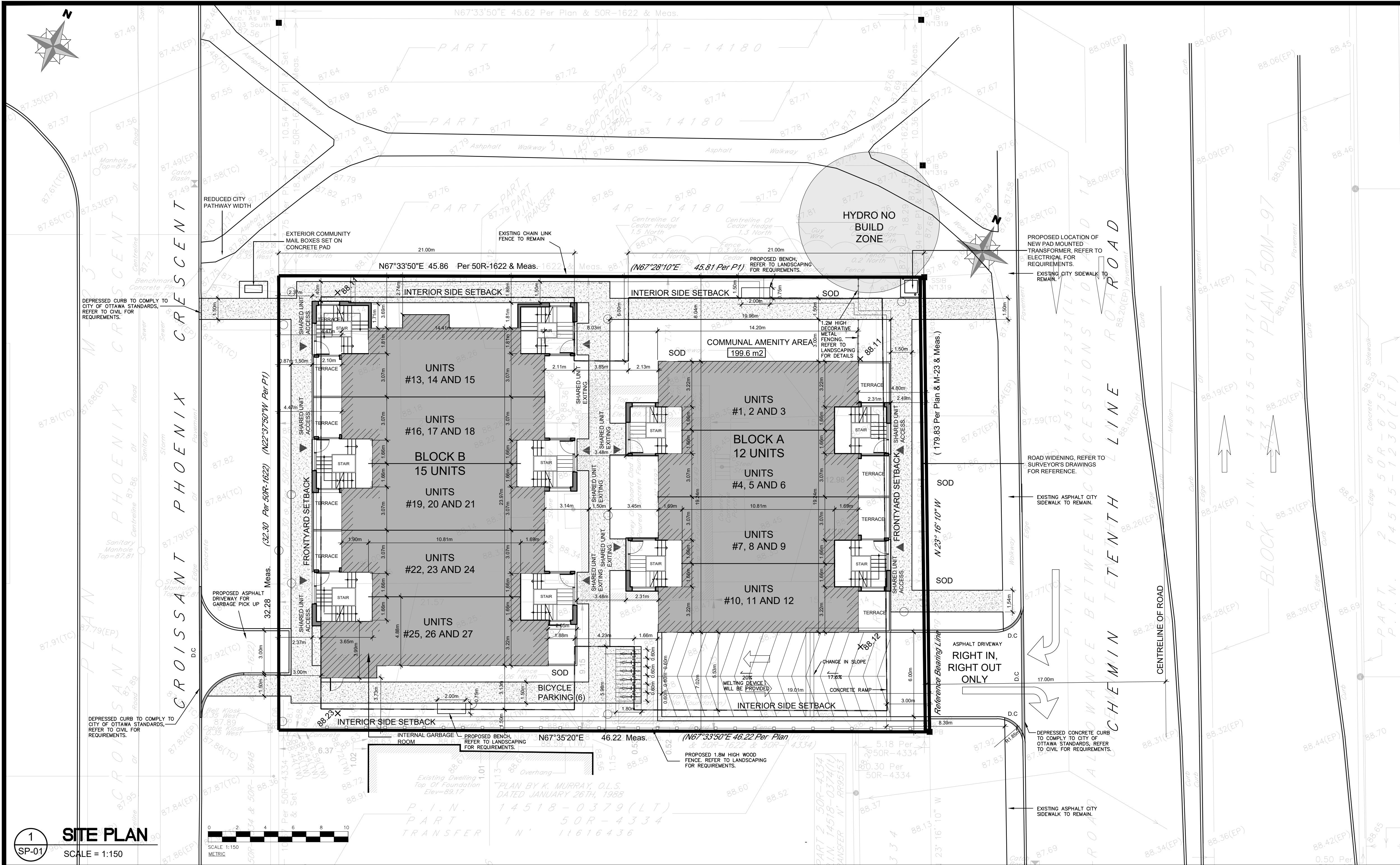




PLAN OF SURVEY
INFORMATION SHOWN HAS BEEN TAKEN FROM
ADSA Arpentage Dutrisac Surveying Inc.
2884 Chamberland St. Unit 3
Rockland, ON
Tel.: 613.446.7101

**TOPOGRAPHIC PLAN OF
PART OF LOT B
CONCESSION 11
GEOGRAPHIC TOWNSHIP OF CUMBERLAND
NOW IN THE
CITY OF OTTAWA**

ELEVATION NOTE
1. ELEVATIONS ARE GEODETIC.
2. IT IS THE RESPONSIBILITY OF THE USER OF THIS
INFORMATION TO VERIFY THAT THE JOB BENCHMARK
HAS NOT BEEN ALTERED OR DISTURBED AND THAT
IT'S RELATIVE ELEVATION AND DESCRIPTION AGREES
WITH THE INFORMATION SHOWN THE ABOVE
REFERENCED SURVEY.

CLIENT:

BRIDOR DEVELOPMENTS
BUILDING COMMUNITIES

LEGEND:

- PROPOSED NEW BUILDING
- NEW CONCRETE WALKWAY
- PROPERTY LINE
- ADJACENT LOT PROPERTY LINES
- EXISTING OVERHEAD HYDRO LINE
- NEW WOOD FENCE
- NEW METAL FENCE
- EXISTING HYDRO POLE TO REMAIN
- ENTRANCE ARROWS
- NEW BIKE RACKS
- EXISTING CONCRETE CURB

16	FOR SPC SUBMISSION	JP	DEC. 14 2023
15	FOR CLIENT REVIEW	JP	DEC. 06 2023
14	SPC RESUBMISSION	JP	JULY 17 2023
13	SPC RESUBMISSION	JC	JUN 28 2023
12	FOR REVIEW (U/G RAMP)	JP	JUNE 08 2023
11	FOR REVIEW	JP	FEB. 13 2023
10	FOR REVIEW	JP	DEC. 01 2022
09	FOR COORDINATION	JP	OCT. 28 2022
08	FOR REVIEW	JP	OCT. 19 2022
07	FOR COORDINATION	PE	APR. 20 2022
06	FOR COORDINATION	PE	APR. 14 2022
05	FOR REVIEW	PE	APR. 19 2021
04	FOR REVIEW	PE	APR. 13 2021
03	FOR REVIEW	PE	JAN. 13 2021
02	FOR REVIEW	PE	NOV. 26 2020
01	FOR REVIEW	PE	NOV. 20 2020
No.	REVISIONS	BY	DATE
STAMP			
NORTH ARROW			

TATHAM
ENGINEERING

5335 Canotek Road, Unit 103,
Ottawa, Ontario K1J 9L4
613-747-3636
info@tathameng.com

D2
concepts

DESIGNED BY: P.E.
DRAWN BY: P.E.
APPROVED BY: B.K.

PROJECT

1592 TENTH LINE ROAD
OTTAWA

DRAWING TITLE

SITE PLAN

PROJECT NO.
0359

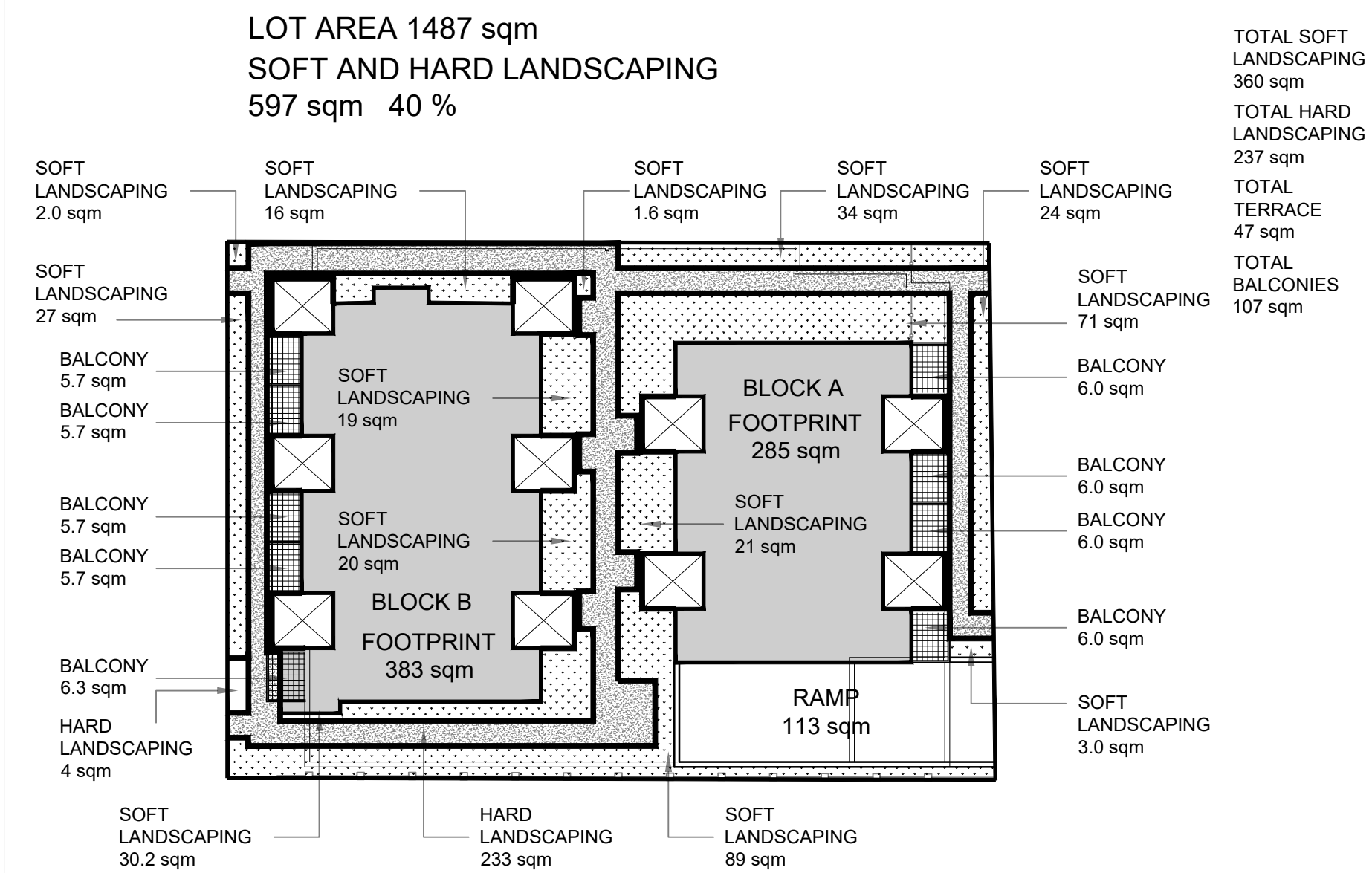
DATE
APRIL 20, 2022

SP-01



2
SP-01

LOCATION PLAN
SCALE = 1:800



SITE ZONE STATISTICS		1592 TENTH LINE ROAD	
ITEM	Zone	REQUIRED	PROVIDED
Permitted Uses	Proposed R42(XXXX) Zoning By-Law 2008-205, as amended S. 161, (1)	Apartment dwelling, low rise Planned unit development	Apartment dwelling, low rise Planned unit development (Attached triplexes for BCS review)
Lot Area	Table 162	450 sqm	1487 sqm
Lot Width	Table 162	18.0m	32.3m
Maximum Building Height	Table 162	15.0m 2.35m min.	10.5m 2.49m (Tenth Line) 2.37m (Phoenix Crescent)
Front Yard (through lot - no rear yard)	Exception (XXXX)	1.5 for the first 21 m back from the front lot line if the height is 11 m or less. If in excess of 11 m in building wall height the interior side yard setback is 3 m. Beyond 21 m interior side yard is 6 m	2.74m for the first 21 m back from the front lot line No Building proposed beyond 21 m from the lot line
Side Yard	Table 162	1.5 for the first 21 m back from the front lot line if the height is 11 m or less. If in excess of 11 m in building wall height the interior side yard setback is 3 m. Beyond 21 m interior side yard is 6 m	2.74m for the first 21 m back from the front lot line No Building proposed beyond 21 m from the lot line
Parking Spaces (Resident)	Table 101, R11 Exception (XXXX)	1.2 Per Unit 1.1 Per Unit	27 Spaces 27 Spaces Total required: 27 spaces (27 x 0.2 = 5.4)
Parking Spaces (Visitor)	S. 102, (III)	0.2 Per Unit	0.2 Per Unit (27 x 0.2 = 5.4) 5 Spaces
Bicycle Parking Spaces	S. 111A, (b)(i)	Total required: 5 spaces 0.5 Per Unit	18 Spaces below 6 Spaces at grade/podium 24 Spaces Total 154 sqm (private) + 199.6 sqm (communal) = 356.6 sqm 199.6 sqm (communal) 283.67 sqm 383.32 sqm 1,463.27 sqm 1,729.37 sqm 15 units 12 units
Amenity Area	Total Communal S. 137, (12)	6.0 sqm Per Unit 50% of Total Amenity area (162 sqm x 50% = 81 sqm)	154 sqm (private) + 199.6 sqm (communal) = 356.6 sqm 199.6 sqm (communal) 283.67 sqm 383.32 sqm 1,463.27 sqm 1,729.37 sqm 15 units 12 units
Building Footprint	Block A Block B	n/a n/a	n/a n/a
Total Floor Area	Block A Block B	n/a n/a	n/a n/a
Number of Dwelling units	Block A Block B	n/a n/a	n/a n/a
Lot Coverage	n/a	n/a	667.99 sqm (44.9%)
Min. Distance Between Buildings	Table. 131, (4)(a)	1.2 m when the building is less than or equal to 14.5 m in height	7.8m (3.48 m between stairs)