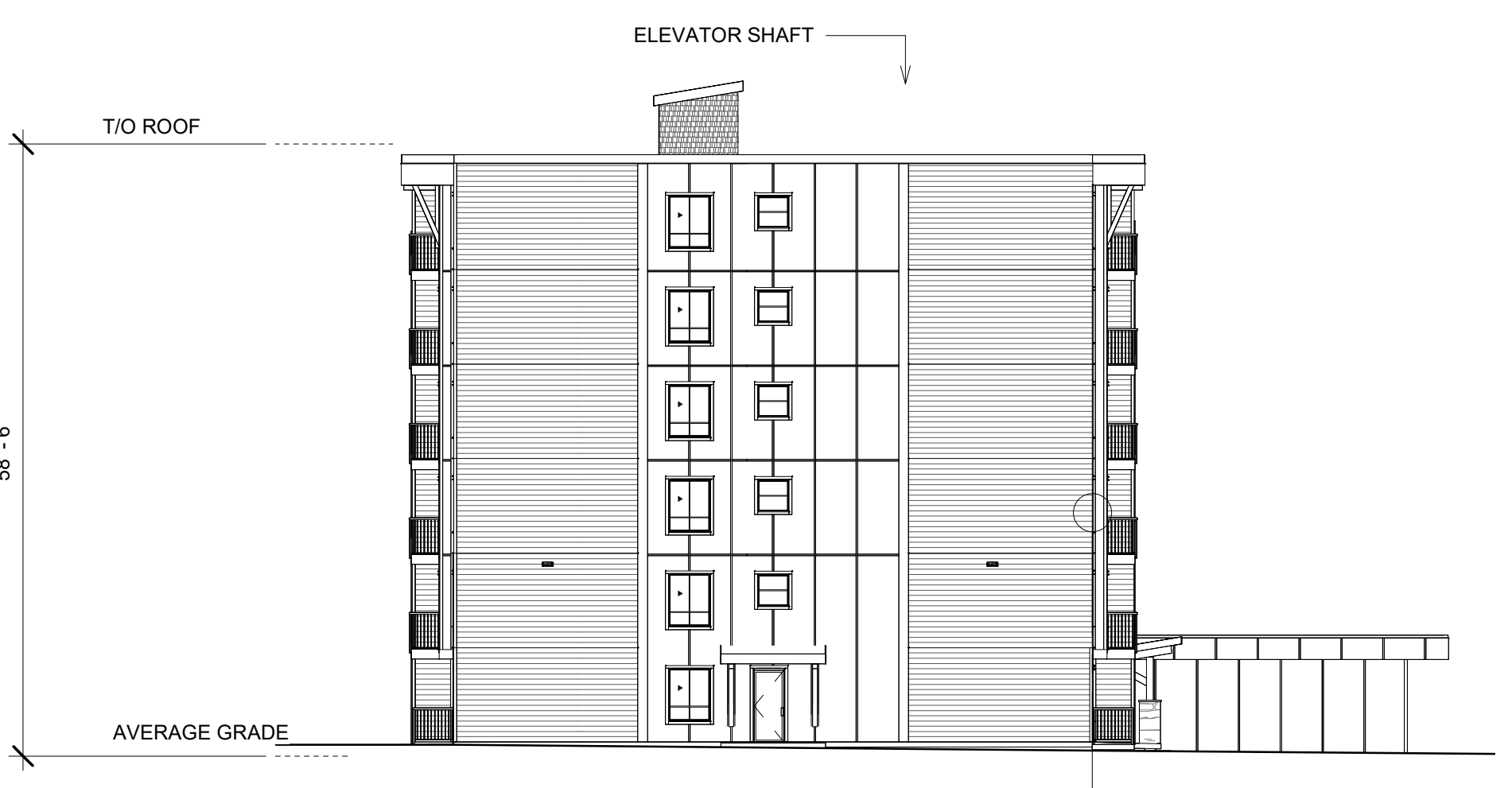
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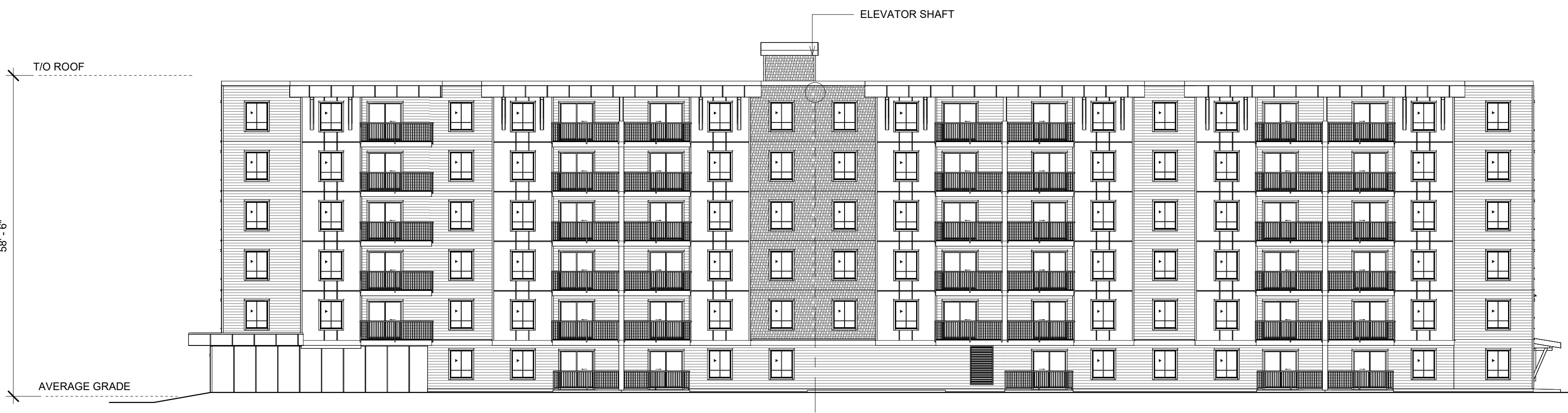
**1** EAST ELEVATION  
1 : 175



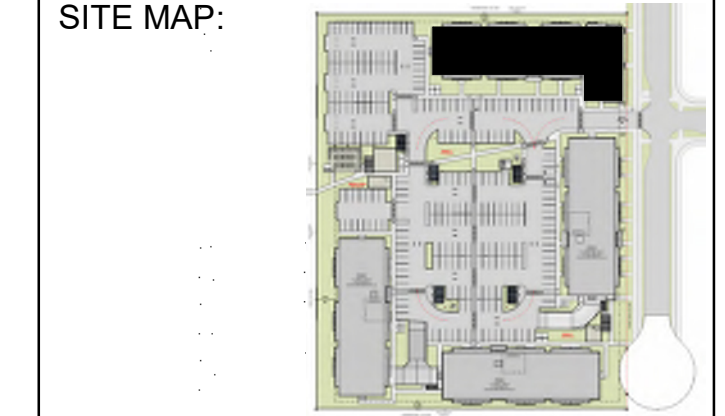
**2** SOUTH ELEVATION  
1 : 175



**3** WEST ELEVATION  
1 : 175



**4** NORTH ELEVATION  
1 : 175

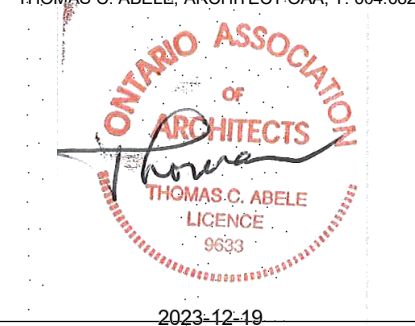


PROJECT STATUS:  
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT C.M.A. T. 604.682.6818



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PROJECT NAME:  
TRINITY APARTMENTS

PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
BUILDING B - COLOUR ELEVATIONS

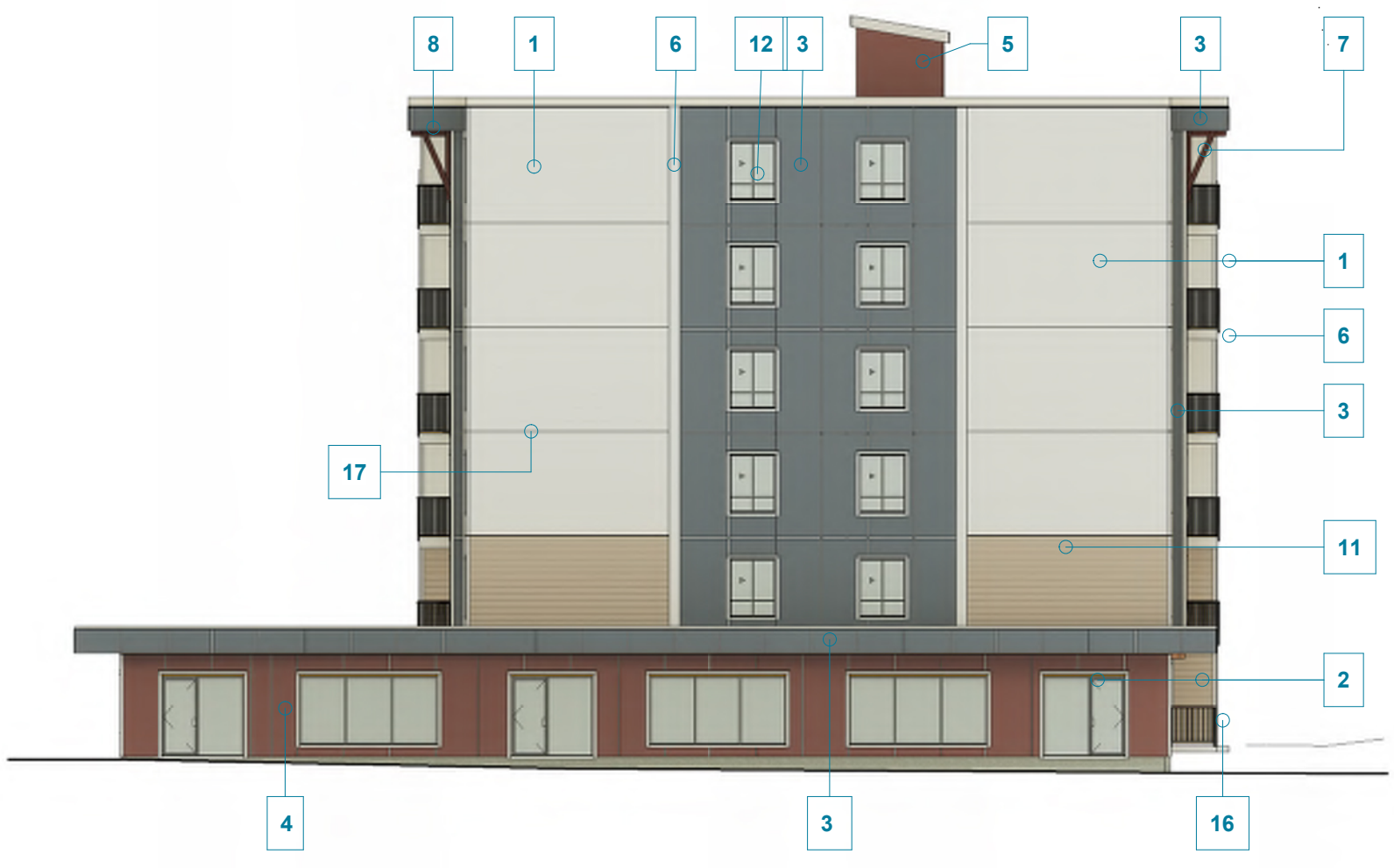
DRAWN BY: EC

CHECKED BY: CG

DATE: DEC 18, 2023

SCALE: As indicated

DRAWING #: **A3.03** REV #:



1 COLOUR EAST ELEVATION  
1 : 175



2 COLOUR SOUTH ELEVATION  
1 : 175



3 COLOUR WEST ELEVATION  
1 : 175



4 COLOUR NORTH ELEVATION  
1 : 175

	1 PLANK - CEDARMILL (ARTIC WHITE)		7 CEDAR ACCENTS - STAIN TBC		13 WINDOW - AWNING - WHITE
	2 PLANK - CEDARMILL (KHAKI BROWN)		8 3 PANEL CLASSIC SOFFIT - WHITE		14 PATIO DOOR - SLIDER - WHITE
	3 PANEL - SMOOTH (DEEP OCEAN)		9 EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED		15 ENTRY DOOR - SWING - ALUMINUM
	4 PANEL - SMOOTH (COUNTRYLANE RED)		10 CULTURED STONE - TBC		16 ALUMINUM RAILING - WELDED SYSTEM - BLACK
	5 STRAIGHT EDGE SHAKE (COUNTRYLANE RED)		11 LED WALL SCENCE		17 FLASHING
	6 HARDIE TRIM - SMOOTH (ARCTIC WHITE)		12 WINDOW - SLIDER - WHITE		

SITE MAP:

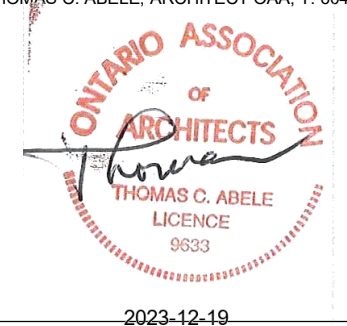


PROJECT STATUS:  
ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT C.M.A. T: 604.682-6818



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PROJECT NAME:  
TRINITY APARTMENTS

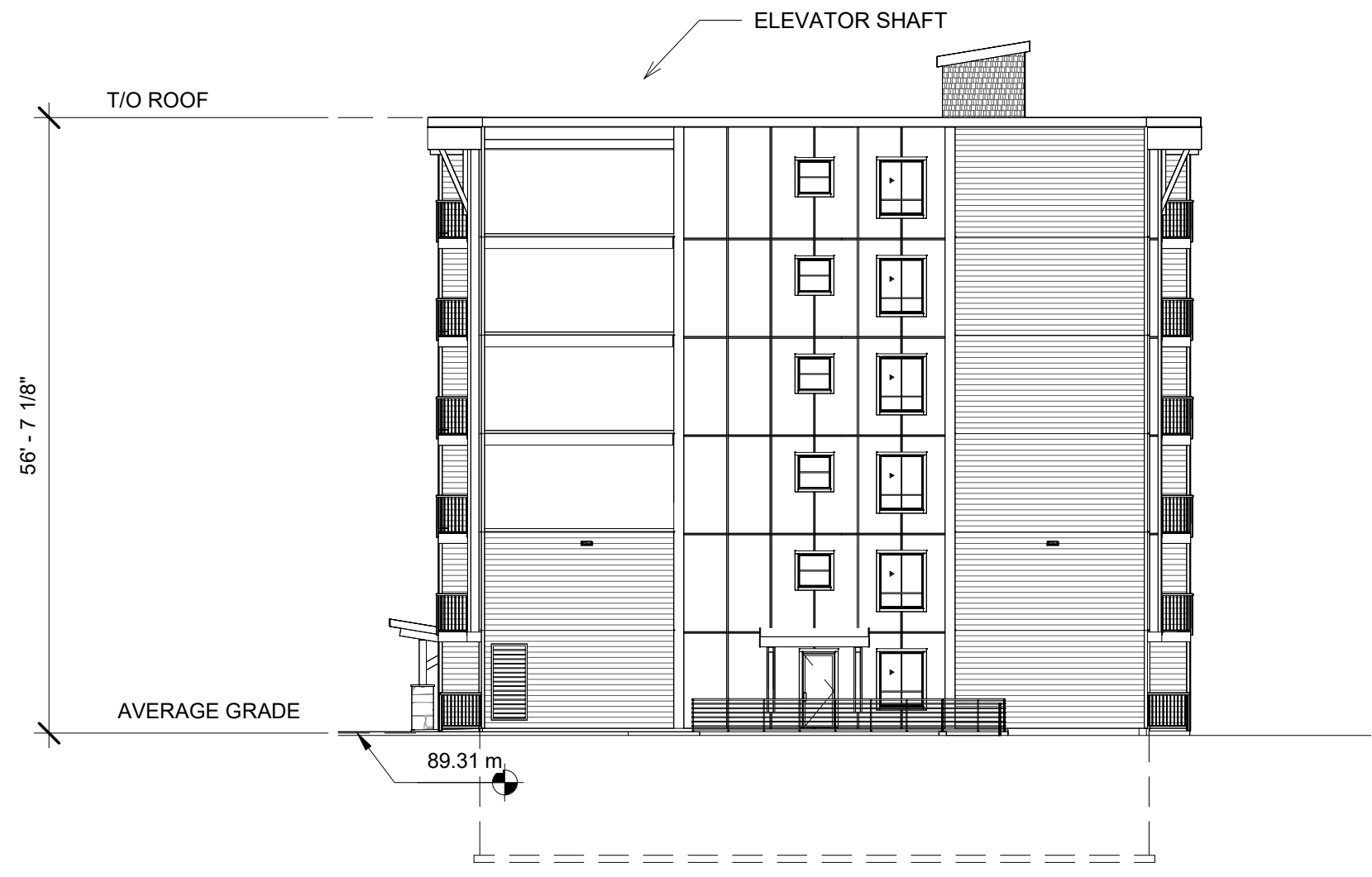
PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
BUILDING C - ELEVATION

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

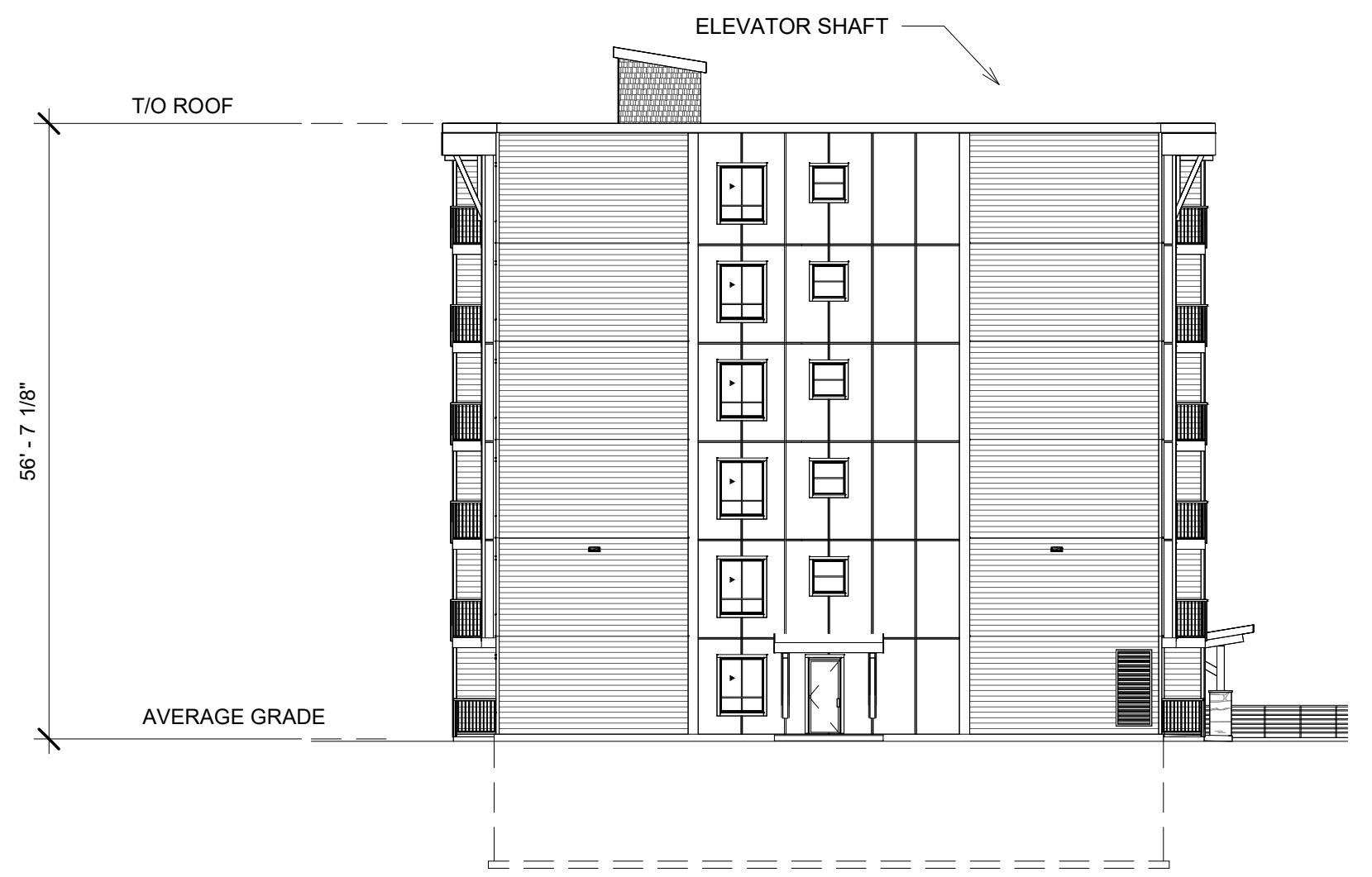
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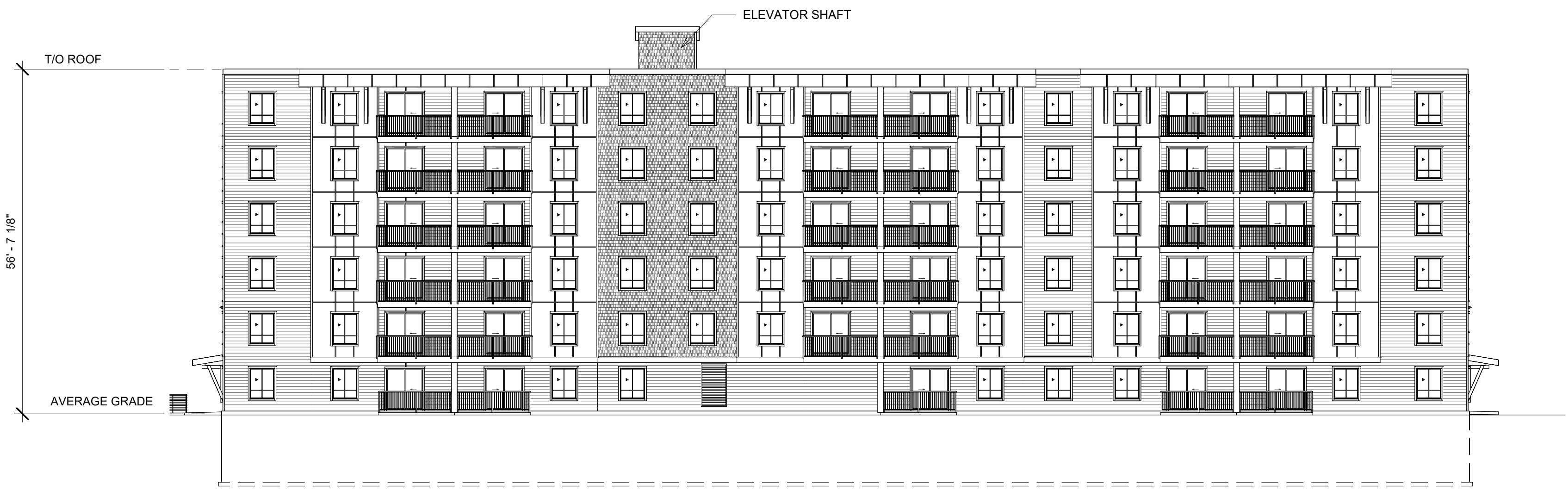
**1** WEST ELEVATION  
1 : 175



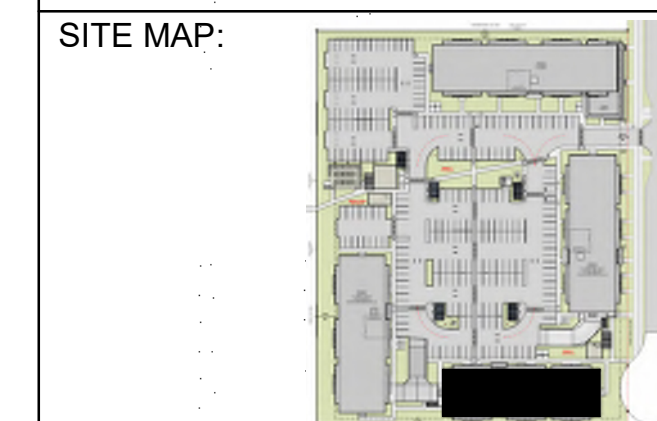
**2** NORTH ELEVATION  
1 : 175



**3** EAST ELEVATION  
1 : 175



**4** SOUTH ELEVATION  
1 : 175

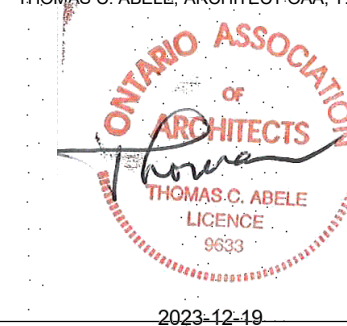


PROJECT STATUS:  
ISSUED FOR BUILDING PERMIT

Revision Schedule

No.	Description	Revision Date

SEAL: ABELEARCHITECTURE  
THOMAS C. ABELE, ARCHITECT C.M.A., T. 604.682-6818



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PROJECT NAME:  
TRINITY APARTMENTS

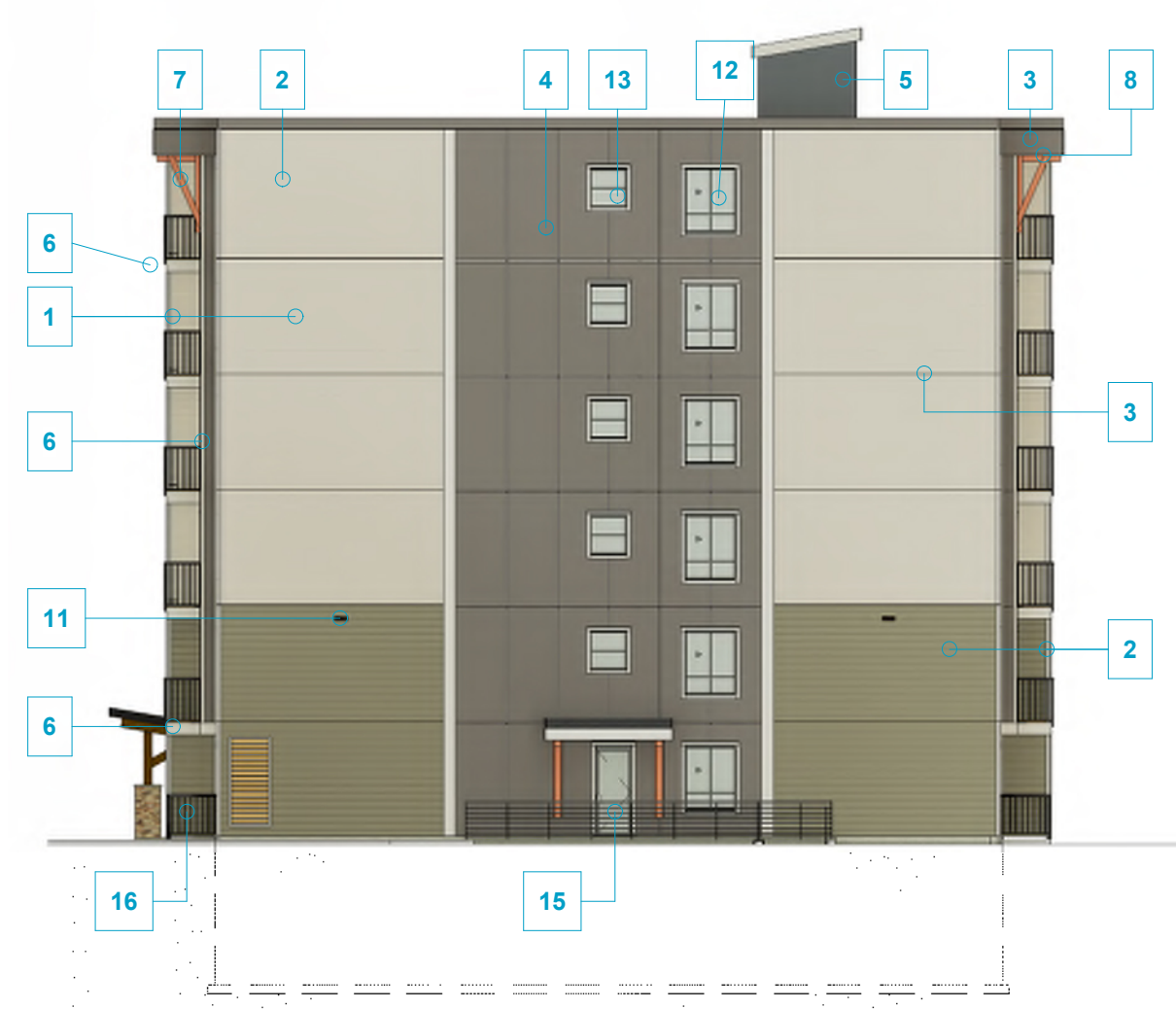
PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
BUILDING C - COLOUR ELEVATION

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

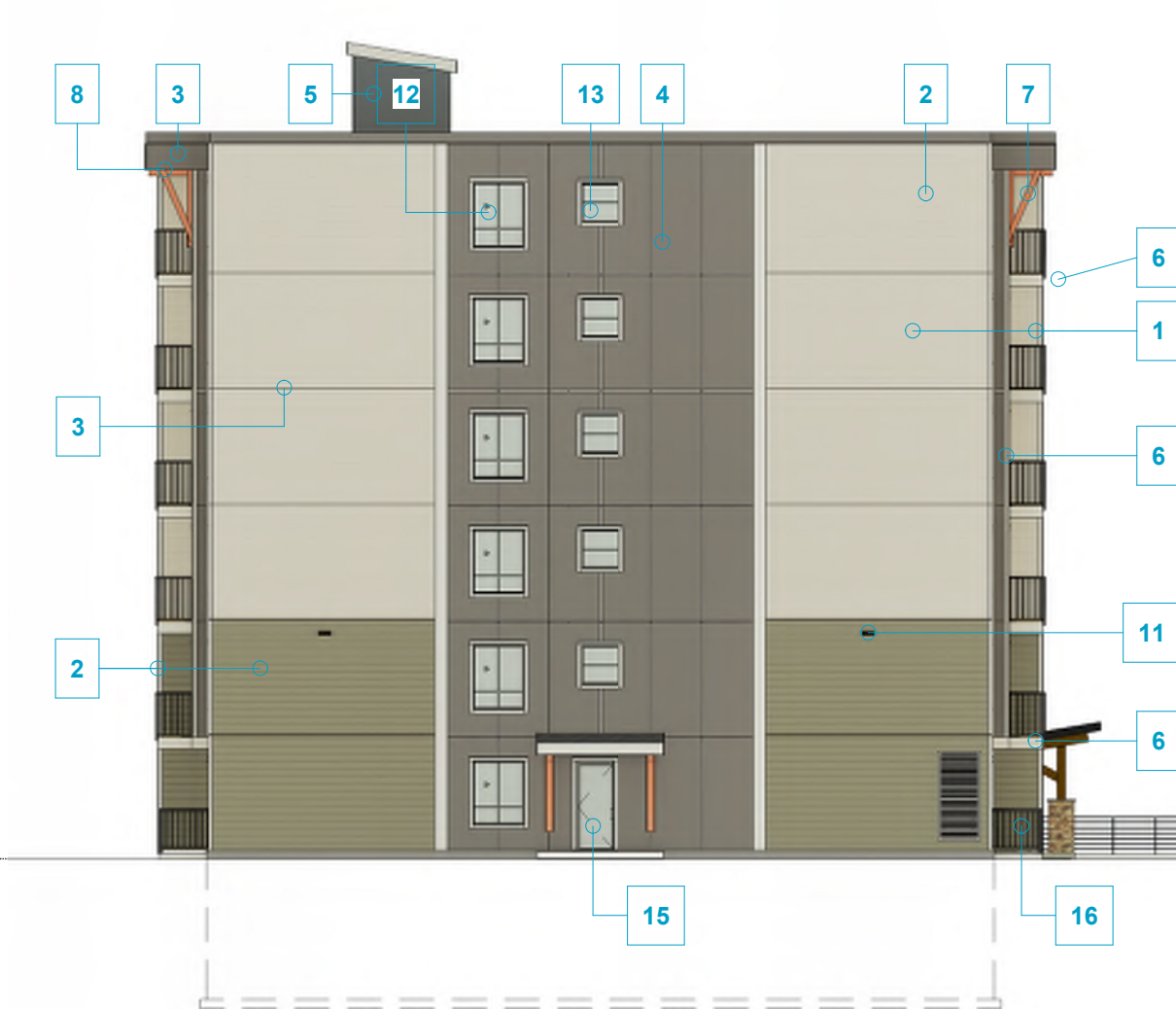
DRAWING #: A3.05  
REV #:



**1** COLOUR WEST ELEVATION  
1 : 175



**2** COLOUR NORTH ELEVATION  
1 : 175



**3** COLOUR EAST ELEVATION  
1 : 175



**4** COLOUR SOUTH ELEVATION  
1 : 175

<b>1</b> PLANK - CEDARMILL (COBBLE STONE)	<b>7</b> CEDAR ACCENTS - STAIN TBC	<b>13</b> WINDOW - AWNING - WHITE
<b>2</b> PLANK - CEDARMILL (MOUNTAIN SAGE)	<b>8</b> 3 PANEL CLASSIC SOFFIT - WHITE	<b>14</b> PATIO DOOR - SLIDER - WHITE
<b>3</b> FLASHING	<b>9</b> EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED	<b>15</b> ENTRY DOOR - SWING - ALUMINUM
<b>4</b> PANEL - SMOOTH (RICH ESPRESSO)	<b>10</b> CULTURED STONE - TBC	<b>16</b> ALUMINUM RAILING - WELDED SYSTEM - BLACK
<b>5</b> STRAIGHT EDGE SHAKE (DEEP OCEAN)	<b>11</b> LED WALL SCENCE	
<b>6</b> HARDIE TRIM - SMOOTH (ARCTIC WHITE)	<b>12</b> WINDOW - SLIDER - WHITE	

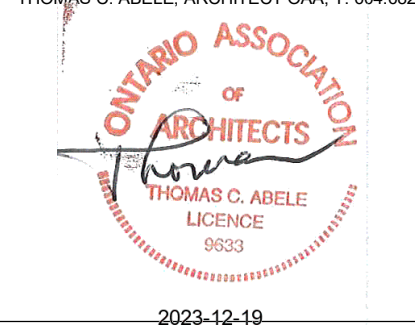
SITE MAP:



PROJECT STATUS:  
ISSUED FOR SITE CONTROL PLAN

Revision Schedule		
No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT C.M.A. T. 604.682.6818



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PROJECT NAME:  
TRINITY APARTMENTS

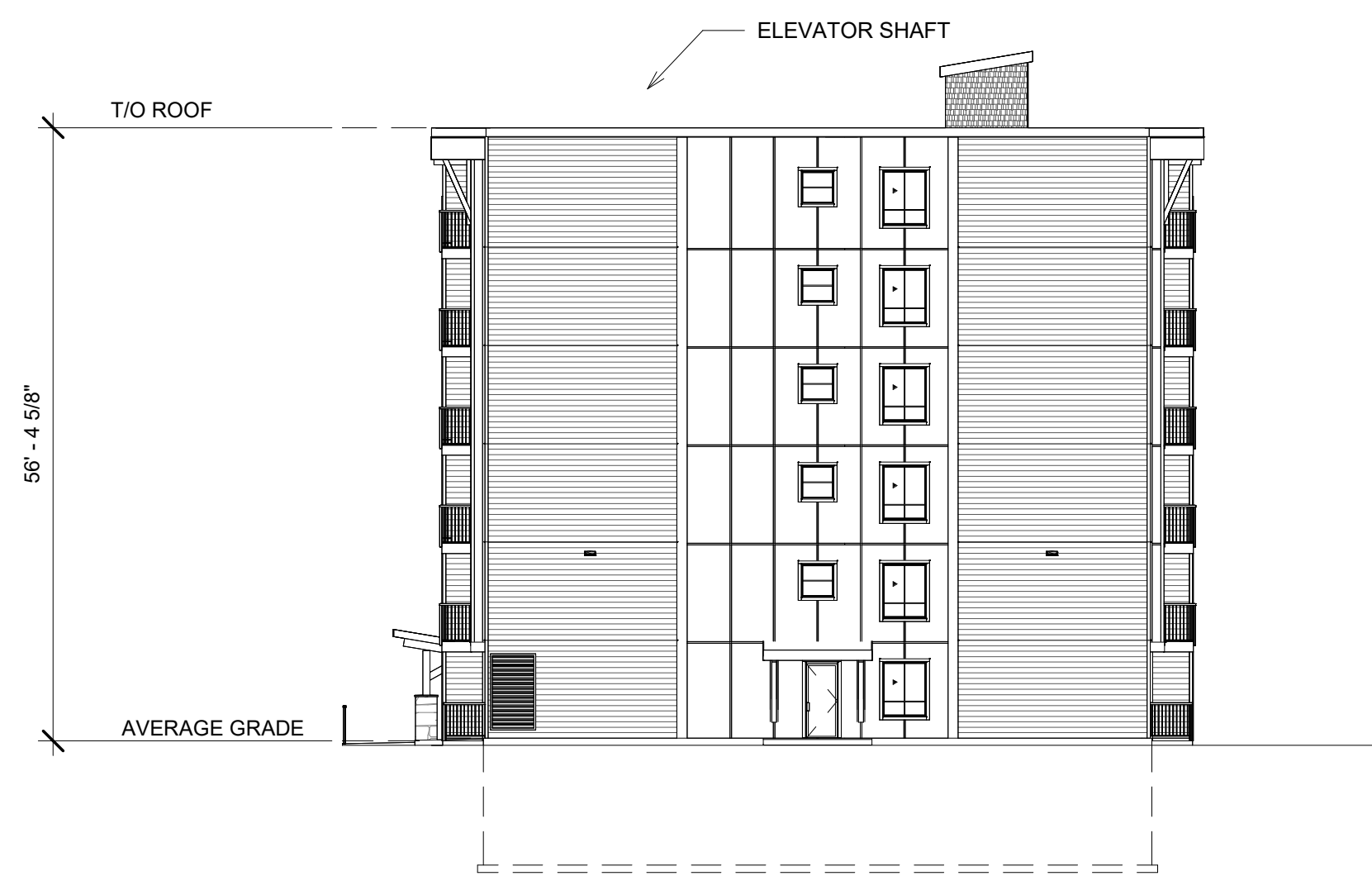
PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
BUILDING D - ELEVATION

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

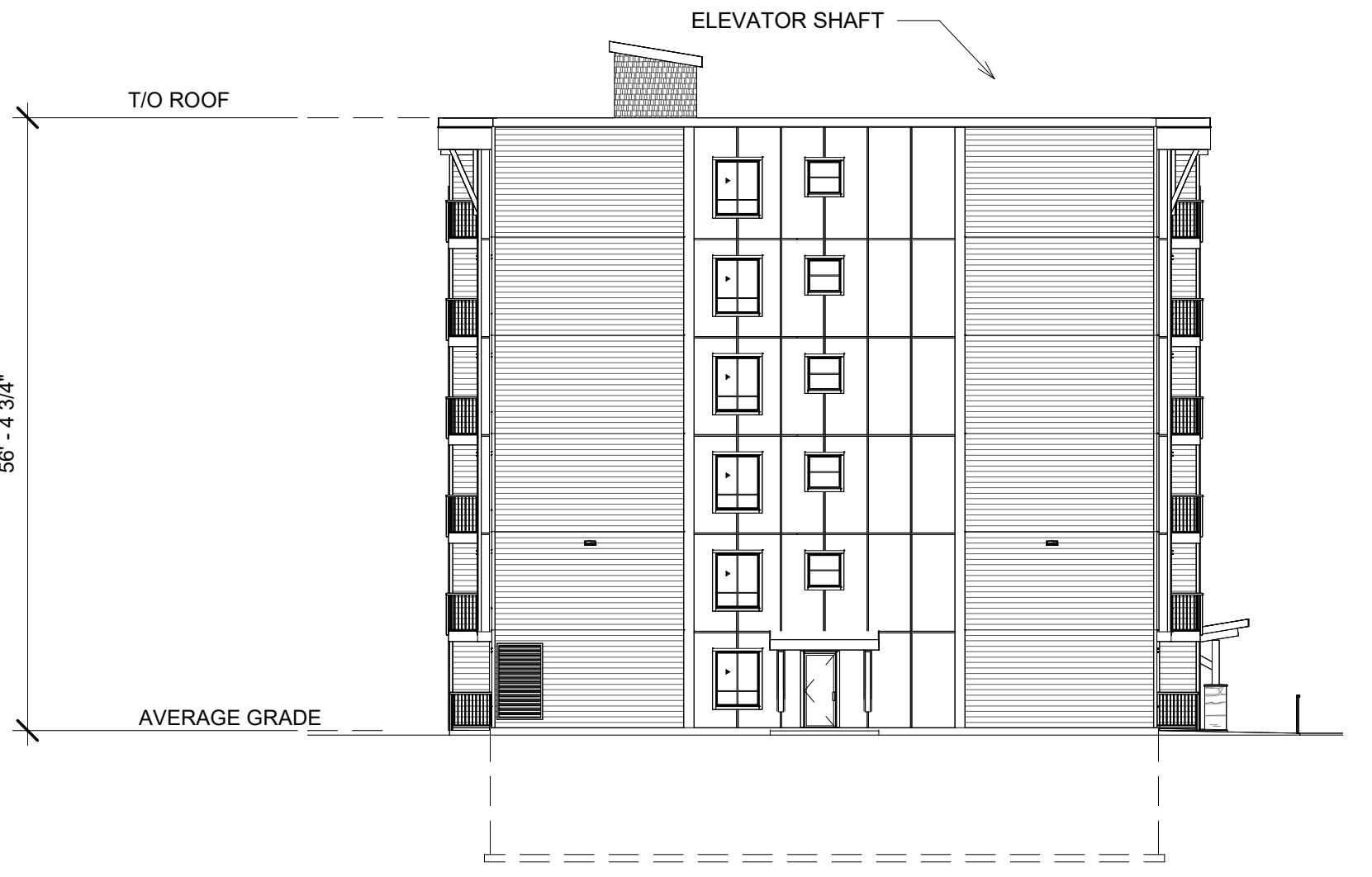
DRAWING #: **A3.06** REV #: **C**



**1** NORTH ELEVATION  
1 : 175



**2** EAST ELEVATION  
1 : 175



**3** SOUTH ELEVATION  
1 : 175



**4** WEST ELEVATION  
1 : 175

SITE MAP:

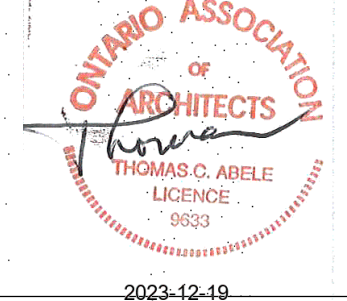


PROJECT STATUS:  
ISSUED FOR SITE CONTROL PLAN

Revision Schedule

No.	Description	Revision Date
A	ISSUED FOR SCP	05/24/2023
B	RE-ISSUED FOR SCP	09/15/2023
C	RE-ISSUED FOR SCP	12/18/2023

SEAL: **ABELEARCHITECTURE**  
THOMAS C. ABELE, ARCHITECT O.A.A. T. 604.682-6818



TRADE CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO SEYMOUR PACIFIC DEVELOPMENTS LTD., WITHOUT DELAY. FOR CLARIFICATION AND/OR CONFIRMATION, DO NOT SCALE DRAWINGS. DESIGNS REPRESENTED AND DRAWINGS USED AS INSTRUMENTS OF SERVICE SHALL REMAIN THE COPYRIGHT AND PROPERTY OF SEYMOUR PACIFIC DEVELOPMENTS LTD. ANY REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. IS PROHIBITED.

CONTRACTORS SHALL REMAIN FAMILIAR WITH, SHALL REFER TO, AND SHALL PERFORM IN ACCORDANCE WITH LOCAL LAWS, REGULATIONS AND BUILDING CODES. CONTRACTORS SHALL MAINTAIN GOOD INDUSTRY BUILDING AND SAFETY PRACTICES CONSISTENT WITH THE CONTRACT INTENT AND THE REQUIREMENTS OF JURISDICTIONAL AUTHORITIES.

ADDITIONAL CLAIMS AND COSTS RELATED TO NON-MATERIAL CHANGES WILL NOT BE ACCEPTED BY SEYMOUR PACIFIC DEVELOPMENTS LTD. NON-MATERIAL CHANGES ARE DEEMED TO BE PLAN CHANGES OR SPECIFICATION ADJUSTMENTS THAT DO NOT SUBSTANTIALLY AFFECT THE VALUE, TIME, COST AND QUALITY OF CONSTRUCTION.

CONTRACTORS SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN SCHEDULE TARGETS AND PROVIDE GOOD EFFICIENCY, PROGRESS, WORKMANSHIP AND QUALITY TOWARD DEFICIENCY-FREE RESULTS.

PROJECT NAME:  
TRINITY APARTMENTS

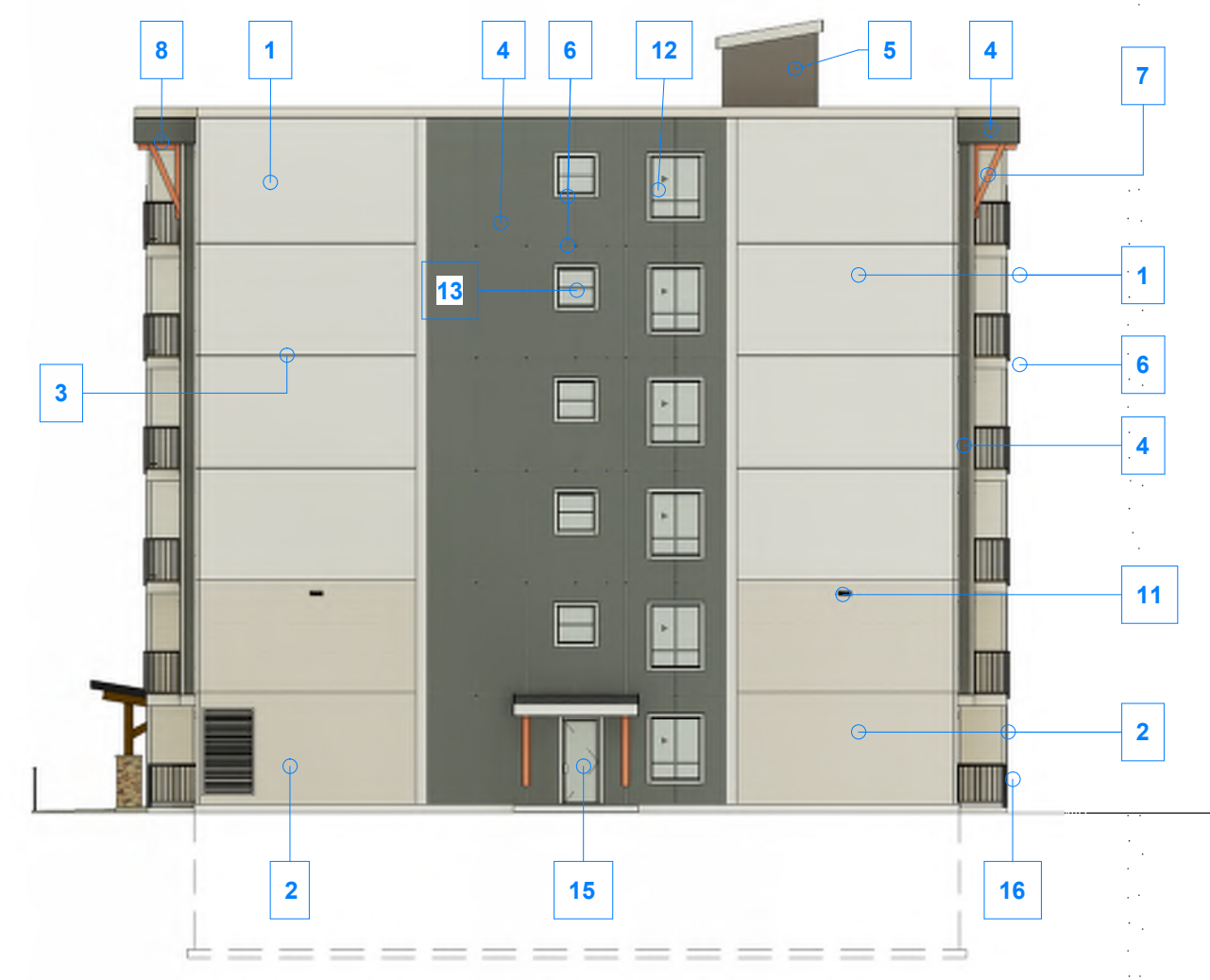
PROJECT NUMBER:  
VP 2213

ADDRESS:  
4200 INNES ROAD  
OTTAWA, ONTARIO

DRAWING TITLE:  
BUILDING D - COLOUR ELEVATION

DRAWN BY: EC  
CHECKED BY: CG  
DATE: DEC 18, 2023  
SCALE: As indicated

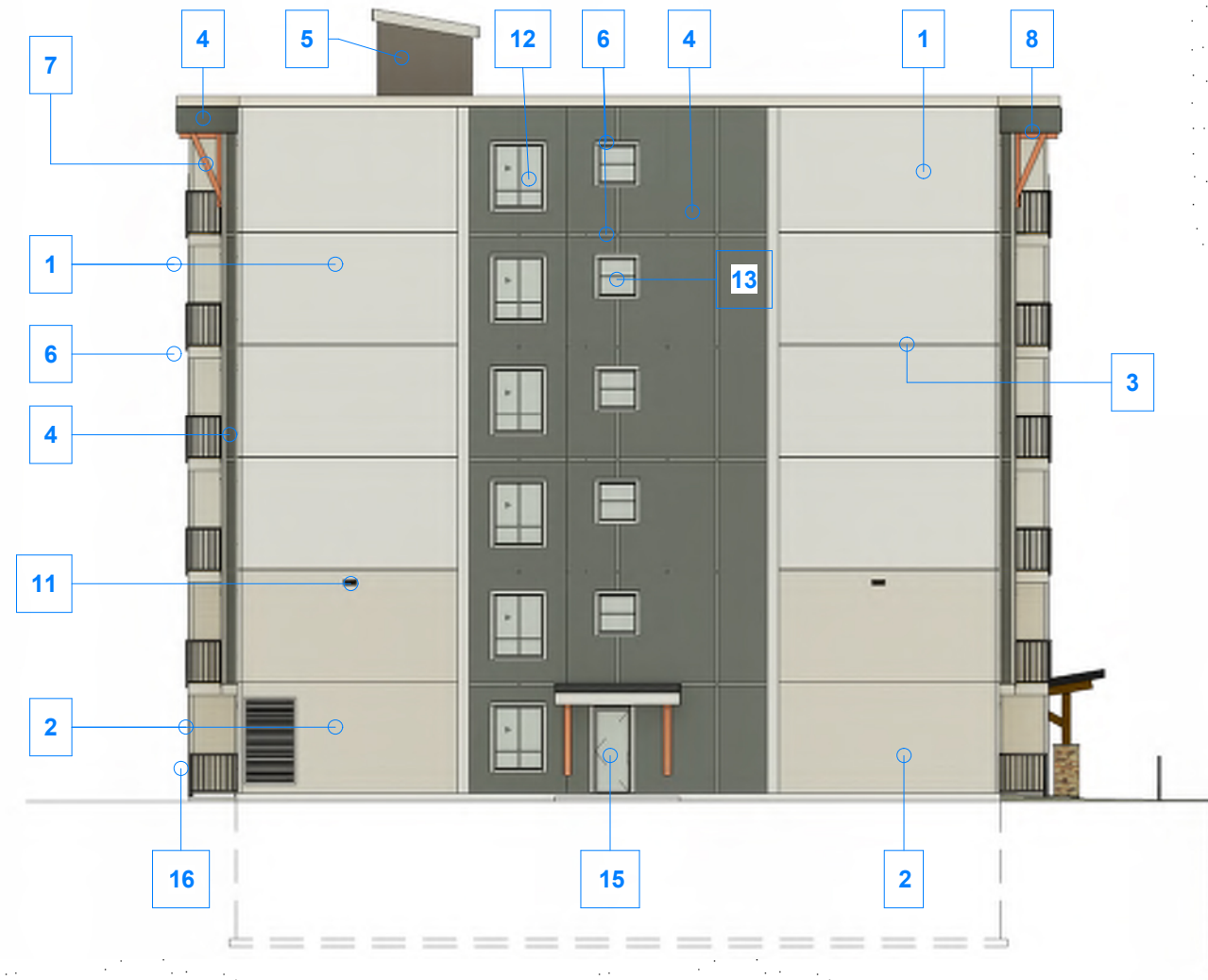
DRAWING #: **A3.07** REV #: **C**



**1** COLOUR NORTH ELEVATION  
1 : 175



**2** COLOUR EAST ELEVATION  
1 : 175



**3** COLOUR SOUTH ELEVATION  
1 : 175



**4** COLOUR WEST ELEVATION  
1 : 175

	<b>1</b> PLANK - CEDARMILL (ARCTIC WHITE)		<b>7</b> CEDAR ACCENTS - STAIN TBC		<b>13</b> WINDOW - AWNING - WHITE
	<b>2</b> PLANK - CEDARMILL (COBBLESTONE)		<b>8</b> 3 PANEL CLASSIC SOFFIT - WHITE		<b>14</b> PATIO DOOR - SLIDER - WHITE
	<b>3</b> FLASHING		<b>9</b> EASY TRIM / BUILDING NUMBERING - STANDARD CLEAR ANODIZED		<b>15</b> ENTRY DOOR - SWING - ALUMINUM
	<b>4</b> PANEL - SMOOTH (RICH ESPRESSO)		<b>10</b> CULTURED STONE - TBC		<b>16</b> ALUMINUM RAILING - WELDED SYSTEM - BLACK
	<b>5</b> STRAIGHT EDGE SHAKE (DEEP OCEAN)		<b>11</b> LED WALL SCONCE		
	<b>6</b> HARDIE TRIM - SMOOTH (ARCTIC WHITE)		<b>12</b> WINDOW - SLIDER - WHITE		