

Site Plan Developed Based On Site Survey By Farley, Smith & Denst Surveying LTD.: Site Area: 7235.9m² LOTS 1 AND 2 (West Friel Street), PART OF LOT 19 (North Rideau Street), PART OF LOTS 1, 2, 3 AND 4 (East Friel Street), PART OF LOTS 1, 2 AND 3 (West Chapel Street) PART OF FRIEL STREET (As Closed By By-Law 203-72, Inst. CR616467) REGISTERED PLAN 43586 CITY OF OTTAWA

Architect Diamond Schmitt Architects 384 Adelaide Street West, Suite 100 Toronto, ON M5V 1R7 T: (416)-862-8800

Planner WSP 2611 Queensview Drive #300 Ottawa, ON K2B 8K2 T: (613)-829-2800

Electrical Smith + Andersen 1600 Carling Avenue #530 Ottawa, ON K1Z 1G3 T: (613)-230-1186

Mechanical Smith + Andersen 1600 Carling Avenue #530 Ottawa, ON K1Z 1G3 T: (613)-230-1186

Hardware LT Consulting 26 Soho Street #350 Toronto, ON M5T 1Z7 T: (416)-314-2328

APPROVED By Andrew McCreight at 4:18 pm, Dec 21, 2023

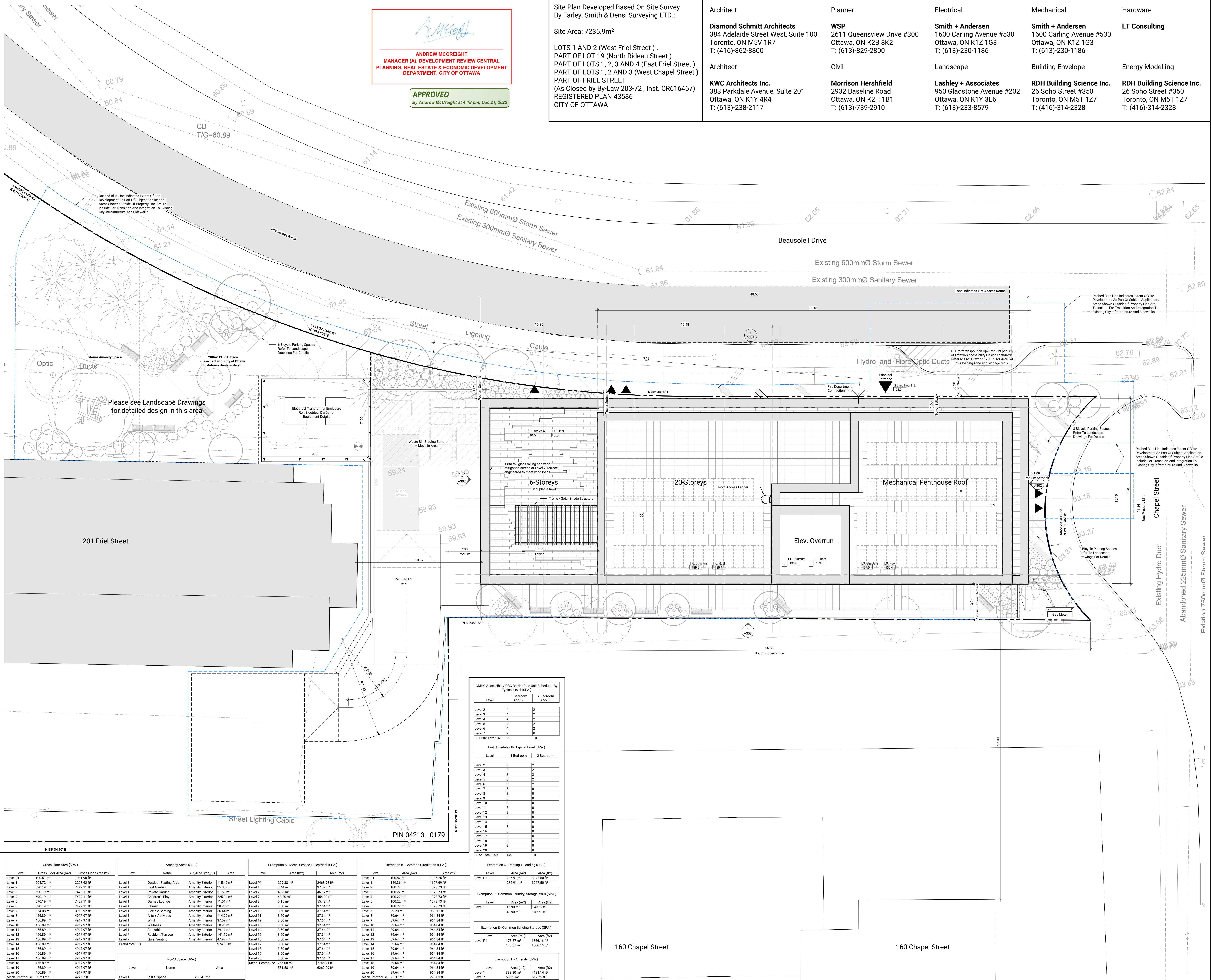
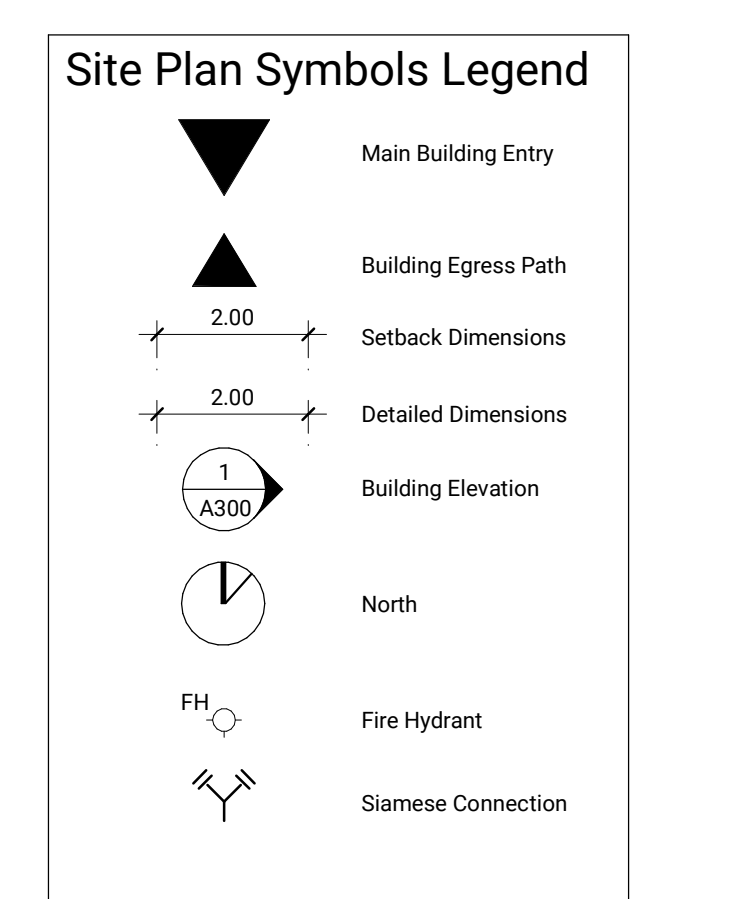


Table with 3 columns: No., Date, Description. Lists revision history from 1 to 6.



NOT FOR CONSTRUCTION

Table: CMHC Accessible / CBC Barrier Free Unit Schedule - By Typical Level (SPA). Columns: Level, 1 Bedroom Acc/BF, 2 Bedroom Acc/BF.

Table: Unit Schedule - By Typical Level (SPA). Columns: Level, 1 Bedroom, 2 Bedroom.

Table: Gross Floor Area (SPA). Columns: Level, Gross Floor Area (m2), Gross Floor Area (ft2).

Table: Amenity Areas (SPA). Columns: Level, Name, A/R, Area Type, KS, Area.

Table: Exemption A - Mech. Service + Electrical (SPA). Columns: Level, Area (m2), Area (ft2).

Table: Exemption B - Common Circulation (SPA). Columns: Level, Area (m2), Area (ft2).

Table: Exemption C - Parking + Loading (SPA). Columns: Level, Area (m2), Area (ft2).

Table: POPPS Space (SPA). Columns: Level, Name, Area.

Table: Exemption D - Common Laundry, Storage, WCs (SPA). Columns: Level, Area (m2), Area (ft2).

Table: Exemption E - Common Building Storage (SPA). Columns: Level, Area (m2), Area (ft2).

Table: Exemption F - Amenity (SPA). Columns: Level, Area (m2), Area (ft2).

Contractor Must Check & Verify all Dimensions on the Job. Do Not Scale Drawings. All Drawings, Specifications and Related Documents are the Copyright Property of the Architect and Must be Returned Upon Request. Reproduction or Forwarding, Distribution or Release of any part of these Documents is Prohibited Without the Written Permission of the Architect.

OCH Friel Street / Chapel 200-201 Friel Street (200 Beausoleil), Ottawa, ON K1Z 1G3