

ESTIMATED CANOPY COVERAGE - PROPOSED AND EXISTING

Table with 4 columns: SIZE OF PROPOSED TREE, AVERAGE MATURE SPREAD, CANOPY COVERAGE PER TREE AT MATURITY (m2), QUANTITY OF TREES, TOTAL CANOPY COVERAGE (m2). Rows include Deciduous - Small (<7.5m tall), Deciduous - Medium (7.5-14m tall), Deciduous - Large (14m+ tall), and Coniferous.

TOTAL PROPOSED CANOPY COVERAGE (m2): 11781

TOTAL AREA OF PRIVATE PROPERTY SITE (m2): 51,787

EST. PROPOSED CANOPY COVERAGE (%): 23%

Table with 4 columns: SIZE OF EXISTING TREE, AVERAGE MATURE SPREAD, CANOPY COVERAGE PER TREE AT MATURITY (m2), QUANTITY OF TREES, TOTAL CANOPY COVERAGE (m2). Rows include Deciduous trees to remain, Existing vegetation retained, and Conifers to remain.

TOTAL EXISTING CANOPY COVERAGE RETAINED (m2): 10609

TOTAL AREA OF PRIVATE PROPERTY SITE (m2): 51,787

EST. EXISTING CANOPY COVERAGE (%): 20%

EST. TOTAL CANOPY COVERAGE (%): 43%

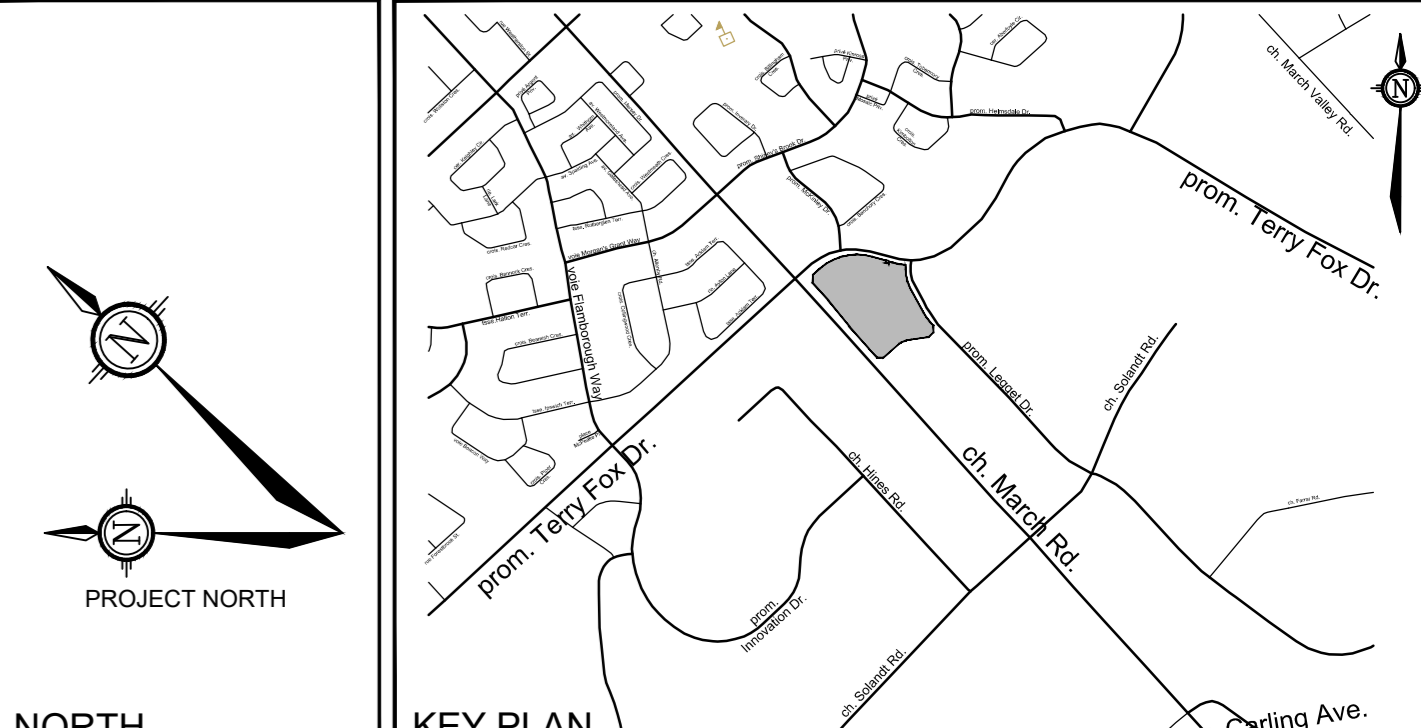
- 1. Area of a circle = (π r^2) x π
2. Canopy coverage per tree calculation: (average mature spread/2) x (average mature spread/2) x π
3. Note that calculations do not include trees proposed in the R.O.W.

\* Canopy cover of existing vegetation beyond construction limit is based on aerial photograph of site and inventory completed by CSW in year 2022. We have not added an at maturity factor to this canopy cover area.

SOIL CALCULATIONS

Table with 7 columns: Planting bed no., Available Soil Area (sq m), Available Soil Volume (cu m), No. of trees proposed (Small, Medium, Large, Evergreen), Existing trees, Total No. of trees, Min. required Soil volume total (cu m).

Note: For all planting beds proposed, the available soil depth is considered to be 1m.



LEGEND: 3-D1 DETAIL SHEET # NOVATECH OR CITY... PROPERTY LIMIT, EXISTING PAVERS, EXISTING CONCRETE SIDEWALK, PROPOSED CONCRETE SIDEWALK, PROPOSED SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES, PROPOSED DECIDUOUS TREE, PROPOSED CONIFEROUS TREE, EXISTING TREE TO REMAIN, SPECIES (SEE PLANT LIST), QUANTITY, TREE PROTECTION FENCE, SALT FENCE, EXISTING VEGETATION BEYOND THE LIMIT OF CONSTRUCTION TO REMAIN.

GENERAL

- 1. Read and interpret this drawing drawing set in conjunction with all the contract details and specifications, including related civil, utility, structural, architectural, mechanical, electrical, environmental, geotechnical, and survey information.
2. The Contractor is to determine the exact location, size, material, and elevation of all existing utilities prior to commencing construction.
3. It is essential to use the plans and details in conjunction with the specifications and notes.
4. Do not scale drawings. Work to dimensions only.
5. Protect all existing and retained vegetation for the duration of construction according to the contract details and specifications.
6. Reinstatement of areas and items damaged or disturbed, beyond the limit of work, because of construction activities, including but not limited to construction staging areas, haul roads, stockpile areas, etc. to the satisfaction of the Consultant.
7. The Contractor is to restore all areas to pre-construction condition or better to the satisfaction of the Contract Administrator.

PLANTING

- 1. Plant material to be No. 1 Grade and is to comply with Canadian Standards for Nursery Stock (latest edition) published by the Canadian Nursery Landscape Association.
2. Use structurally sound plant material with strong fibrous root system free of disease, defects, and injuries.
3. It is essential to use the plans and details in conjunction with the specifications and notes.
4. Plant material substitutions are not be permitted without the written approval from the Consultant, with 48 hours notice prior to shipping plant material.
5. Plant locations are schematic approximate only. Contractor is to stake out locations on site for approval by the Landscape Architect prior to installation.
6. Ensure trees are thoroughly watered following planting. Monitor material and ensure adequate moisture until acceptance.
7. In heavy clay or poorly drained soils, set root ball with root collar 75-100mm higher than finished grade.
8. Approved topsoil depths are as follows:
a. Plant Beds - 400mm continuous depth. Applies to shrubs, perennials, vines, and groundcovers.
b. Sod Seed Areas - 100mm depth.
c. Retention Area - 300mm depth.
9. Sod to be No. 1 Kentucky Bluegrass Sod grown from minimum mixture of 3 Kentucky Bluegrass cultivars.
10. Apply the following mineral fertilizer unless soil tests show other requirements:
a. Plant Beds - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash per manufacturer specifications.
b. Sod Areas - (8-32-16), i.e. 8% Nitrogen, 32% Phosphorus, 16% Potash at a rate of 350g/ha.
11. Where applicable, for any plant areas with a mix of species/cultivar notes, Contractor is to cluster the plants in groups of 3-5 and evenly distribute these in the noted area.

CITY DETAILS

- Related details from City of Ottawa Standard Tender Documents Volume No. 2 Standard Detail Drawings.
SC4. Typical Concrete Sidewalk in Boulevard Section.
NOVATECH DETAILS: Found on Sheet L2.
D1. Standard Deciduous Tree Planting
D2. Standard Coniferous Tree Planting
D3. Shrub and Perennial Tree Planting
D4. Tree Protection Fence
D5. Shrub Naturalization

SEED MIX AND APPLICATION

- For areas steeper than 3:1, Contractor to apply erosion control blanket. Erosion control blankets to be machine woven mats made from natural wood, coco or cotton fiber, or combination depending on manufacturer, with stitching between two photo-degradable natural organic fiber nettings.
NURSE CROP: Annual Ryegrass Seeding Rate: 15kg/hectare
SEED MIX A (FOR PARKING ISLANDS AND REINSTATEMENT AREA): CAMPUS GREEN MIX by DLF Picked Seeding Rate: 25kg/hectare
SEED MIX B (FOR SWIM FACILITY): RETENTION AREA MIX by DLF Picked Seeding Rate: 25kg/hectare

SUMMARY OF TREES

- 1. There are a total of 134 existing trees to remain as indicated on 121334-1 (CR) plan.
2. There are a total of 160 existing trees to be removed as indicated on 121334-1 (CR) plan.
3. There are a total of 124 trees proposed, 88 trees in the property limit and 36 trees in the ROW along March Road as indicated on the Landscape plan 121334-L1.
4. With 712 parking spaces proposed, a 5:1 ratio of parking to trees would yield a recommendation of 142 trees.

PLANT LIST

Table with 7 columns: KEY, QTY, BOTANICAL NAME, COMMON NAME, SIZE, COND, SPACING. Lists various tree and shrub species like Picea glauca, Acer rubrum, and Quercus macrocarpa.

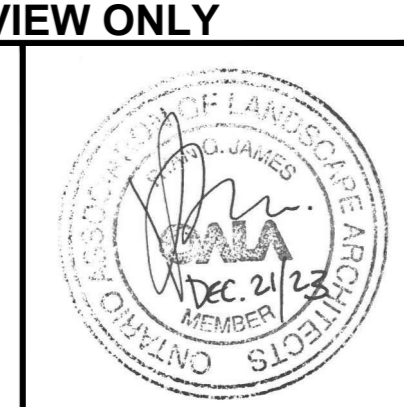
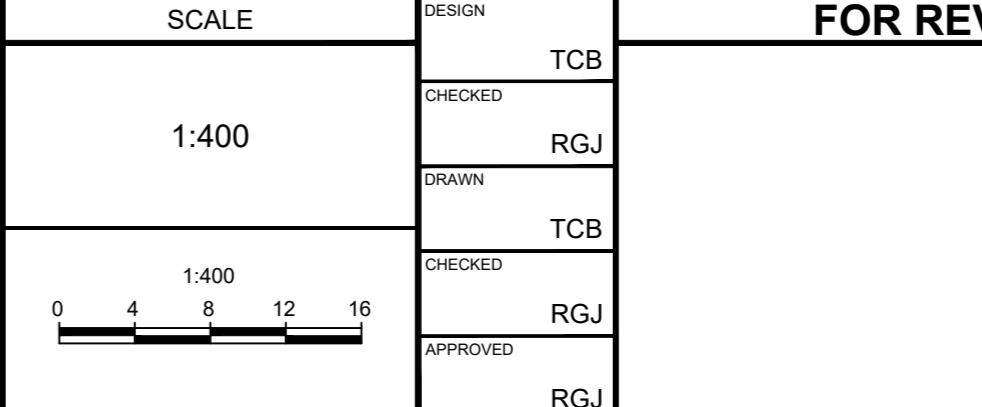
NOTE: THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

OWNER INFORMATION: COLLIERS, 191 BAY STREET, TORONTO, ONTARIO, M5J 2V1. AARON CLOOD, PHONE: (647) 798-9534, EMAIL: Aaron.Clood@colliers.com

NOT FOR CONSTRUCTION

This drawing has been prepared in conjunction with CSW Landscape Architects Limited and is based on the Tree Information Report (TIR) completed by CSW dated 27th October 2022. Information regarding tree removal and tree protection measures has been prepared by Novatech.

Revision table with columns: No., REVISION, DATE, BY. Includes entries for address insertion, revised per city comments, and issued for city review.



LOCATION: CITY OF OTTAWA, 600 MARCH ROAD - NOKIA PARKING LOT EXPANSION. DRAWING NAME: LANDSCAPE PLAN. PROJECT NO.: 121334-00. REV: REV 4. DRAWING NO.: 121334-L1.