

Andrew McCreight

ANDREW MCCREIGHT
MANAGER (A), DEVELOPMENT REVIEW CENTRAL
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
DEPARTMENT, CITY OF OTTAWA

APPROVED
By Andrew McCreight at 2:03 pm, Dec 14, 2023

NOTES

SITE PLAN BASED ON TOPOGRAPHIC SURVEY BY: STANTEC GEOMATICS LTD.
300-1331 CLYDE AVENUE, OTTAWA, ON, K2C 0A9
C/O R. G. BENNETT
DATE: APRIL 7, 2022

SITE / ZONING DATA

	REQUIRED	PROVIDED
TOTAL LOT AREA	9,629 m ²	9,629 m ²
GROSS FLOOR AREA	38,275.26 m ²	38,275.26 m ²
FLOOR SPACE INDEX	3.97	3.97
LOT FRONTAGE ON ALBERT STREET	144.0 m	144.0 m
LOT FRONTAGE ON BOOTH STREET	77.9 m	77.9 m
LOT FRONTAGE ON LRT	138.6 m	138.6 m
LOT FRONTAGE ON EAST PROPERTY LINE	63.8 m	63.8 m
PROPOSED BUILDING LENGTH AT GRADE		
ON ALBERT STREET		
EAST TOWER (PARALLEL)	29.6 m	29.6 m
EAST TOWER (ANGLED)	43.1 m	43.1 m
WEST TOWER (PARALLEL)	42.8 m	42.8 m
WEST TOWER (ANGLED)	24.5 m	24.5 m
PROPOSED BUILDING LENGTH AT GRADE ON BOOTH STREET		
WEST TOWER	24.5 m	24.5 m
PROPOSED BUILDING LENGTH AT GRADE ON LRT		
EAST TOWER (PARALLEL)	42.2 m	42.2 m
EAST TOWER (ANGLED)	21.8 m	21.8 m
EAST TOWER (ANGLED)	15.3 m	15.3 m
WEST TOWER (PARALLEL)	45.8 m	45.8 m
WEST TOWER (ANGLED)	11.4 m	11.4 m
PROPOSED BUILDING LENGTH AT GRADE ON EAST PROPERTY LINE		
EAST TOWER	47.3 m	47.3 m
SETBACK DATA		
FRONT YARD (ALBERT STREET)	NO MIN	1.8 m-4.7 m
CORNER SIDE YARD SETBACK	NO MIN	0.0 m-8.5 m
EASTERLY INTERIOR SIDE YARD SETBACK	9.0 m	9.0 m
REAR YARD SETBACK (LRT)	NO MIN	10.1 m
TOWER SETBACK FROM EASTERLY SIDE YARD	14.5 m	14.5 m
TOWER DATA		
TOWER SEPARATION	23.0 m	55.3 m
TOWER FLOOR-PLATE AREA	750 m ² MAX	709 m ²
BUILDING HEIGHT		
EAST TOWER AVERAGE GRADE		62.91 m
MIDPOINT OF EAST TOWER ROOF		166.0 m
EAST TOWER BUILDING HEIGHT	110 m	103.09 m
WEST TOWER AVERAGE GRADE		62.59 m
MIDPOINT OF WEST TOWER ROOF		161.94 m
WEST TOWER BUILDING HEIGHT	127 m	119.36 m

AMENITY AREA

AMENITY LOCATION	AMENITY FUNCTION	AREA
INDOOR AMENITY	COMMUNAL AMENITY	1919.40 m ²
OUTDOOR AMENITY	COMMUNAL AMENITY	2425.26 m ²
OUTDOOR AMENITY	PRIVATE AMENITY	1186.53 m ²
TOTAL AMENITY SPACE		5431.20 m²

REQUIRED AMENITY AREA = 688 UNITS x 6m x 3648 m² 50% IS REQUIRED TO BE COMMUNAL = 1824 m²

PARKING SPACES

TYPE	REQUIRED	REQUIRED	PROPOSED
RESIDENT	N/A, MAX 1.5 per	0 MIN, 910 MAX	139
RESIDENT BARRIER-FREE	N/A	0	8
TOTAL RESIDENTIAL			147
VISITOR RESIDENTIAL	0.1/unit	61	58 (+4 BF)
VISITOR RETAIL	N/A, MAX 10	0	8
VISITOR DAY CARE	N/A	0	6
VISITOR BARRIER-FREE	20-99 spaces = 1 (of 61)		4
TOTAL VISITOR			76
GRAND TOTAL		61 MIN	223

LOADING SPACES

TYPE	REQUIRED	PROPOSED
RETAIL	0	SHARED
OTHER (DAY CARE)	1	SHARED
RESIDENTIAL	0	SHARED
TOTAL TYP LOADING SPACES	1	1

1 TYPE G LOADING SPACE IS PROVIDED FOR WASTE COLLECTION
1 ADDITIONAL LSU LOADING SPACE IS LOCATED IN P1 FOR WEST TOWER LOADING CONVENIENCE

BICYCLE PARKING SPACES

TYPE	PROVISION	REQUIRED	PROPOSED
REQUIRED SPACES			
RESIDENTIAL	0.5/unit	304	
RETAIL	1/250 m ²	6	
DAY CARE	1/250 m ²	5	
TOTAL REQUIRED		315	
PROVIDED SPACES			
INTERIOR SECURE SPACES	MIN 25%	79	662
EXTERIOR SPACES	MAX 50%	N/A	132
TOTAL PROVIDED			794

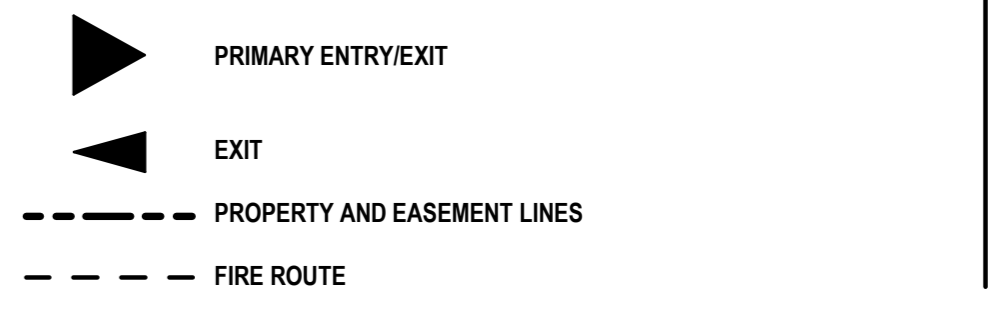
NUMBER OF SPACES ABOVE AT GROUND LEVEL HORIZONTAL 50% OF REQD 158
INTERIOR 26
EXTERIOR 132
TOTAL 158

STORAGE LOCKERS

TOTAL: 428

SITE PLAN LEGEND

- AD AREA DRAIN
- AP5 ACCESSIBLE PARKING SIGNAGE
- AW AREA WELL GRATE POROSITY LESS THAN 20mm x 20mm
- B BOLLARD
- BF BARRIER-FREE
- BR BIKE RACK (SEE LANDSCAPE)
- CB CATCH BASIN
- CW CONCRETE WALKWAY
- DC DEPRESSED CURB
- EX-CW EXISTING CONCRETE WALKWAY
- EX-S EXISTING LIGHT STANDARD
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FH-EX EXISTING FIRE HYDRANT
- FR FIRE ROUTE SIGNAGE
- HB HOSE BIB (SEE MECHANICAL)
- MH MAN HOLE
- NIC NOT IN CONTRACT
- TD TRENCH DRAIN



CONSULTANTS

TMG
8800 Dufferin St., Suite 200, Vaughan, ON L4K 0C5

RJC Engineers
1545 Carlin Ave., Suite 304, Ottawa, ON K1Z 9P9

Smith+Anderson
1600 Carling Ave., Suite 530, Ottawa, ON K1Z 1G3

PFS Studio
1777 W 3rd Ave., Vancouver, BC V5U 1K1

Two Row Architect
1804 6th Line, Oshawa, ON N4A 1M0

ElisDon
2680 Queensview Dr., Ottawa, ON K2B 6J9

STAMP

PROJECT

LEBRETON LIBRARY
PARCEL
665 Albert St
Ottawa, ON
Canada



DREAM
30 Adelaide St. E., Suite 301,
Toronto, ON M5C 3H1
KEYPLAN

ISSUE CHART

NO.	DATE	DESCRIPTION
1	2023-04-23	ISSUED FOR SPA / ZBA / SPA
2	2022-05-27	ISSUED FOR 60% SD
3	2022-06-10	ISSUED FOR 100% SD
4	2022-08-19	ISSUED FOR 60% SD
5	2022-09-30	ISSUED FOR 100% SD
6	2022-11-09	ISSUED FOR SPA RESUBMISSION
7	2022-11-09	ISSUED FOR NCC 90% FLUENT
8	2022-12-09	ISSUED FOR FOUNDATION REVIEW
9	2022-12-09	ISSUED FOR SIGNING & EXCAVATION PERMIT
10	2023-01-27	ISSUED FOR ELEVATOR & EXCAVATION TENDER
11	2023-02-03	RESUBMITTED FOR SPA & NCC 90%
12	2023-02-17	ISSUED FOR FOUNDATION PERMIT
13	2023-03-03	ISSUED FOR PROGRESS REVIEW
14	2023-03-03	ISSUED FOR PROGRESS REVIEW
15	2023-03-24	ISSUED FOR SITE PLAN CONTROL

ISSUED FOR SITE PLAN CONTROL 2023-03-24

COORDINATION OF ALBERT STREETSCAPE ONGOING WITH CITY STAFF DELIVERING ALBERT-SLATER RECONSTRUCTION PROJECT

COORDINATION OF ALBERT STREETSCAPE ONGOING WITH CITY STAFF DELIVERING ALBERT-SLATER RECONSTRUCTION PROJECT

DETAILED GEOMETRIC DESIGN OF EMPRESS INTERSECTION ONGOING & SUBJECT TO REVIEW/REVISION BY CITY STAFF ENGAGED ON ALBERT-SLATER RECONSTRUCTION PROJECT (SEPARATE SUBMISSION PENDING)

1 SITE PLAN
1:200

NOTE
1. REFER TO LANDSCAPE AND CIVIL DRAWING FOR LANDSCAPE DESIGN, SITE LIGHTING, SITE SERVING, AND GRADING INFORMATION.