

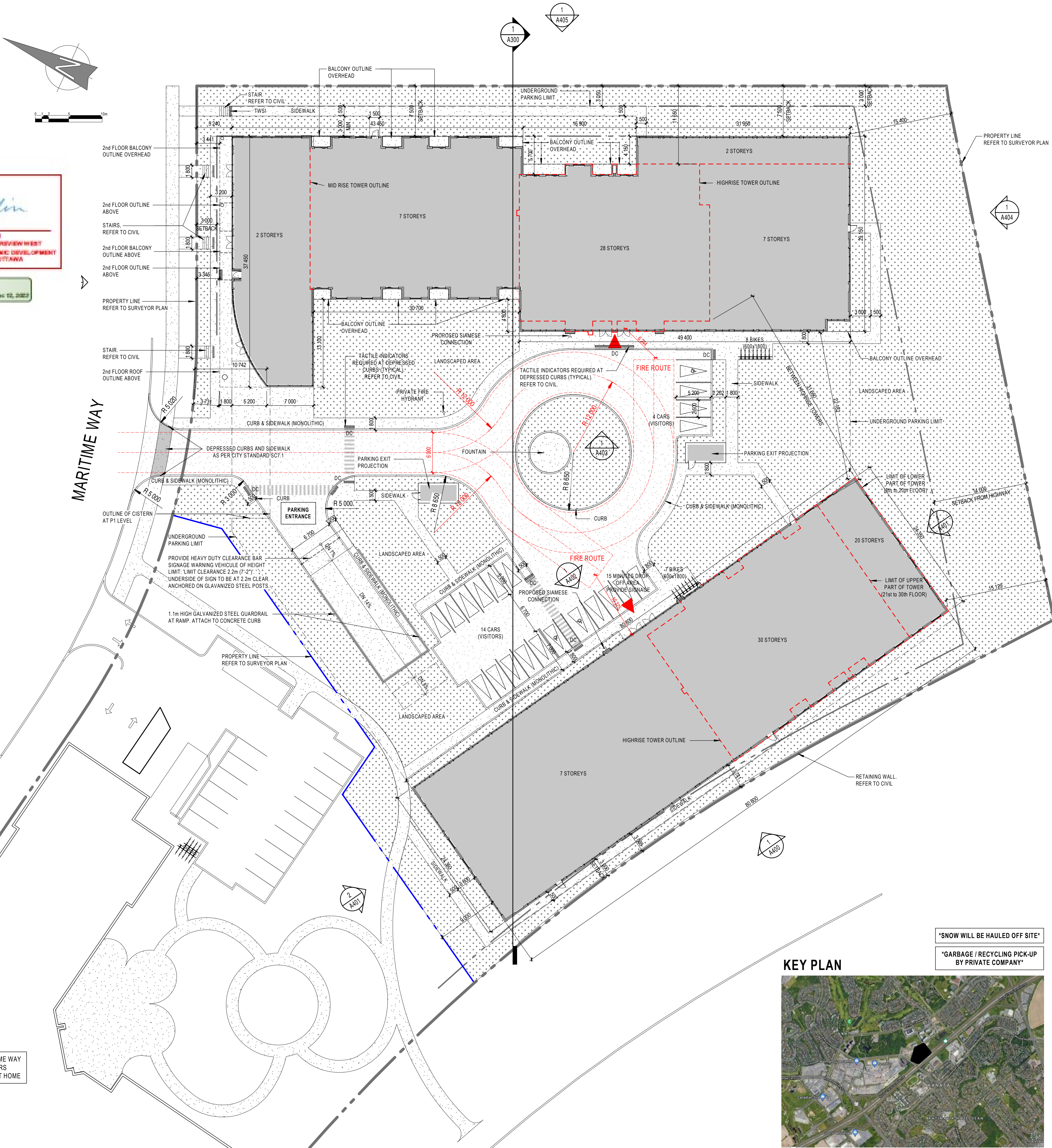
ZONE MC		
PROVISION	REQUIRED	PROVIDED
Min Lot Width	no minimum	+/- 69.65 m
Min Lot Area (HIGHRISE)	1 800 m²	+/- 12 808 m²
Min Building Height	no minimum	NA
Max Building Height	67m	+/- 93.5 m
Min Front Yard Setback	no minimum	5.24 m
Min Corner Side Yard Setback	no minimum	NA
Min Interior Side Yard Setback	no minimum	7.50 m / 3.09 m
Min Interior Side Yard Setback (HIGHRISE)	11.5m	11.65 m
Min Rear Yard Setback	no minimum	15.13 m
Min Separation Distance Between Towers (HIGHRISE)	23m	31.66 m
Min FSI	no maximum	+/- 4.53
Min Width of Landscaped Area	No minimum, except areas not used for driveways, aisles, parking, loading spaces or commercial patio, to be landscaped.	Areas outside of exception to be landscaped.
SITE AREA : +/- 12 808 m² (To be confirmed by surveyor) SITE COVERAGE : + 2 489 m² (East Tower) + 1 968 m² (West Tower) Total = +/- 4 457 m² = 34.8 % GROUND PARKING AREA : + 1 702 m² = 13.3 % LANDSCAPED AREA (EXCLUDING PARKING) : + 6 649 m² = 51.9 %		

PROPOSED GROSS FLOOR AREA :	+20 957 m ² (GROUND TO 28TH FLOORS)
GROUND FLOOR G.F.A. :	+1 122 m ²
COMMERCIAL G.F.A. (included in GROUND FLOOR G.F.A.) :	+1 398 m ²
RENTAL FLOORS G.F.A. (2nd to 28th floor) :	+19 835 m ²
PRIVATE AMENITY AREA (G.F.A.) :	+1 1 997 m ²
COMMUNAL AMENITY AREA :	+1 1 197 m ²
NUMBER OF FLOORS AND BUILDING HEIGHT :	28 FLOORS + MECH. / +/- 87.50m
DWELLING UNITS :	302
PARKING STALLS :	303
	263 RENTAL + 10 COMMERCIAL + 26 VISITORS INSIDE
	4 VISITORS OUTSIDE
RESIDENTIAL PARKING RATE :	MINIMUM 0.5 TO MAXIMUM 1.5 PER UNIT
COMMERCIAL PARKING RATE :	MINIMUM 1.25 TO MAXIMUM 4.00 m ² OF G.F.A.
VISITOR PARKING RATE :	MINIMUM 0.1 PER UNIT TO MAXIMUM 30 SPACES
PROVIDED PARKING STALLS :	151
	143 RENTAL INSIDE
	6 RENTAL + 2 COMMERCIAL OUTSIDE
RESIDENTIAL BICYCLE RATE :	MINIMUM 0.5 PER UNIT
COMMERCIAL BICYCLE RATE :	MINIMUM 1 PER 250 m ² OF G.F.A.
NUMBER OF SUITES REQUIRED TO BE BARRIER-FREE (15%):	
302 UNITS = 45 UNITS HAVE TO BE BARRIER-FREE & DISTRIBUTED BETWEEN THE 28 FLOORS.	

PROPOSED GROSS FLOOR AREA :	+/- 24 968 m ²
GROUND FLOOR G.F.A. :	+/- 437 m ²
RENTAL FLOORS G.F.A. (2nd to 28th floor) :	+/- 24 531 m ²
PRIVATE AMENITY AREA (G.F.A.) :	+/- 1 232 m ²
COMMUNAL AMENITY AREA :	+/- 1 054 m ²
NUMBER OF FLOORS AND BUILDING HEIGHT :	30 FLOORS + MECH. / +/- 93.50m
DWELLING UNITS :	313
PARKING STALLS :	314
	284 RENTAL + 26 VISITOR INSIDE
	4 VISITOR OUTSIDE
RESIDENTIAL PARKING RATE :	MINIMUM 0.5 TO MAXIMUM 1.5 PER UNIT
VISITOR PARKING RATE :	MINIMUM 0.1 PER UNIT TO MAXIMUM 30 SPACES
PROVIDED BICYCLE STALLS :	157
	150 INSIDE + 7 OUTSIDE
RESIDENTIAL BICYCLE RATE :	MINIMUM 0.5 PER UNIT
NUMBER OF SITES REQUIRED TO BE BARRIER-FREE (15%) :	
313 UNITS = 47 UNITS HAVE TO BE BARRIER-FREE & DISTRIBUTED BETWEEN THE 30 FLOORS.	

GROSS CONSTRUCTION AREA WEST TOWER					
FLOOR	NBR OF FLOORS	AREA / FLOOR (ft ²)	AREA / FLOOR (m ²)	AREA TOTAL (ft ²)	AREA TOTAL (m ²)
GROUND FLOOR	1	21 178 ft ²	1 968 m ²	21 178 ft ²	1 968 m ²
2nd FLOOR	1	19 892 ft ²	1 848 m ²	19 892 ft ²	1 848 m ²
3rd FLOOR	1	19 892 ft ²	1 848 m ²	19 892 ft ²	1 848 m ²
4th to 7th FLOOR	4	19 892 ft ²	1 848 m ²	79 568 ft ²	7 392 m ²
8th FLOOR	1	9 785 ft ²	909 m ²	9 785 ft ²	909 m ²
9th to 20th FLOOR	12	9 955 ft ²	891 m ²	115 136 ft ²	10 697 m ²
21st to 30th FLOOR	10	8 002 ft ²	743 m ²	80 021 ft ²	7 434 m ²
MECHANICAL PENTHOUSE	1	2 139 ft ²	199 m ²	2 139 ft ²	199 m ²
TOTAL		110 376 ft ²	10 254 m ²	347 614 ft ²	32 294 m ²

- FOR EXISTING SITE CONDITIONS, SEE SURVEY PLAN BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD., SUBMITTED SEPARATELY;
- FOR NEW GRADES AND SITE SERVICES, SEE CIVIL ENGINEERING PLAN BY NOVATECH ENGINEERING CONSULTANTS, SUBMITTED SEPARATELY;
- FOR PROPOSED VEGETATION AND LANDSCAPE INFORMATION, SEE LANDSCAPE PLAN BY JAMES B. LENNOX & ASSOCIATES, SUBMITTED SEPARATELY.



NOTES GÉNÉRALES / General Notes

- 1 Ces documents d'architecture sont la propriété exclusive de NEUF architectes et ne pourront être utilisés, reproduits ou copiés sans autorisation écrite préalable : / These architectural documents are the exclusive property of NEUF architectes and cannot be used, copied, reproduced or copied without written prior authorization.
- 2 Les dimensions apparaissant aux documents doivent être vérifiées par l'entrepreneur avant le début des travaux : / All dimensions which appear on the documents must be verified by the contractor before to start.
- 3 Veuillez aviser l'architecte de toute dimension erreur et/ou divergences entre ces documents et ceux des autres professionnels : / Please inform the architect of any dimension error and/or divergences between these documents and those of the other professionals.
- 4 Les dimensions sur ces documents doivent être lues et non mesurées : / The dimensions on these documents must be read and not measured.

STRUCTURE Structural

Goodeve Structural Inc.
18-77, Auriga Drive, Ottawa ON K2E 7Z7
T 613 226 4558 goodevestructural.ca

ARCHITECTURE DE PAYSAGE Landscape Architect

James B. Lennox & Associates
3332, Carling Avenue, Ottawa ON K2H 5A8
T 613 722 5168 jbla.ca

CIVIL Civil
Novatech Eng. Consultants Ltd.
240, Michael Cowpland Drive, Suite 200, Ottawa ON K2M 1P6
T 613 234 9643 novatech-eng.com

ARCHITECTES Architect
NEUF architect(e)s SENCRL
630, boul. René-Lévesque O. 32e étages, Montréal QC H3B 1S6
T 514 847 1117 NEUFarchitectes.com

SCEAU / Seal



NEUF
ARCHITECT(E)S



NEUF ARCHITECTES SENCIL

CLIENT **Clien**



OUVRAGE Project

**1200 MARITIME WAY
(KANATA RENTAL)**

EMPLACEMENT Location	NO PROJCT No.
OTTAWA	12371.00

NO	RÉVISION	DATE (aa-mm-yy)
B	FOR COMMENTS	2020.06.05
C	FOR COMMENTS	2020.07.23
D	IN PROGRESS	2020.09.16
E	SITE PLAN COORDINATION	2020.12.08
F	SITE PLAN COORDINATION	2021.02.16
G	SITE PLAN COORDINATION	2021.02.23
H	FOR TRANSPORTATION COMMENTS	2021.03.18
I	PER CITY COMMENTS	2021.05.27
J	PER CITY COMMENTS	2021.11.11
K	REVISED SITE PLAN	2023.03.28
L	REVISED SITE PLAN - COORDINATION	2024.04.07
M	PER CITY COMMENTS	2026.06.03
N	FOR COMMENTS	2024.03.13
O	FOR COMMENTS	2024.04.17
P	SITE PLAN APPROVAL	2024.03.16
Q	PER CITY COMMENTS	2026.03.28
R	PER CITY COMMENTS	2026.08.09

DESSINÉ PAR Drawn by
PV
DATE (aa.mm.jj)
05/28/20

VÉRIFIÉ PAR Checked
LH
ÉCHELLE Scale
1 : 30

SITE PLAN AT GROUND FLOOR

RÉVISION Revision NO. DESSIN Dwg Number

R A100
#18348