



CARRUTHERS AVENUE DEVELOPMENT

266-268 CARRUTHERS AVENUE, OTTAWA, ON

ISSUED FOR SPC RESPONSE

2023-12-20 4:08:05 PM

ARCHITECTURAL DRAWINGS



S.J. LAWRENCE ARCHITECT INC.
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MECHANICAL /
ELECTRICAL DRAWINGS



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CONSULTING ENGINEERS
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PLANNER / LANDSCAPER

JAMES B. LENNOX & ASSOCIATES INC.
LANDSCAPE ARCHITECTS

JAMES LENNOX ASSOCIATES INC
3332 CARLING AVE.
OTTAWA, ONTARIO, K2H 5A8
(P) (613) 722-5168
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LEGEND

	NEW OVERHEAD DOOR		BICYCLE PARKING SPACE (1.8Mx0.6M)		NEW SIGN, REFER TO SIGN LEGEND		TWO WAY TRAFFIC		NEW CONSTRUCTION
	NEW DOOR / ENTRANCE		NO PARKING LINES		STREET LIGHT		DEPRESSED CURB (DC)		EXISTING BUILDINGS
	PROPOSED RIVERSTONE MULCH		PROPOSED PRECAST CONCRETE PAVERS		HYDRO POST		PROPERTY LINE		BUILDING MOUNTED LIGHTS REFER TO ELECTRICAL DWGS
	EXISTING VEGETATION REFER TO LANDSCAPE DWGS		PROPOSED SOD - REFER TO LANDSCAPE DWGS		DESIGNATED ACCESSIBLE PARKING SPACE AS PER AODA STANDARDS		EXISTING FENCE		*REFER TO LANDSCAPE DWGS
	PARKING STALL COUNT PER ROW		NEW SAWCUT CONCRETE SIDEWALK		V VISITOR PARKING		MINIMUM SETBACKS (ZONING)		



CITY OF OTTAWA ZONING BY-LAW

ZONING MECHANISM	RAUB PROVISION (PUD)	PROPOSED	COMPLIANCE
MINIMUM LOT WIDTH	N/A	20.12m	
MINIMUM LOT AREA	1,400m ²	1,859m ²	
MAXIMUM BUILDING HEIGHT	11m	11m	X
MINIMUM FRONT YARD SETBACK (SEC. 144)	3.91m (MEASURED FOR 276 CARRUTHERS)	3.75m	X
MINIMUM CORNER SIDE YARD SETBACK	1.5m	>1.5m	
MINIMUM REAR YARD SETBACK SECTION 144 (5)	1.2m	19.6m	
MINIMUM INTERIOR SIDE YARD SETBACK	FOR THE FIRST 18M BACK FROM THE STREET: 1.5m FOR THE REMAINDER: 25% OF THE LOT DEPTH TO A MAXIMUM OF 7.5m	NORTH: 1.5m FOR FULL LENGTH OF BUILDING SOUTH: 1.5m	
INTERIOR YARD AREA SECTION 144 (6)	A MINIMUM INTERIOR YARD IS REQUIRED THAT ABUTS THE REAR YARD AND INTERIOR SIDE YARD BY EXTENDING A PARALLEL LINE FROM THE MINIMUM REQUIRED REAR YARD SETBACK (1.2 M) AFFECTING THE ABUTTING LOT, ACROSS THE LONGEST SHARED COMMON LINE INTO THE AFFECTED SITE FOR A DISTANCE EQUAL TO 30% OF THE AFFECTED LOT'S ACTUAL WIDTH.	NO INTERIOR YARD AREA IS PROPOSED. HOWEVER, A REAR YARD OF 275m ² IS PROPOSED.	X
MAXIMUM NUMBER OF UNITS FOR A LOW-RISE APARTMENT IN RAUB	12 UNITS	18 UNITS	X
LOW-RISE APARTMENT DWELLINGS IN RAUB ZONE	NO MOTOR VEHICLE PARKING IS PERMITTED ON A LOT LESS THAN 450m ²	N/A	N/A
	IN THE CASE OF A LOT OF 450m ² OR GREATER: A) AT LEAST 25% OF DWELLING UNITS MUST HAVE AT LEAST 2 BEDROOMS	28%	
PRINCIPAL ENTRANCE	1 ENTRANCE	1 PRINCIPAL ENTRANCE BICYCLE STORAGE ENTRANCE, 1 BARRIER-FREE ENTRANCE	
FRONT FACADE	25% WINDOWS	33.6% WINDOWS	
FRONT YARD FIXTURES	THE FRONT YARD MUST BE EQUIPPED WITH SOLID, PERMANENT FIXTURES TO PREVENT MOTOR VEHICLE PARKING.	TREES ARE PROVIDED WITHIN THE FRONT YARD TO PREVENT VEHICLE PARKING.	
BALCONY	1 BALCONY OR PORCH FOR EVERY UNIT THAT FACES A PUBLIC STREET AT OR ABOVE THE FIRST STOREY, AND TOTAL BALCONY AREA OF 2m ² MINIMUM	1 BALCONY FOR EACH UNIT FACING THE STREET ON THE SECOND AND THIRD STOREYS ALL BALCONIES > 2m ² AREA: UNIT 12 & 17: 5.3m ² UNIT 15 & 18: 6.6m ²	
LANDSCAPED AREA (TOTAL LOT AREA) (SECTION 161)	30%	38.4% (714.15m ²)	
LANDSCAPED AREA, REAR YARD (SECTION 161)	A) ANY PART OF THE REAR YARD NOT OCCUPIED MUST BE SOFTLY LANDSCAPED B) THE MINIMUM AREA OF SOFT LANDSCAPING PER (A) MUST BE AT LEAST 90 SQUARE METERS	REAR YARD IS PROPOSED TO BE SOFTLY LANDSCAPED REAR YARD = 280m ² AND PROPOSED TO BE SOFTLY LANDSCAPED	
LANDSCAPED AREA, FRONT YARD (SECTION 161)	40% = 30m ²	78% = 58.8m ² (EXCLUDING WALKWAY)	
MINIMUM WIDTH OF A PRIVATE WAY	6m	5.3m	X
MINIMUM SETBACK FOR ANY WALL OF RESIDENTIAL USE BUILDING TO A PRIVATE WAY (SECTION 131)	1.8m	1.87m	
MINIMUM SEPARATION DISTANCE BETWEEN BUILDINGS (SECTION 131)	WHERE THE HEIGHT OF ABUTTING BUILDINGS WITHIN THE PUD IS EQUAL TO OR LESS THAN 14.5m: 1.2m	3.0m	
AMENITY AREA (SECTION 137)	RAUB ZONE NOT REQUIRED TO HAVE AMENITY SPACE	PRIVATE: 32.2m ² COMMUNAL: ROOF TOP 121m ² & SHARED REAR YARD AMENITY 275m ²	

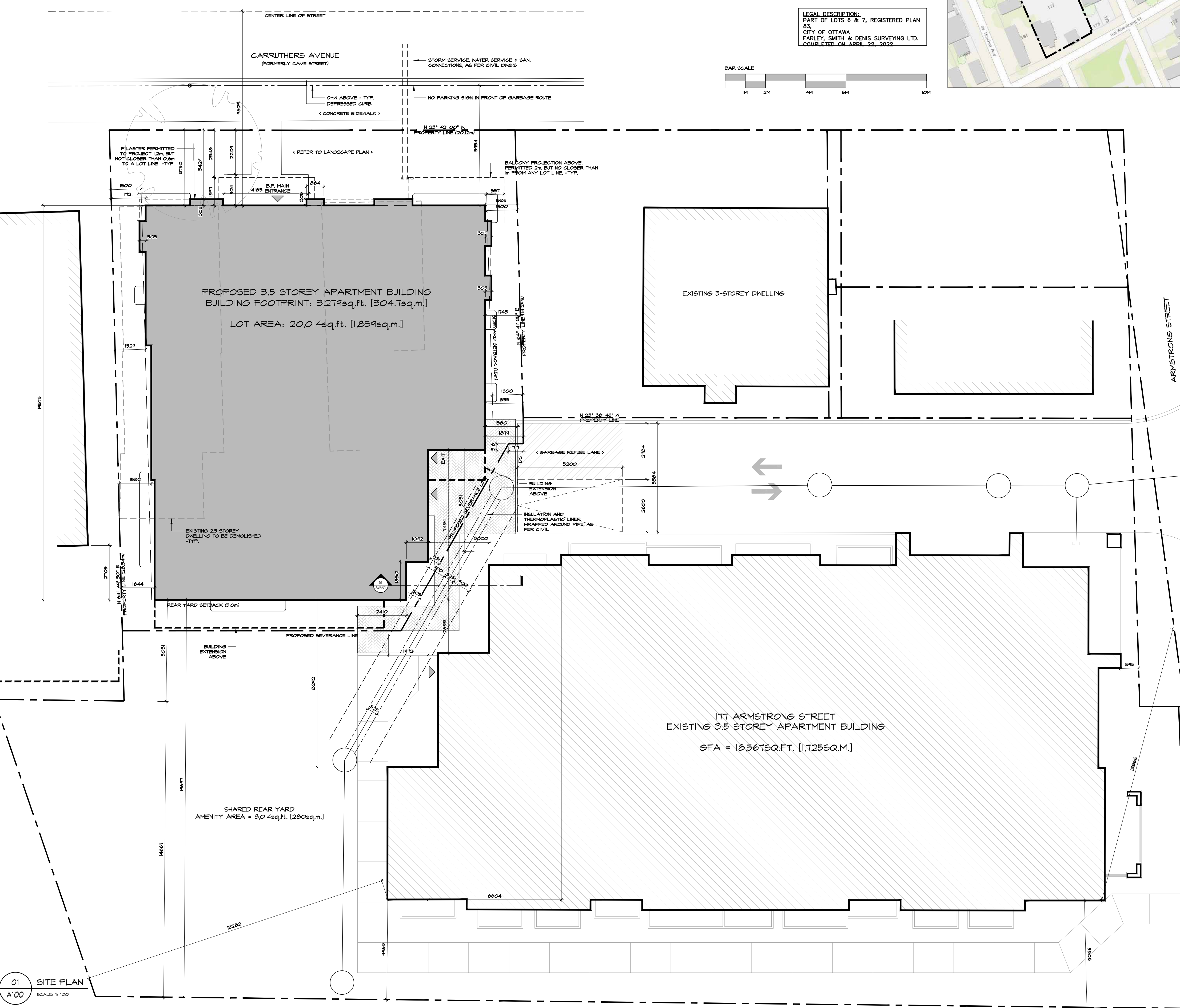
CLIENT NAME: THE BERG HOMES

NOTES:

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- DO NOT SCALE DRAWINGS.
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BUILDING FLOOR STATISTICS

	SUITES	2 BED	1 BED	STUDIO
LOWER LEVEL	4	1	3	N/A
GROUND FLOOR	4	N/A	4	N/A
SECOND FLOOR	5	2	3	N/A
THIRD FLOOR	5	2	3	N/A
	18	5	13	0
		28%	72%	0%



URBAN EXCEPTION 2701

REQUIREMENTS	PROPOSED	COMPLIANCE
MAXIMUM NUMBER OF DWELLING UNITS	33	NO CHANGE
RESIDENTIAL PARKING	NOT REQUIRED	NO CHANGE
MINIMUM PARKING SPACE WIDTH	2.4m	NO CHANGE
MINIMUM PARKING SPACE DEPTH	4.6m	NO CHANGE
MINIMUM ROOFTOP ACCESS SETBACK FROM THE FRONT WALL FOR A MAXIMUM OF 6.5m	0m	NO CHANGE
MINIMUM ROOFTOP ACCESS AREA	46.3m ²	NO CHANGE
PRINCIPAL ENTRANCE	ONLY ONE PRINCIPAL ENTRANCE IS REQUIRED	NO CHANGE
MAXIMUM LOT AREA	1,430m ²	EXCEPTION TO BE REMOVED

URBAN EXCEPTION 2702

REQUIREMENTS	PROPOSED	COMPLIANCE
MINIMUM LOT AREA	143.7m ²	EXCEPTION TO BE REMOVED
PARKING REQUIREMENTS (SECTION 101, 102, 111)	REQUIREMENTS	COMPLIANCE
MINIMUM PARKING RATES (AREA X OF SCHEDULE 1A (SECTION 101, 102))	DWELLING, LOW-RISE: 0.5 SPACES/UNIT (AFTER THE FIRST 12 UNITS) = 3 SPACES VISITOR: 0.1 SPACES/UNIT (AFTER THE FIRST 12 UNITS AND UP TO A MAXIMUM OF 30 SPACES PER BUILDING) = 1 SPACE TOTAL: 4 SPACES	1 SPACES X
MINIMUM PARKING RATES NEAR RAPID TRANSIT (SECTION 103)	AREA B SCHEDULE 1: 1.75 SPACES/UNIT (TOTAL RESIDENT + VISITOR)	1 SPACES
PARKING SPACE PROVISIONS (SECTION 106)	MAXIMUM: 2.6m x 5.2m MINIMUM: 3.1m x 5.2m PARALLEL PARKING LENGTH: 6.7m	2.6m x 5.2m EXISTING ZONING EXCEPTION TO BE CARRIED FORWARD FOR EXISTING PARKING SPACES
AISELS AND DRIVEWAYS (SECTION 107)	DRIVEWAYS: MINIMUM WIDTH: 2.6m	DRIVEWAYS: 5.3m
PARKING NOT LOCATED IN A PARKING LOT OR PARKING GARAGE 71-90 DEGREE ANGLE OF PARKING	AISELS: MINIMUM WIDTH: 6.7m	
BICYCLE PARKING SPACES (SECTION 111)	0.5 SPACES / DWELLING UNIT = 9 SPACES	18 SPACES
BICYCLE PARKING SPACE PROVISIONS (SECTION 111)	HORIZONTAL: 0.6m x 1.8m (MINIMUM 50% OF SPACES) VERTICAL: 0.5m x 1.5m STACKED: 0.36m x 1.8m ACCESS AISLE: 1.5m	18 SPACES (0.6m x 1.8m) AISLE: 1.5m
BUILDING AREAS	CONSTRUCTION AREA (SQ.M)	CONSTRUCTION AREA (SQ.FT)
LOWER LEVEL	304.7 sq.m	3,279 sq.ft.
GROUND FLOOR LEVEL	304.7 sq.m	3,279 sq.ft.
SECOND FLOOR LEVEL	316.2 sq.m	3,403 sq.ft.
THIRD FLOOR LEVEL	316.2 sq.m	3,403 sq.ft.
TOTAL	1,233.2sq.m	13,274 sq.ft.

SEAL: ONTARIO ASSOCIATION OF ARCHITECTS
S.J. LAWRENCE ARCHITECT INCORPORATED
LISEE 4462

NORTH ARROW:

13 2023.12.20 ISSUED FOR SPC RESPONSE
12 2023.11.20 ISSUED FOR COORDINATION
11 2023.10.27 ISSUED FOR REVIEW
10 2023.09.26 ISSUED FOR REVIEW
09 2023.07.17 ISSUED FOR SPC RESPONSE
08 2023.03.24 REISSUED FOR ZONING & SPC
07 2023.02.24 ISSUED FOR COORDINATION
06 2023.02.13 ISSUED FOR REVIEW
05 2023.01.09 ISSUED FOR OPEN HOUSE
04 2022.11.07 ISSUED FOR RE-ZONING AND SPC
03 2022.11.04 ISSUED FOR COORDINATION
02 2022.08.15 ISSUED FOR COORDINATION
01 2022.07.27 ISSUED FOR REVIEW

No. DATE REVISION

01 SITE PLAN
A100 SCALE: 1:100

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SL LAWRENCE ARCHITECT INCORPORATED

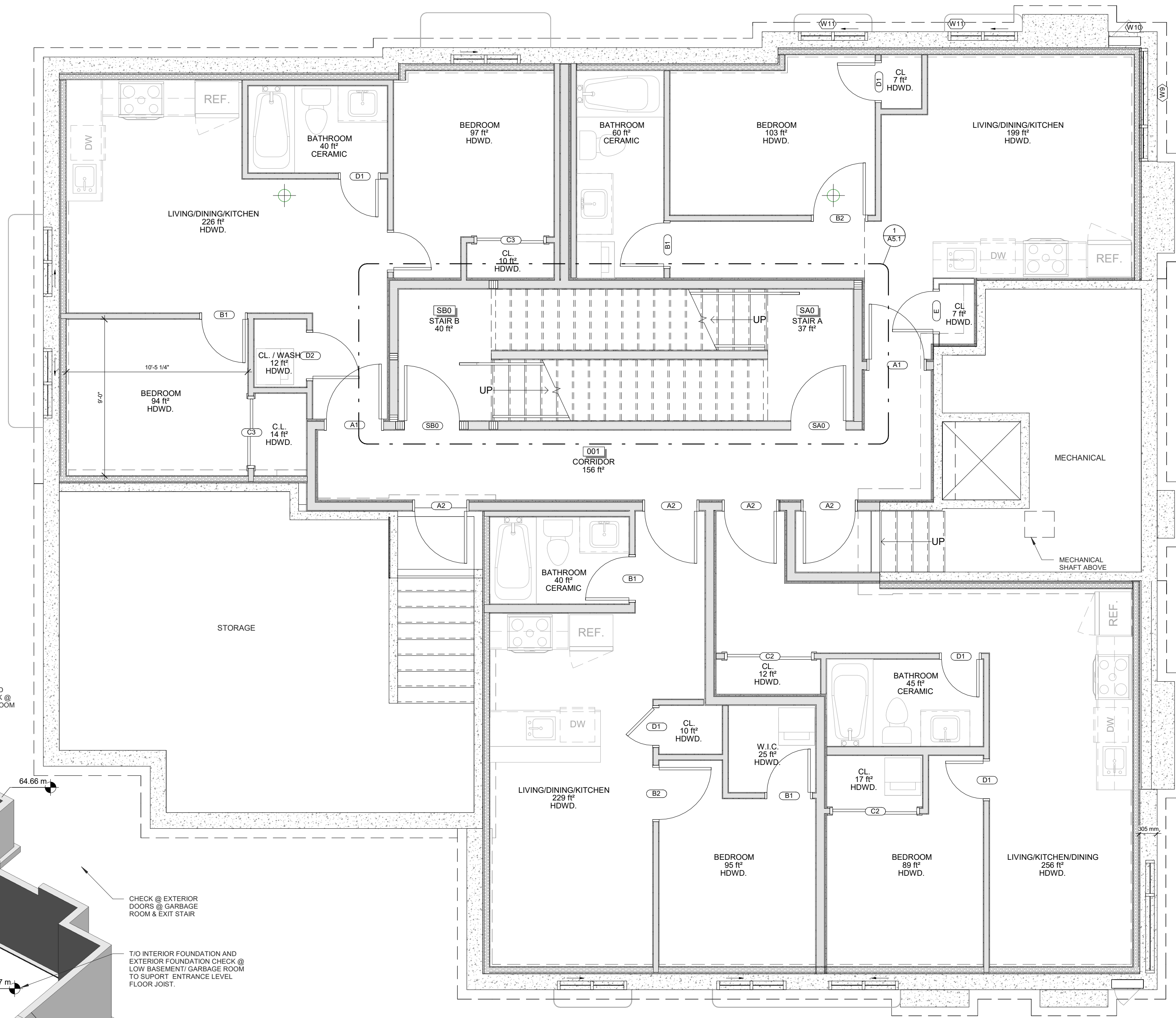
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PROJECT:
CARRUTHERS DEVELOPMENT
266 CARRUTHERS, OTTAWA, ON

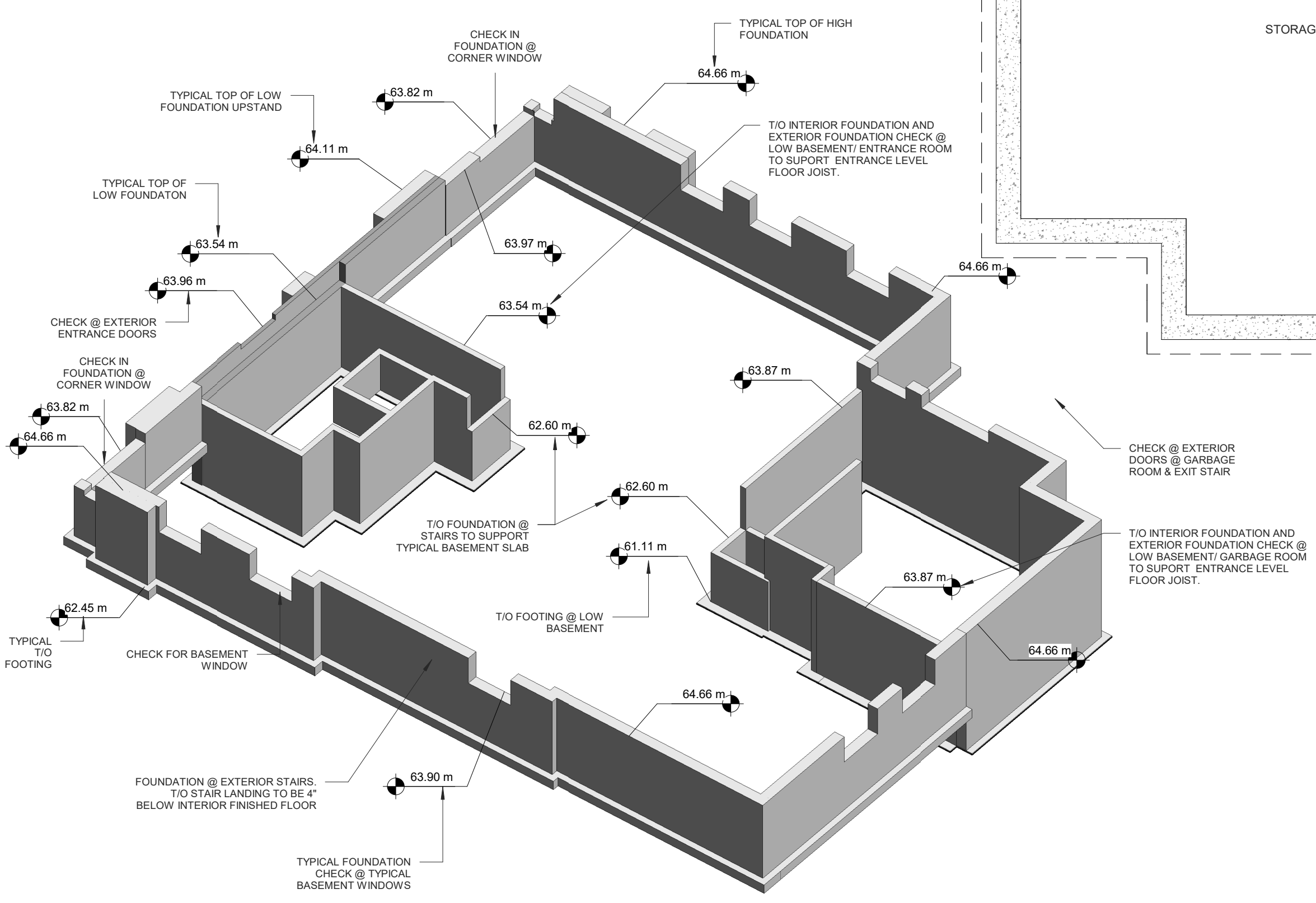
SHEET TITLE:
SITE PLAN

DRAWN BY: B.L. CHECKED BY: S.J.L.
PLOT DATE: 2023.12.20 PROJECT DATE: 2022.06.08
JOB NUMBER: SL-1077-22 SCALE: AS SHOWN
SHEET NUMBER: A1.0

NOTES:
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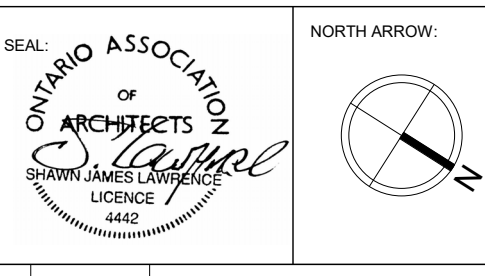


TYPICAL ELEVATION HEIGHTS:
 T.O HIGH FOUNDATION 64.66m
 T.O LOW FOUNDATION UPSTAND 64.11m
 T.O LOW FOUNDATION 63.54m



1
 A2.0 3D FOUNDATION SCALE

2
 A2.0 -T.O. Slab SCALE 1/4" = 1'-0"



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13	2023.12.20	ISSUED FOR SPC RESPONSE
12	2023.05.10	ISSUED FOR COORDINATION
11	2023.04.28	ISSUED FOR COORDINATION
10	2023.04.11	ISSUED FOR COORDINATION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

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 266-268 CARRUTHERS AVENUE, OTTAWA, ON

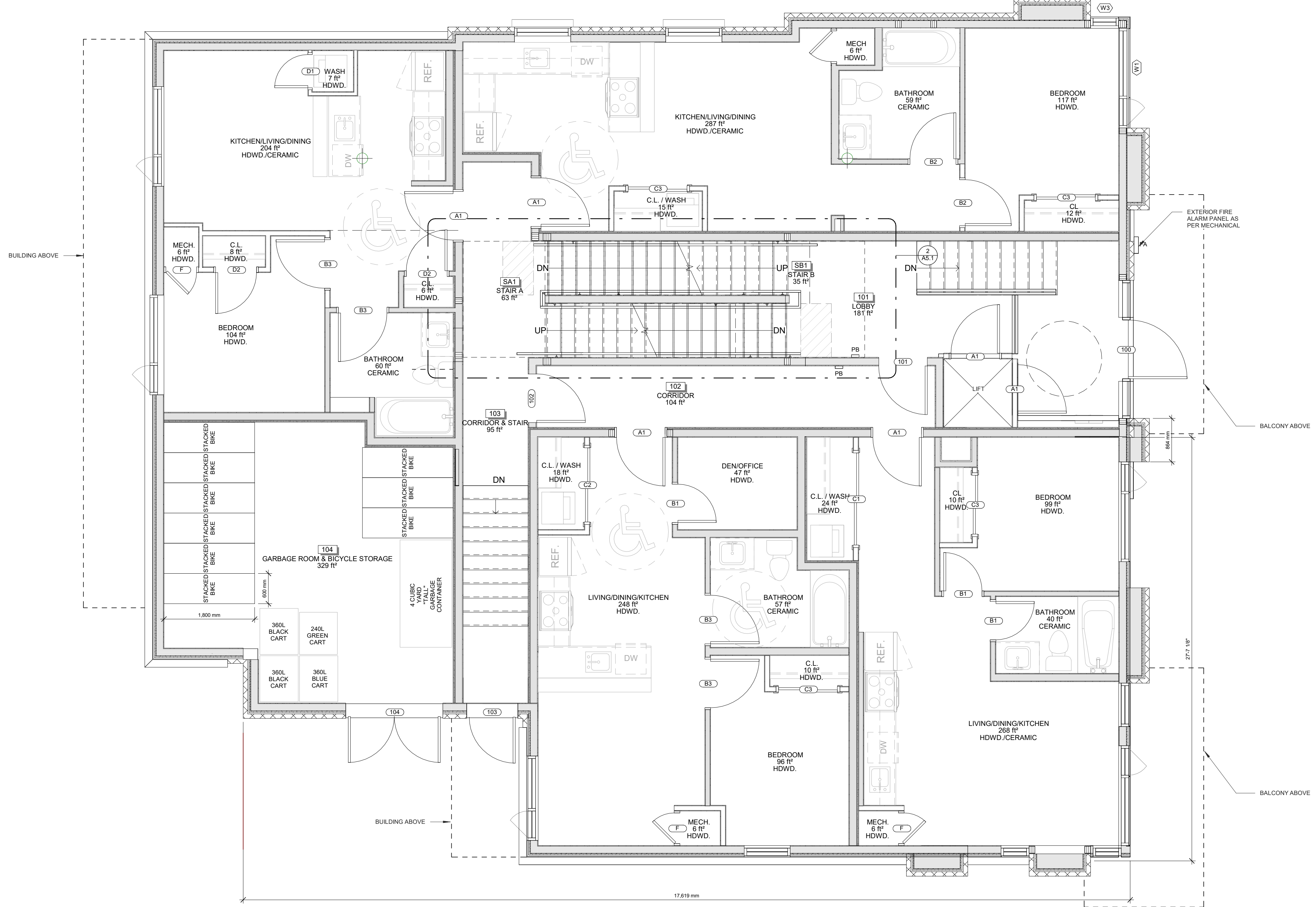
SHEET TITLE:
BASEMENT PLAN

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.

PLOT DATE:
 2023-12-20 4:08:14 PM

JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"

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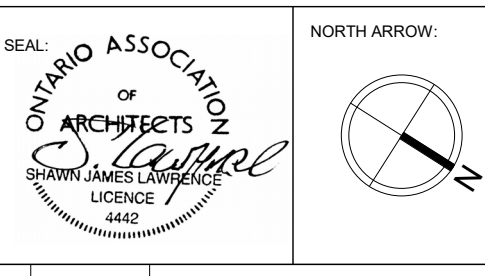


A4.0 2

A4.0 1

A4.2

A4.1



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07	2023.01.19	ISSUED FOR OPEN HOUSE
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03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
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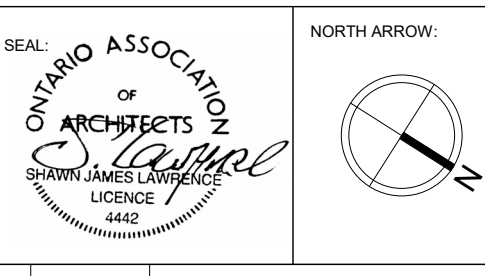
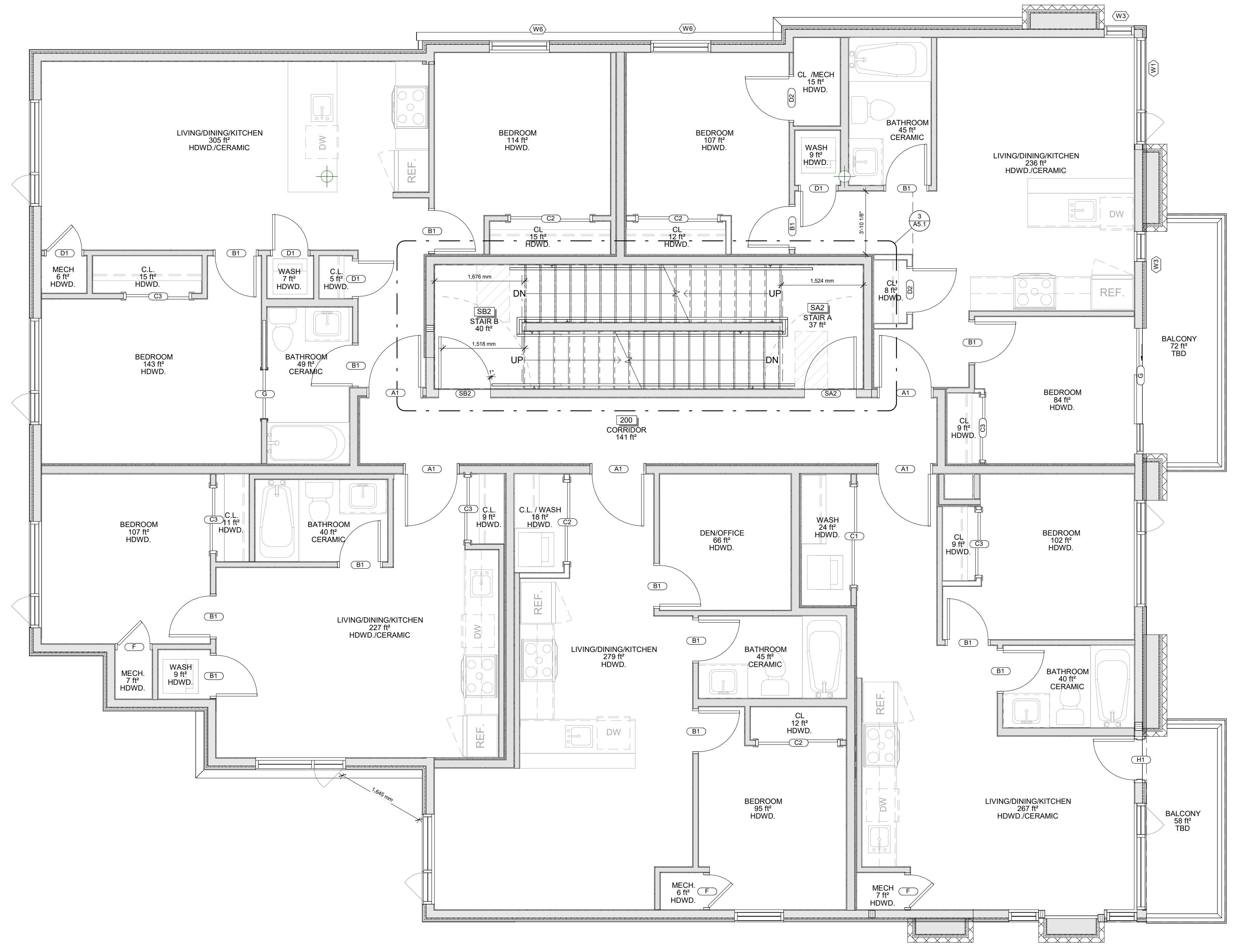
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
GROUND FLOOR PLAN

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-12-20 4:08:15 PM
 JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"

1 Level 1
 A2.1 SCALE 1/4" = 1'-0"

A2.1

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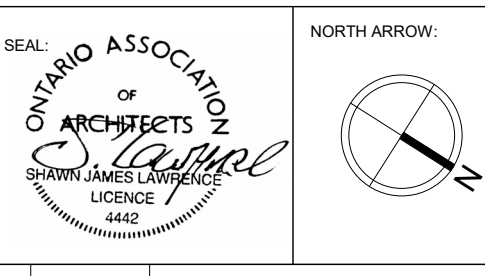
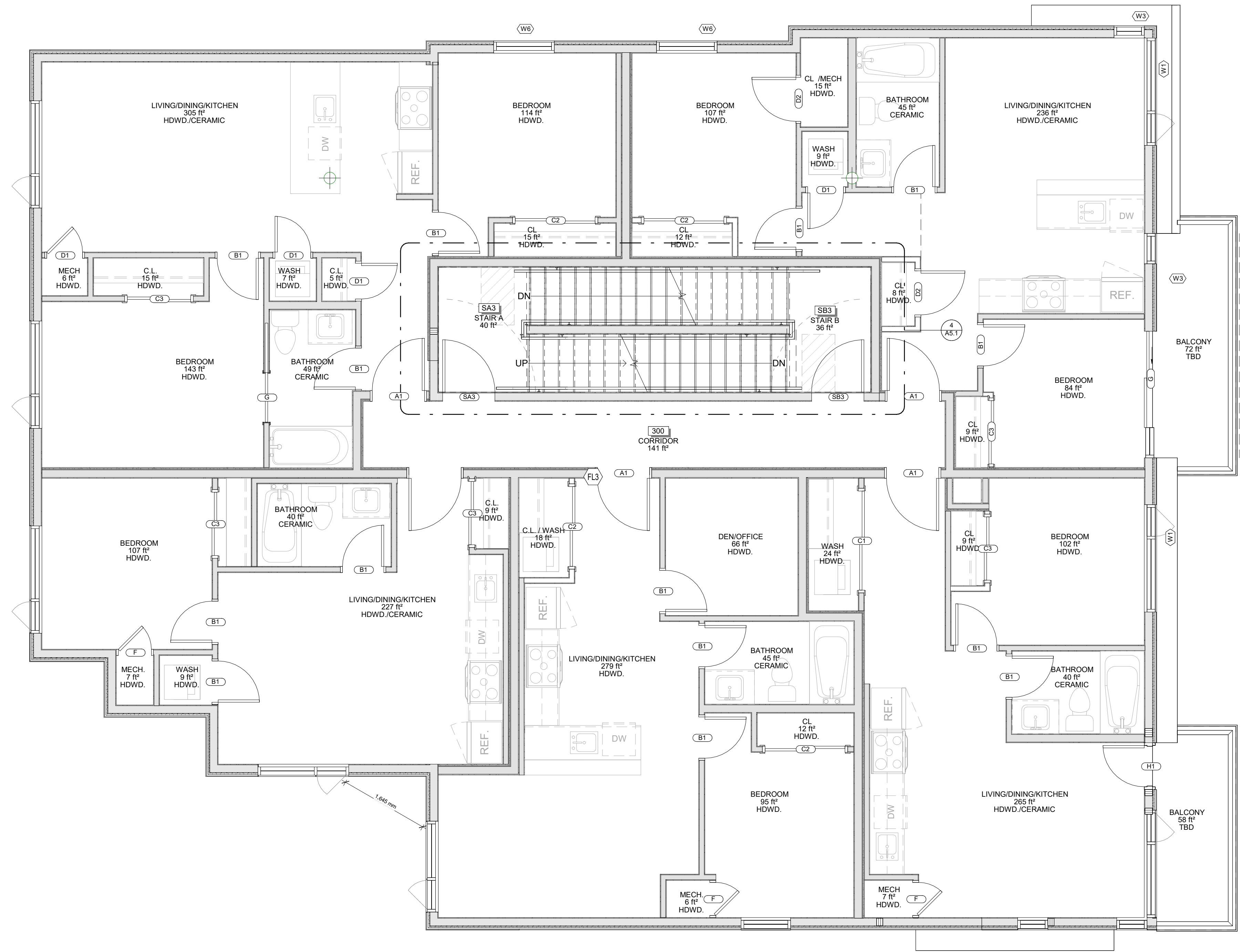


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PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
SECOND FLOOR PLAN

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
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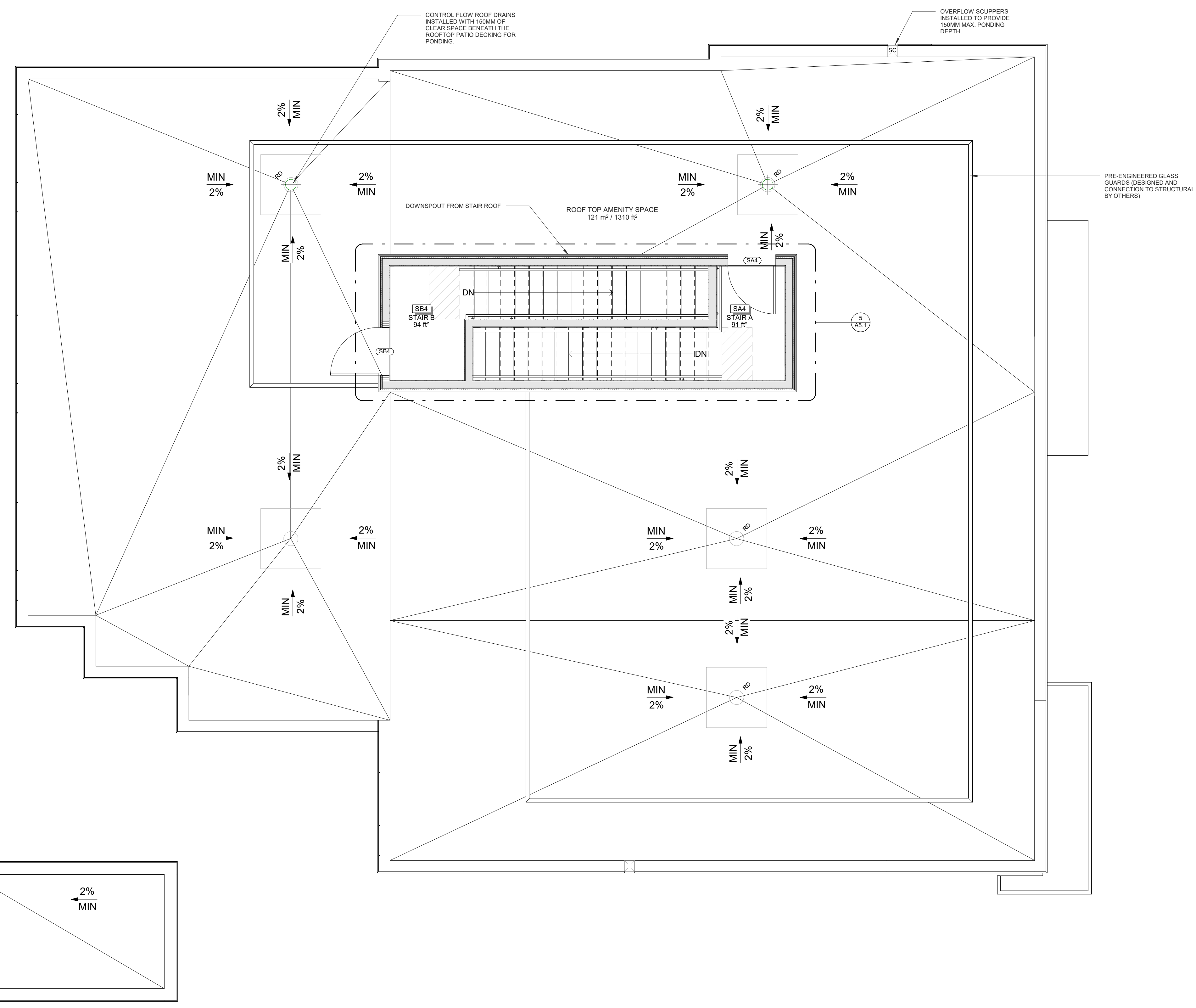


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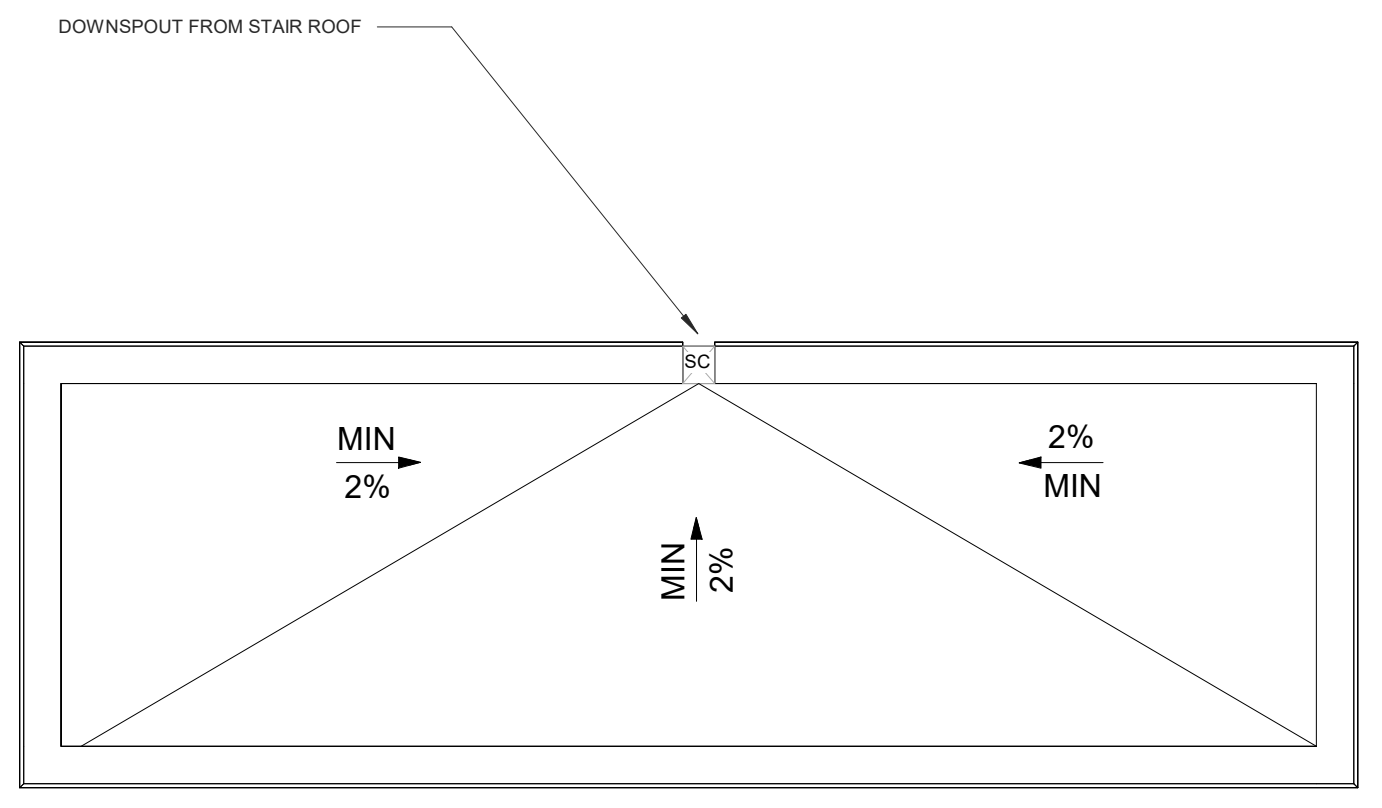
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON
 SHEET TITLE:
THIRD FLOOR PLAN

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-12-20 4:08:16 PM
 JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"

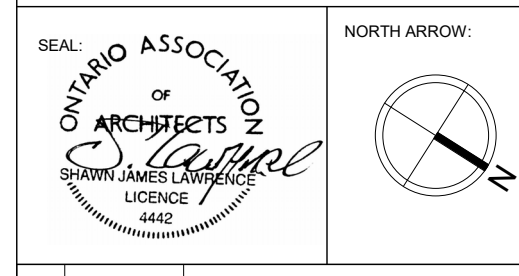
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1 ROOF PLAN
 SCALE 1/4" = 1'-0"



2 T/O STAIR ROOF STRUCTURE
 SCALE 1/4" = 1'-0"



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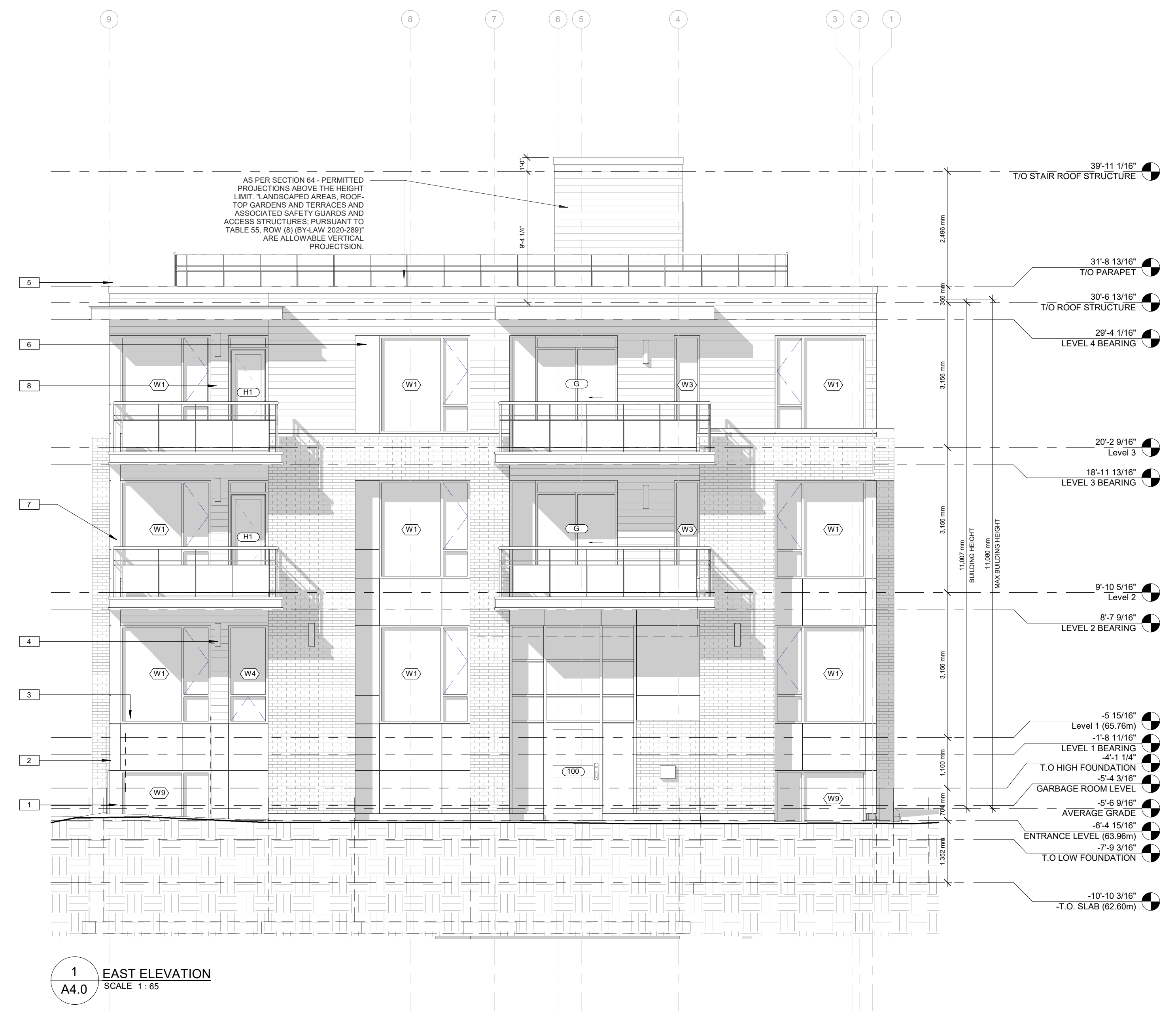
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ROOF PLAN

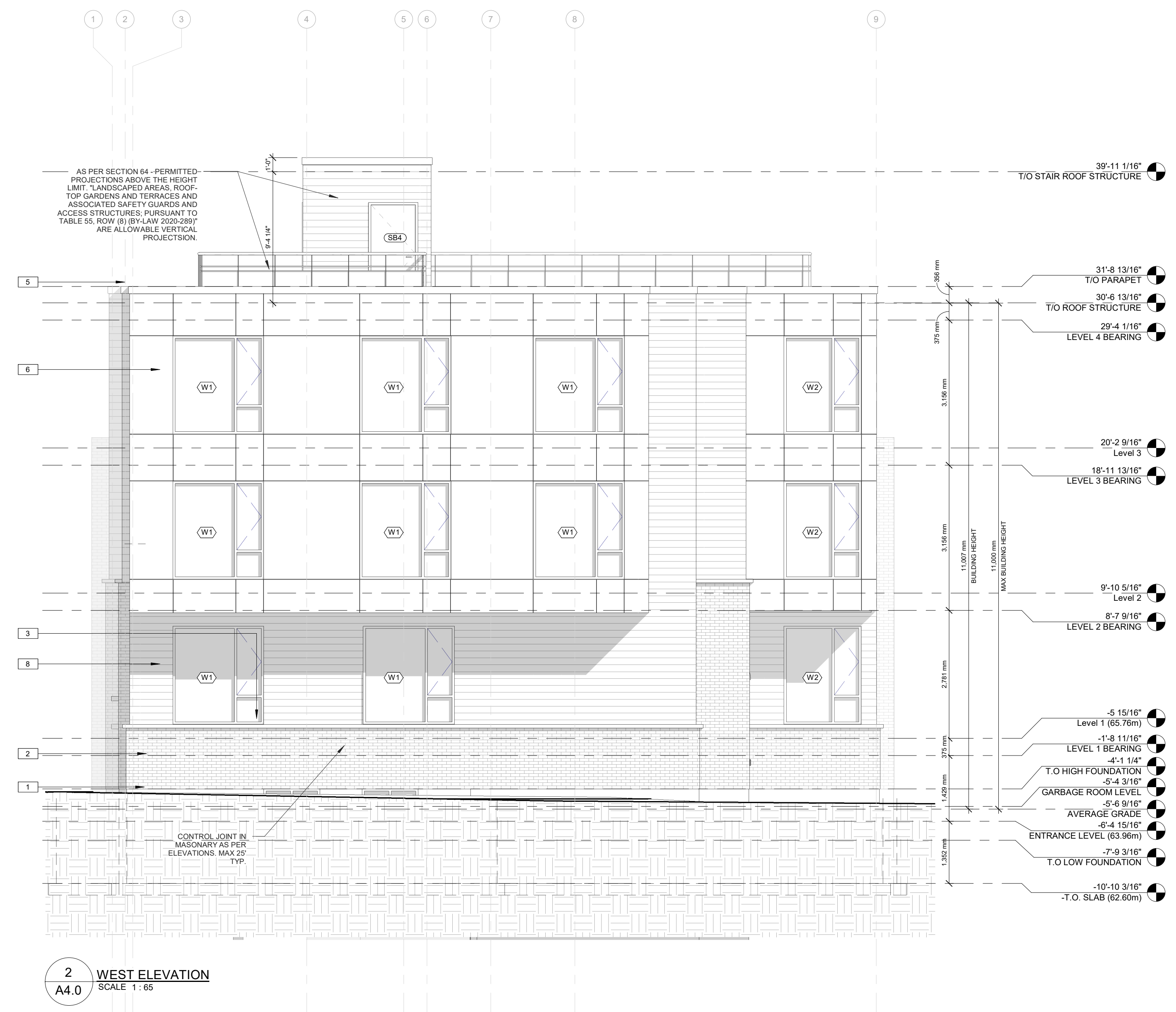
DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-12-20 4:08:17 PM
 JOB NUMBER: SL-1077-22 SCALE: 1/4" = 1'-0"

- NOTES:
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 - 2) ADDITIONAL DRAWINGS MAY BE ISSUED FOR CLARIFICATION TO ASSIST PROPER EXECUTION OF WORK. SUCH DRAWINGS WILL HAVE THE SAME BEARING INTENT AS IF THEY WERE INCLUDED WITH PLANS IN CONTRACT DOCUMENTS.
 - 3) DO NOT SCALE DRAWINGS.
 - 4) ALL SUB-CONTRACTORS TO TAKE THEIR OWN ON-SITE MEASUREMENTS AND BE RESPONSIBLE FOR THEIR ACCURACY.
 - 5) NOTIFY SHAWN J. LAWRENCE ARCHITECT FOR ANY ERRORS AND/OR OMISSIONS PRIOR TO START OF WORK.

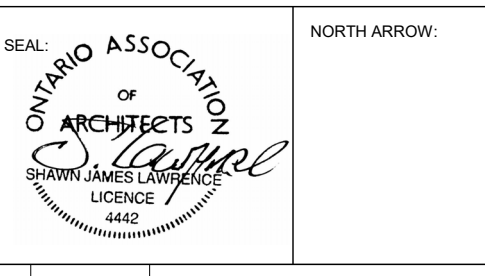
KEYNOTES-ELEVATION	
NOTE NUMBER	NOTE TEXT
1	CEMENT PARPING ON ALL EXPOSED FOUNDATION TO 1" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOOCE
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1
A4.0 EAST ELEVATION
 SCALE 1:65



2
A4.0 WEST ELEVATION
 SCALE 1:65



No.	DATE	REVISION
13	2023.12.20	ISSUED FOR SPC RESPONSE
12	2023.05.10	ISSUED FOR COORDINATION
11	2023.04.28	ISSUED FOR COORDINATION
10	2023.04.11	ISSUED FOR COORDINATION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
 18 DEAKIN STREET SUITE 202 OTTAWA, ONTARIO K2E 8B7
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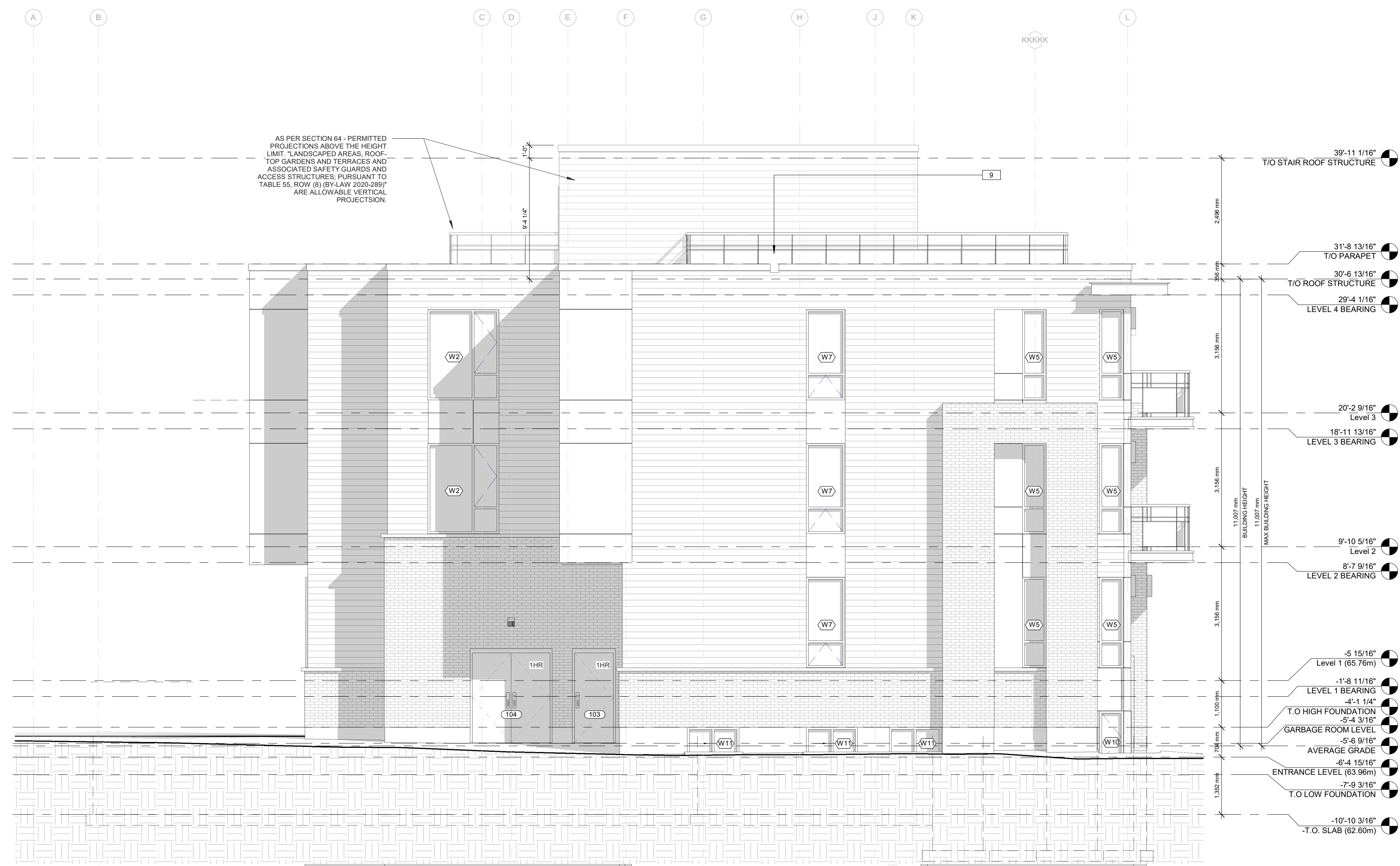
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.

PLOT DATE: 2023-12-20 4:08:21 PM

JOB NUMBER: SL-1077-22 SCALE: As Indicated

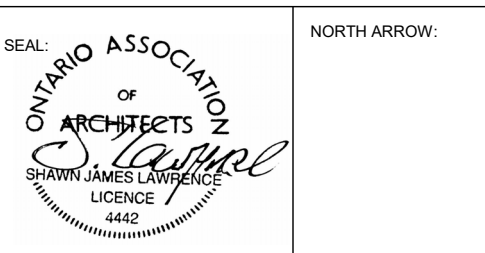


1 SOUTH ELEVATION
SCALE 1:65
A4.1



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KEYNOTES-ELEVATION	
NOTE NUMBER	NOTE TEXT
1	CEMENT PARKING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOFF
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



No.	DATE	REVISION
13	2023.12.20	ISSUED FOR SPC RESPONSE
12	2023.05.10	ISSUED FOR COORDINATION
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10	2023.04.11	ISSUED FOR COORDINATION
09	2023.03.24	REISSUED FOR ZONING AND SPC
08	2023.03.17	ISSUED FOR COORDINATION
07	2023.01.19	ISSUED FOR OPEN HOUSE
06	2023.01.09	ISSUED FOR COORDINATION
05	2022.12.07	ISSUED FOR COORDINATION
04	2022.11.07	ISSUED FOR RE-ZONING AND SPC
03	2022.11.01	ISSUED FOR COORDINATION
02	2022.08.16	ISSUED FOR COORDINATION
01	2022.07.05	ISSUED FOR REVIEW

S.J. LAWRENCE ARCHITECT INCORPORATED
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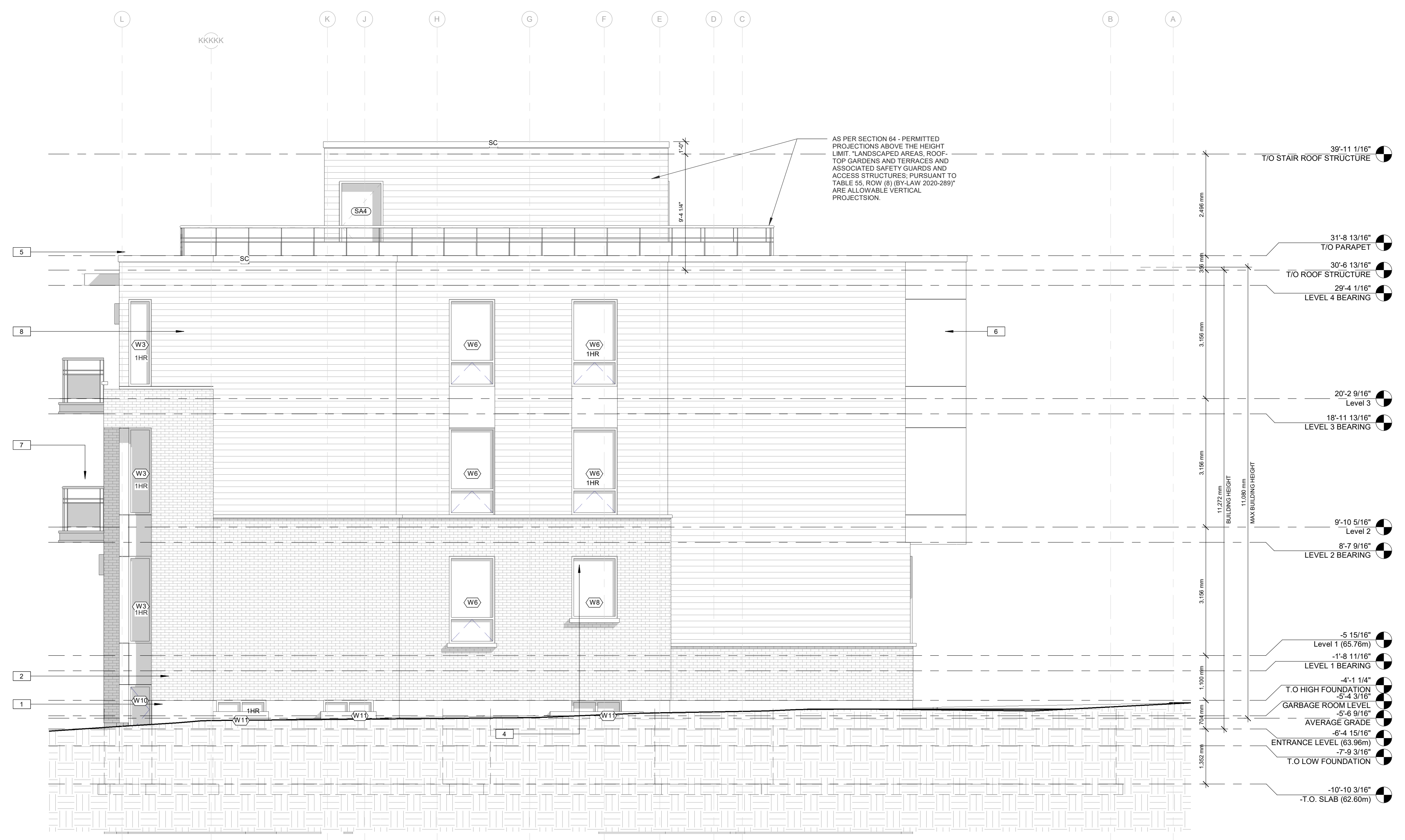
PROJECT:
CARRUTHERS AVENUE DEVELOPMENT
266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

DRAWN BY: D.T. CHECKED BY: B.L. S.J.L.
PLOT DATE: 2023-12-20 4:08:27 PM
JOB NUMBER: SL-1077-22 SCALE: As Indicated

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KEYNOTES-ELEVATION	
NOTE NUMBER	NOTE TEXT
1	CEMENT PARKING ON ALL EXPOSED FOUNDATION TO 8" BELOW GRADE
2	STONE VENEER A
3	4" PRECAST CONCRETE SILL
4	WALL SCOTCH
5	PRE-FINISHED METAL FASCIA
6	FIBER CEMENT COMPOSITE PANEL - COLOUR TBD BY OWNER
7	PRE-FINISHED METAL GUARD RAIL (3'-6" TALL)
8	FIBER CEMENT LAP SIDING - COLOUR TBD BY OWNER
9	OVERFLOW SCUPPER, REFER TO ROOF PLAN



1 NORTH ELEVATION
 SCALE 1:65



SEAL OF THE ONTARIO ASSOCIATION OF ARCHITECTS
 S.J. LAWRENCE ARCHITECT INCORPORATED
 LICENCE #442

No.	DATE	REVISION
13	2023.12.20	ISSUED FOR SPC RESPONSE
12	2023.05.10	ISSUED FOR COORDINATION
11	2023.04.28	ISSUED FOR COORDINATION
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03	2022.11.01	ISSUED FOR COORDINATION
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01	2022.07.05	ISSUED FOR REVIEW

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 266-268 CARRUTHERS AVENUE, OTTAWA, ON

SHEET TITLE:
ELEVATIONS

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 CHECKED BY: B.L. S.J.L.
 PLOT DATE: 2023-12-20 4:08:32 PM
 JOB NUMBER: SL-1077-22
 SCALE: As indicated

