

Andrew McCreight
ANDREW MCCREIGHT
 MANAGER (A), DEVELOPMENT REVIEW CENTRAL
 PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT
 DEPARTMENT, CITY OF OTTAWA

APPROVED
 By Andrew McCreight at 4:11 pm, Nov 16, 2023

70 Richmond Road
 SUMMARY
 2023-06-12

UNIT SUMMARY	STUDIO	1B2	1B2 + 2 B2	2B2	2B2 + 3B2	TOWN	TOWN	TOTAL
TWN TOTAL	2	3	5	3	1	-	-	15
2 TOTAL	3	3	5	3	1	-	-	15
3 TOTAL	3	3	5	3	1	-	-	15
4 TOTAL	1	4	2	4	1	-	-	14
5 TOTAL	1	6	2	4	1	-	-	14
6 TOTAL	-	3	1	4	1	-	-	11
7 TOTAL	-	3	4	3	1	-	-	11
8 TOTAL	-	2	2	2	1	-	-	8
9 TOTAL	-	2	2	3	1	-	-	7
TOTAL	-	-	-	-	-	-	-	103

TOTAL	STUDIO	1B2	1B2 + 2 B2	2B2	2B2 + 3B2	TOWN	TOWN	TOTAL
RATIO	9%	28%	22%	27%	8%	1%	3%	103
AVERAGE SQ.FT.								771 sq.m.

BARRIER-FREE UNITS SUMMARY	STUDIO	1B2	1B2 + 2 B2	2B2	TOWN	2B2 + 3B2	TOWN	TOTAL
TWN TOTAL	2	3	5	3	1	-	-	15
2 TOTAL	3	3	5	3	1	-	-	15
3 TOTAL	1	2	1	1	-	-	-	4
4 TOTAL	-	3	1	1	-	-	-	4
5 TOTAL	-	-	-	3	-	-	-	3
6 TOTAL	-	-	-	1	-	-	-	1
7 TOTAL	-	-	-	1	-	-	-	1
8 TOTAL	-	-	-	1	-	-	-	1
9 TOTAL	-	-	-	1	-	-	-	1
TOTAL	1	3	4	7	-	-	-	16

BARRIER-FREE UNITS REQUIREMENT BREAKDOWN	STUDIO	1B2	1B2 + 2 B2	2B2	TOWN	2B2 + 3B2	TOWN	TOTAL
TOTAL	9	26	23	28	8	5	1	103
TOTAL PER UNIT TYPE	9	41	(1 B2, 1B2 + 2 B2)	41	(2 B2, 2B2 + 3B2)	4	(3 B2)	3
IF CITY B2 (1B2)	1.35	7.35		6.15		0.60		
IF CITY B2 (2B2)	1	7		4		1		15

SITE PLAN APPLICATION REVISION No.: D07-12-19-0043

SURVEY INFORMATION TAKEN FROM:

PART OF LOT 33 CONCESSION 3 (OTTAWA FRONT)
 (SECTION 11C TOWNSHIP OF NEPEAN)
 LOT 35 REGISTERED PLAN 449
 CITY OF OTTAWA

PROPERTY ADDRESS: 70 RICHMOND RD., OTTAWA, ONTARIO

SITE AREA (SURVEY): 1,587m²

PROPOSED USE: MIXED USE RESIDENTIAL MIDRISE APARTMENT BUILDING (9 FLOORS + ROOFTOP AMENITY)

BUILDING FOOTPRINT: 1,122m²

TOTAL FLOORS: 9

TOTAL RESIDENTIAL UNITS: 103 UNITS

TOTAL GROSS BUILDING AREA (ABOVE GRADE): 9,800 m²

TOTAL GROSS BUILDING AREA (INCLUDING BELOW GRADE LEVELS): 12,442 m²

TOTAL GROSS FLOOR AREA (ZONING BY LAW DEFINITION): 6,889 m²

TOTAL RETAIL GFA (ZONING BY LAW DEFINITION): 87 m²

ZONING SUMMARY: Zoning TM(2792) 9461 - SUBJECT TO ZBLA 02-02-02-0102

	REQUIRED	PROVIDED
RICHMOND ROAD (FRONT)	0 m	0 m
ISLAND PARK DRIVE (CORNER SIDE)	0 m	0 m
LANEWAY (CORNER SIDE)	0 m	0 m
SIDE YARD (REAR YARD)	3.90 m	3.90 m
MIN. WIDTH OF LANDSCAPE ADJACENT TO RESIDENTIAL ZONE	3 m	3 m
TRANSPARENT WINDOWS & ACTIVE ENTRANCES	50% OF GROUND FLOOR MEASURED TO 4.5 m HIGH	> 50%

VEHICULAR PARKING	REQUIRED	PROVIDED
RESIDENTIAL PARKING	0.5/UNIT	0.65/UNIT
103 UNITS (1,12 UNITS)	46 SPACES	59 SPACES (INCLUDE 3 SMALL SPACES)
VISITOR PARKING	0.1/UNIT	0.1/UNIT
103 UNITS (1,12 UNITS)	9 SPACES	9 SPACES
TOTAL	55 SPACES	68 SPACES
PARKING DISTRIBUTION		
LEVEL P1		31 SPACES
LEVEL P2		37 SPACES
TOTAL		68 SPACES

BICYCLE PARKING	REQUIRED	PROVIDED
BICYCLE PARKING	0.5/UNIT	0.65/UNIT
103 UNITS	52 SPACES (50% TO BE HORIZONTAL)	70 SPACES (INCLUDE 28 HORIZ.)
TOTAL	52 SPACES	70 SPACES
BICYCLE PARKING DISTRIBUTION		
LEVEL P1		31 SPACES
LEVEL P2		36 SPACES
TOTAL		67 SPACES

AMENITY	REQUIRED	PROVIDED
MINIMUM AMENITY SPACE	615 m ²	1382 m ²
6 m ² /UNIT (103 UNITS + 6 m ²)		
PRIVATE AMENITY (MIN. OF 50% OF REQUIRED)	309 m ²	962 m ²
COMMON AMENITY SUMMARY		
GROUND FLOOR RESIDENTIAL LOBBY/Lounge		600 m ²
ROOF AMENITY (INDOOR)		155 m ²
ROOF AMENITY (OUTDOOR)		200 m ²
TOTAL COMMON AMENITY (50% OF REQUIRED)	309 m ²	415 m ²
TOTAL AMENITY (PRIVATE + COMMON)	615 m ²	1382 m ²

BUILDING SUMMARY	GROSS FLOOR AREA (ZONING BY LAW)	UNIT COUNT
LEVEL 10 (Mech & Roof amenity)	-	-
LEVEL 9	481.5 m ²	7
LEVEL 8	561 m ²	8
LEVEL 7	701.5 m ²	11
LEVEL 6	746 m ²	11
LEVEL 5	802.5 m ²	14
LEVEL 4	802.5 m ²	14
LEVEL 3	849 m ²	15
LEVEL 2	823 m ²	15
LEVEL 1A (MEZZANINE)	584 m ²	-
LEVEL 1 (RES+RETAIL)	547.2+87+634.2 m ²	8
TOTAL	6,889 m ²	103
LEVEL P1	-	-
LEVEL P2	-	-

LOCATION PLAN



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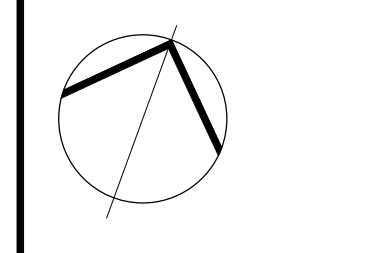
1	2/23/10	11	Re-issued for 75% VE
2	2/23/10	12	Re-issued for SFA
3	2/23/09	27	Re-issued for SFA
4	2/23/09	28	Re-issued for Building Permits
5	2/23/10	29	Re-issued for Excavation and shoring Permits
6	2/23/10	30	Re-issued for 75% Review
7	2/23/09	31	Re-issued for SFA
8	2/23/10	32	Re-issued for Excavation and shoring Permits
9	2/23/10	33	Re-issued for SFA
10	2/23/10	34	Re-issued for 50% Review
11	2/23/11	35	Re-issued for SFA
12	2/21/09	36	Re-issued for SFA
13	2/20/13	37	Re-issued for SFA

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

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PROJECT: 70 RICHMOND

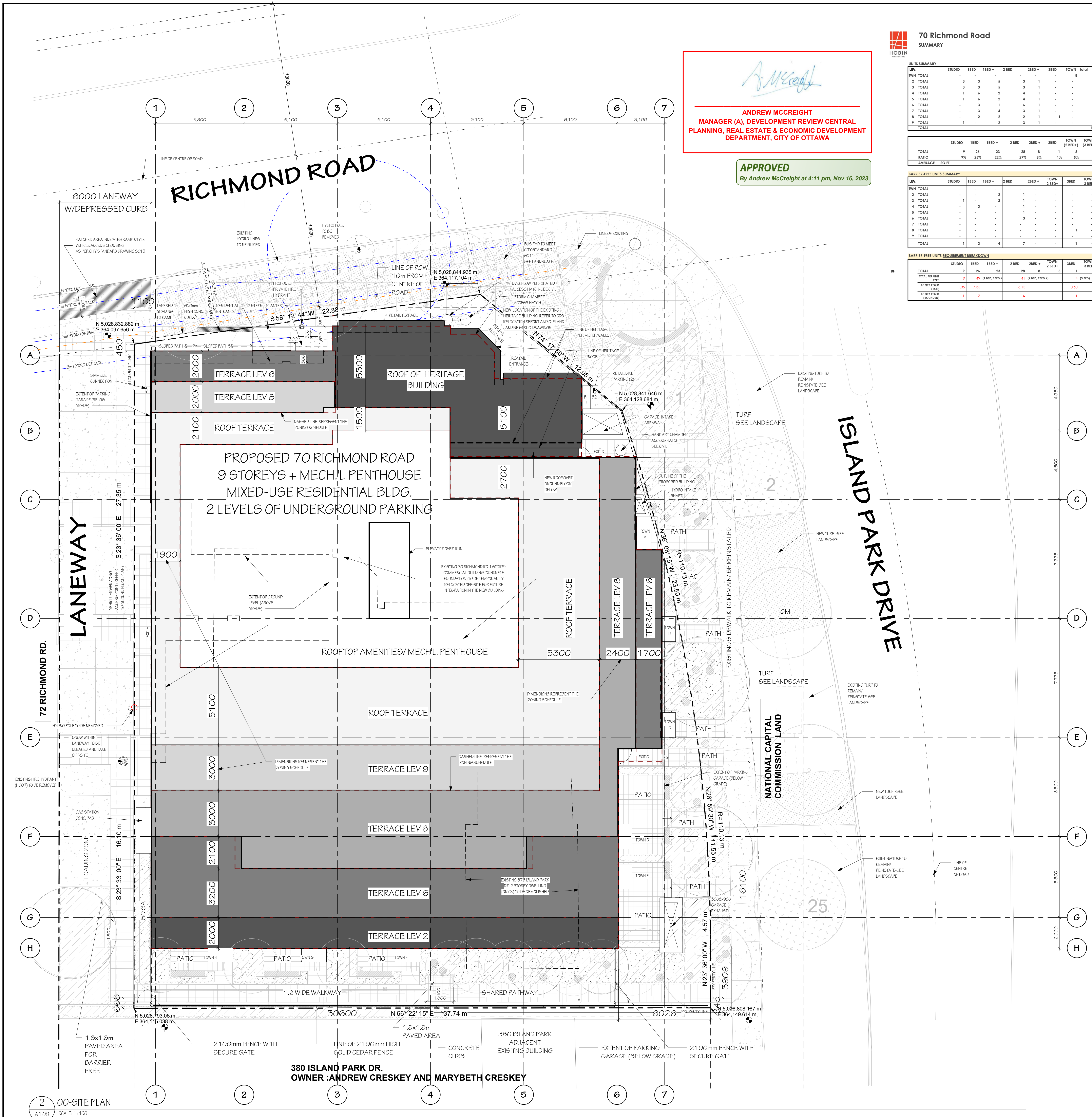
70 RICHMOND RD. & 376 ISLAND PARK DR.

DRAWING TITLE: SITE PLAN

DRAWN	DATE	SCALE
Author	XXXXXXXXXX	As Indicated

PROJECT: 1909
 DRAWING NO.: A1.00
 REVISION NO.: F

A1.00- RF- SITE PLAN



2 00-SITE PLAN
 SCALE 1:100

ROOF LEVEL (PH):

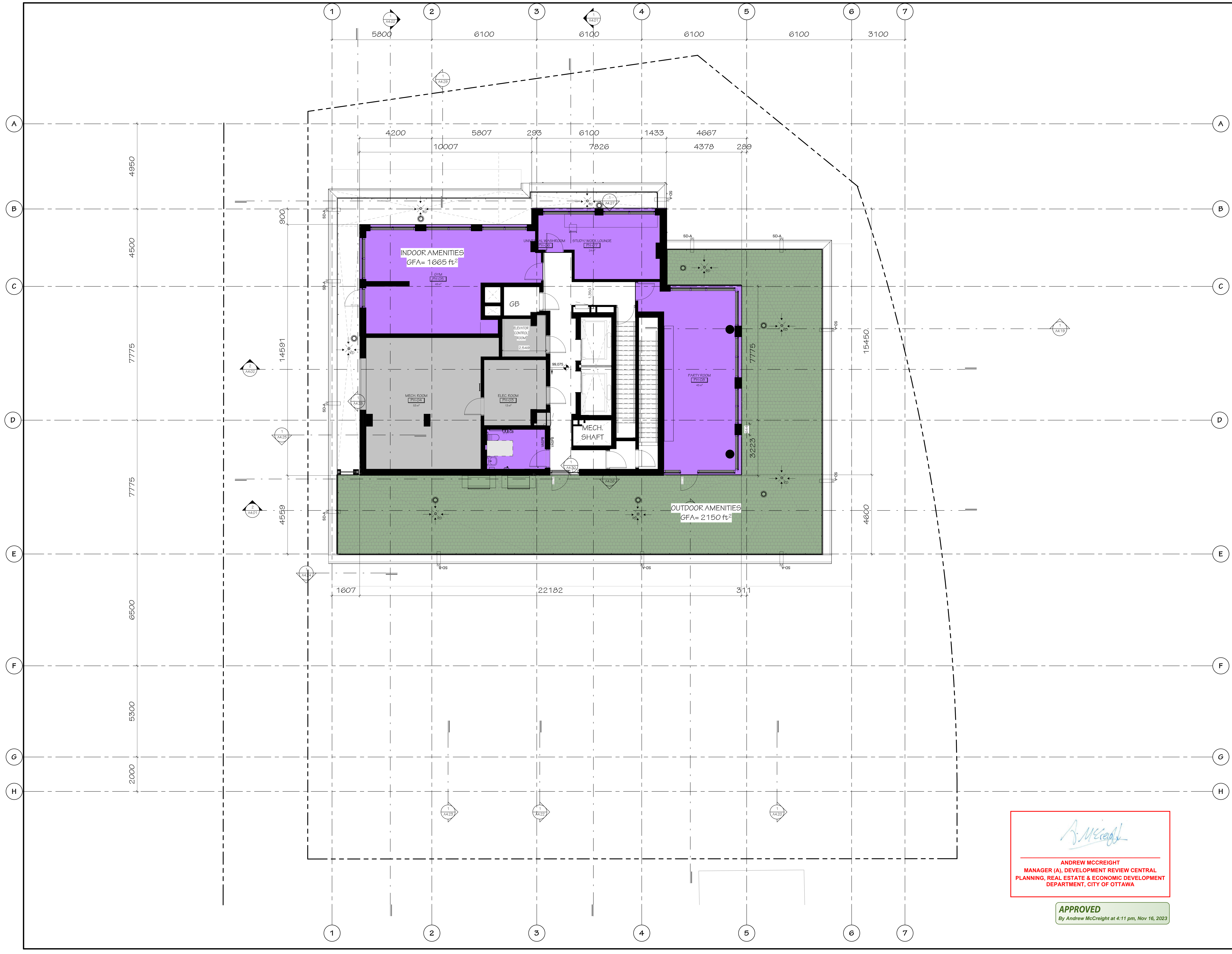
GFA = 3,400 ft²

ROOF AMENITIES NET AREA BREAKDOWN:

INDOOR AMENITIES = 1,665 ft²

OUTDOOR AMENITIES = 2,150 ft²

TOTAL ROOF AMENITIES = 3,815 ft²



NO.	DATE	REVISION
1	22/05/13	Issued for SPA
2	22/10/23	Re-issued for SPA
3	22/11/11	Re-issued for SPA
4	23/04/24	Re-issued for SPA
5	23/08/21	Re-issued for SPA
6	23/10/11	Re-issued for SPA

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 DEPARTMENT, CITY OF OTTAWA

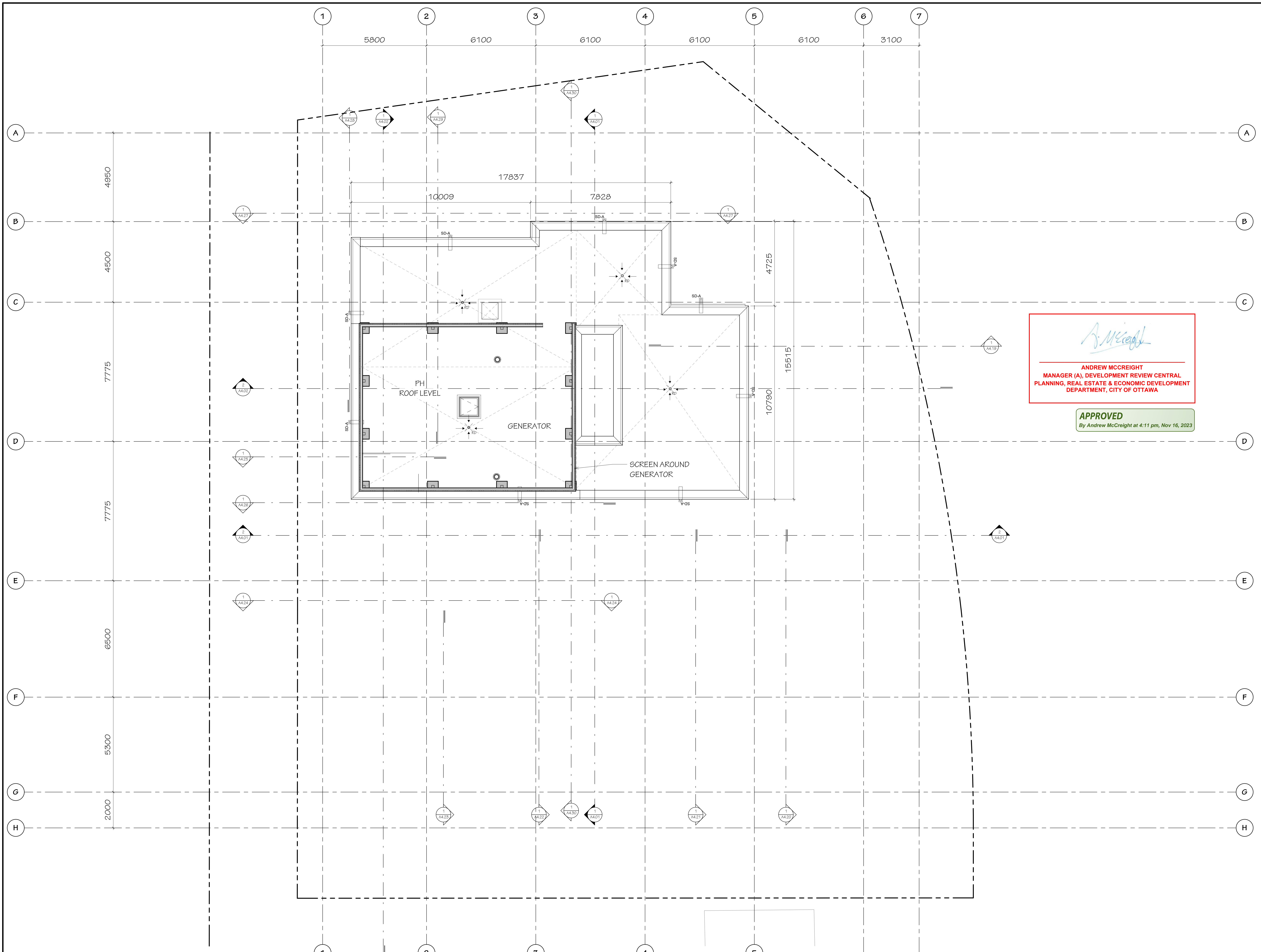
APPROVED
 By Andrew McCreight at 4:11 pm, Nov 16, 2023

70 RICHMOND
 70 RICHMOND RD & 376 ISLAND PARK DR.

ROOF PLAN - PH

DRAWN	DATE	SCALE
Author	05/02/23	1:75

PROJECT: 1909
 DRAWING NO.: SPA13
 REVISION NO.: A



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no.	date	revision
1	220513	Issued for SPA
2	221003	Re-issued for SPA
3	221111	Re-issued for SPA
4	230424	Re-issued for SPA
5	231011	Re-issued for SPA

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PROJECT
70 RICHMOND
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DRAWING TITLE
MECHANICAL ROOF

DRAWN Author	DATE 05/02/23	SCALE 1:75
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PROJECT
1909

DRAWING NO.
SPA14

REVISION NO. A

1 FLOOR PLAN-MECH. ROOF
 SPA14 SCALE: 1:75

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MATERIAL TAG LEGEND

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD CW ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/VALUOS FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
MPS-1	METAL PANEL SIDING
MS-1	METAL SIDING
SM-1	STONE MASONRY - LIMESTONE
ALM-1	ALUMINUM LOUVER (PRE-FINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPECS
PMC	PRE-FINISHED METAL CAP FLASHING
PMF	PRE-FINISHED METAL FLASHING
SPF	SPANDREL GLASS - REFER TO SPEC FINISH
SW	OPERABLE WINDOW BASH- OUT SWINGING AWNING

LF	LIGHT FIXTURE
CJ	CONSTRUCTION JOINTS 'CJ'
SA	SHELF ANGLE 'SA'
SSA	SUSPENDED SHELF ANGLE 'SSA'
CJ	BRICK CONTROL JOINT

D	231011	Re-issued for SFA
C	230809	Issued for Building Permits
S	230710	Issued for 75% Review
S	230621	Re-issued for SFA
S	230424	Re-issued for SFA
A	230404	Issued for 50% Review

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PROJECT
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DRAWING TITLE
 ELEVATIONS

Drawn	DATE	SCALE
Author	00/00/0000	As Indicated
PROJECT	1909	
DRAWING NO.	A3.02	
REVISION NO.	D	



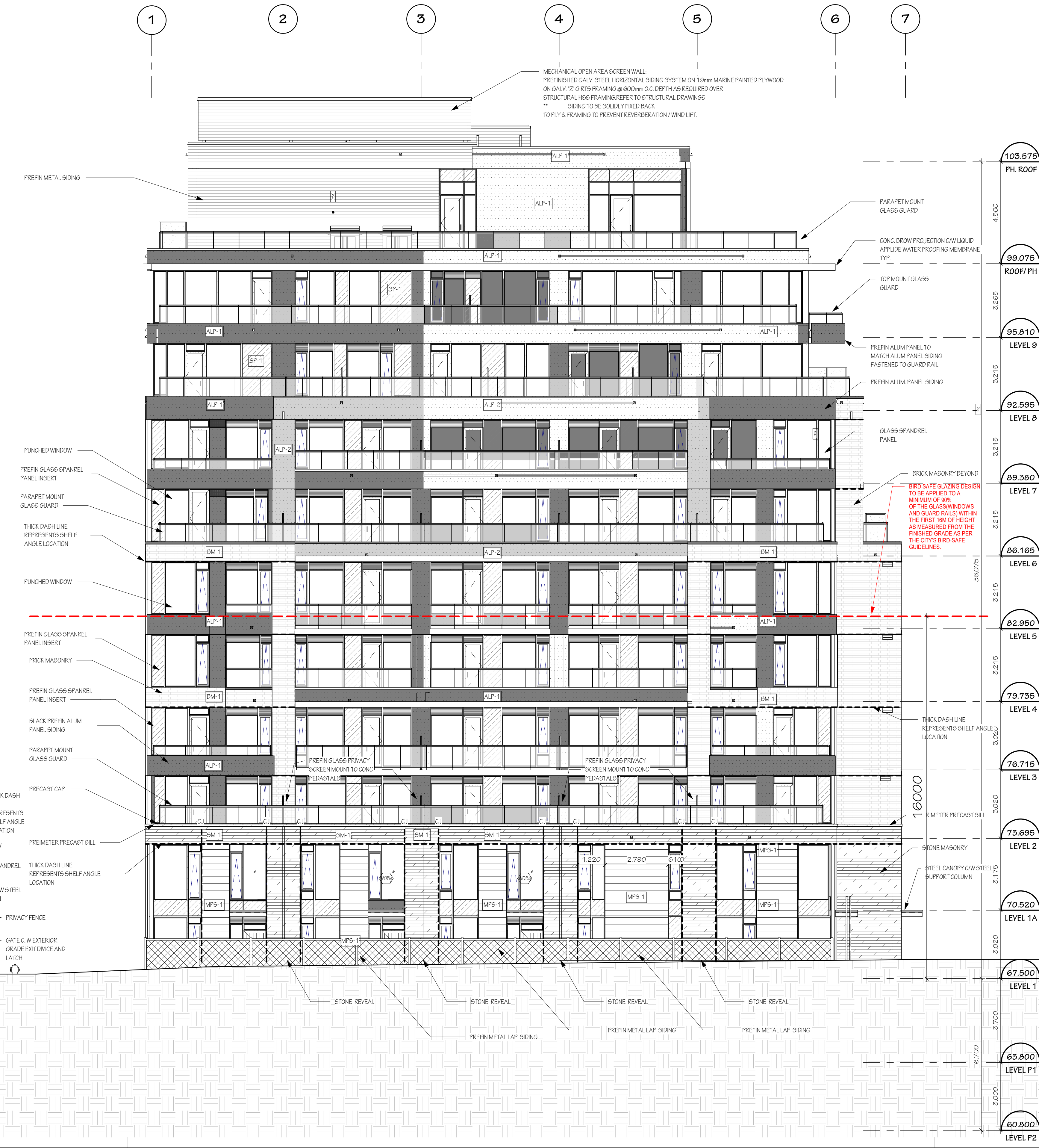
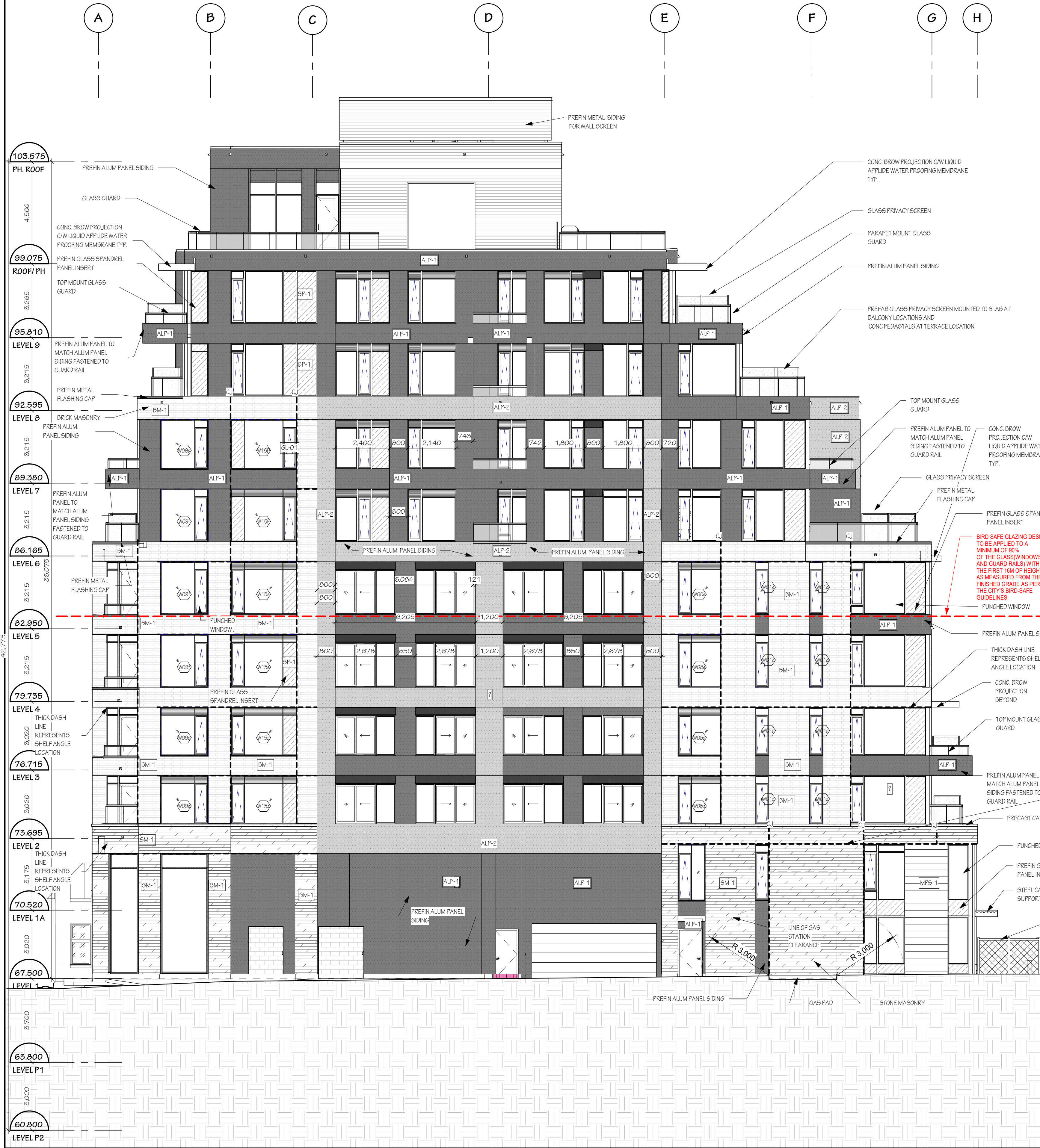
2 ELEVATION-EAST
 A3.02 SCALE: 1:100



1 ELEVATION-NORTH
 A3.02 SCALE: 1:100

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MATERIAL TAG LEGEND

ACC	ALUMINUM CORNER CAP
AGR-1	ALUMINUM & GLASS GUARD C/W ALUMINUM RAILING
PC-1	PRECAST CONCRETE (BLOCK)
PC-2	PRECAST CONCRETE (TERRAZZO) REFER TO DWG 3/AS/06 FOR PANEL TYPES
ALP-1	ALUMINUM PANEL - TYPE 1
ALP-2	ALUMINUM PANEL - TYPE 2
MPS-1	METAL PANEL SIDING
MS-1	METAL SIDING
SM-1	STONE MASONRY - LIMESTONE
ALV	ALUMINUM LOUVER (PREFINISHED)
BM-1	BRICK MASONRY VENEER - TYPE 1
GL-1	GLASS - REFER TO SPECS
PMC	PREFINISHED METAL CAP FLASHING
PMF	PREFINISHED METAL FLASHING
SPANDREL GLASS	SPANDREL GLASS - REFER TO SPEC FINISH
OPW	OPERABLE WINDOW BASH-OUT SWINGING AWNING

CONSTRUCTION NOTES

LF	LIGHT FIXTURE
CJ	CONSTRUCTION JOINTS 'CJ'
SA	SHELF ANGLE 'SA'
SSA	SUSPENDED SHELF ANGLE 'SSA'
CJ	BRICK CONTROL JOINT

REVISIONS

NO.	DATE	DESCRIPTION
1	23/04/24	Issued for SFA Review
2	23/07/10	Issued for 75% Review
3	23/08/21	Issued for SFA
4	23/10/11	Issued for SFA

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70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE
ELEVATIONS

DRAWN	DATE	SCALE
Author	00/00/0000	As Indicated

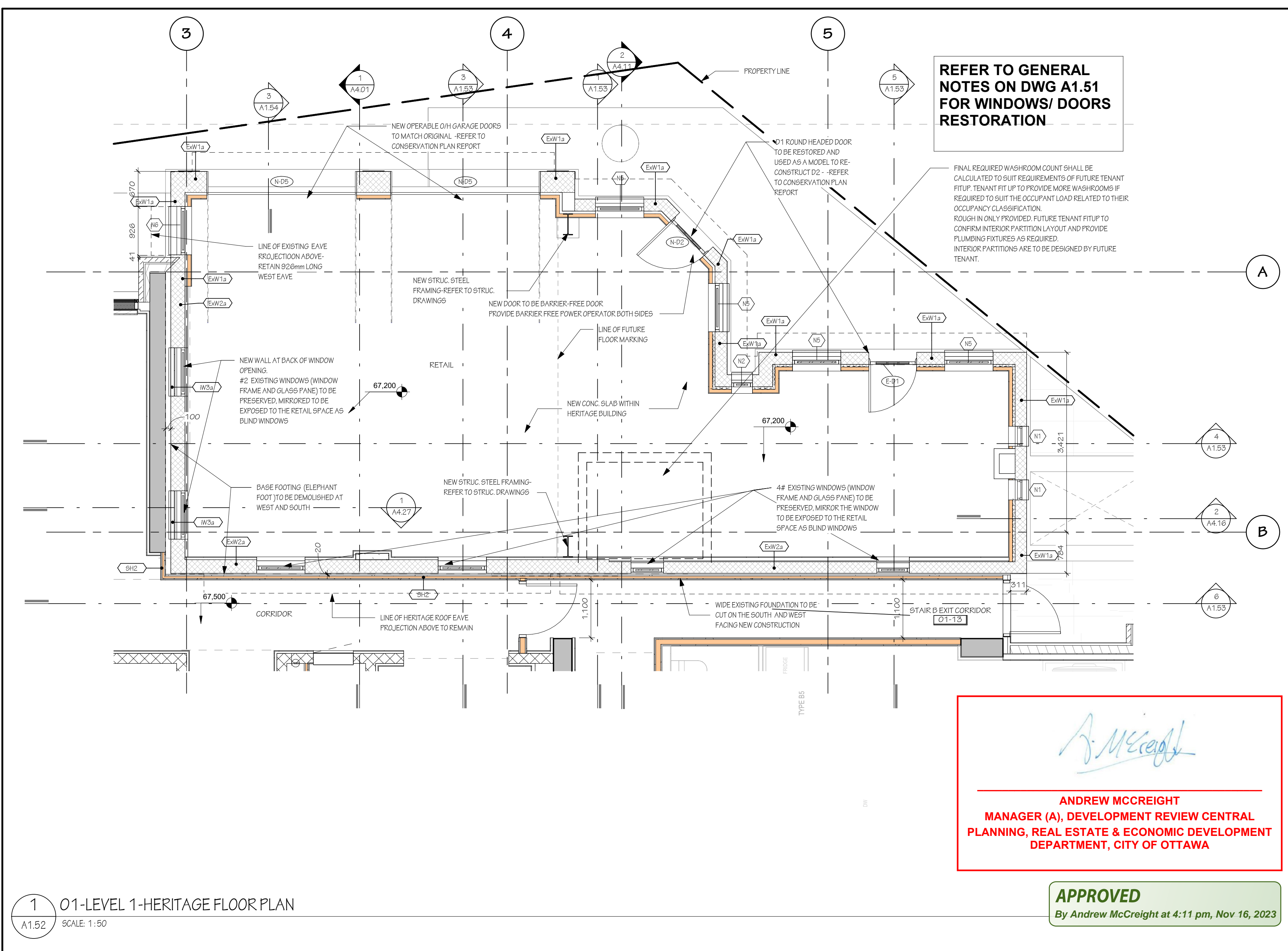
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1909

DRAWING NO.
A3.01

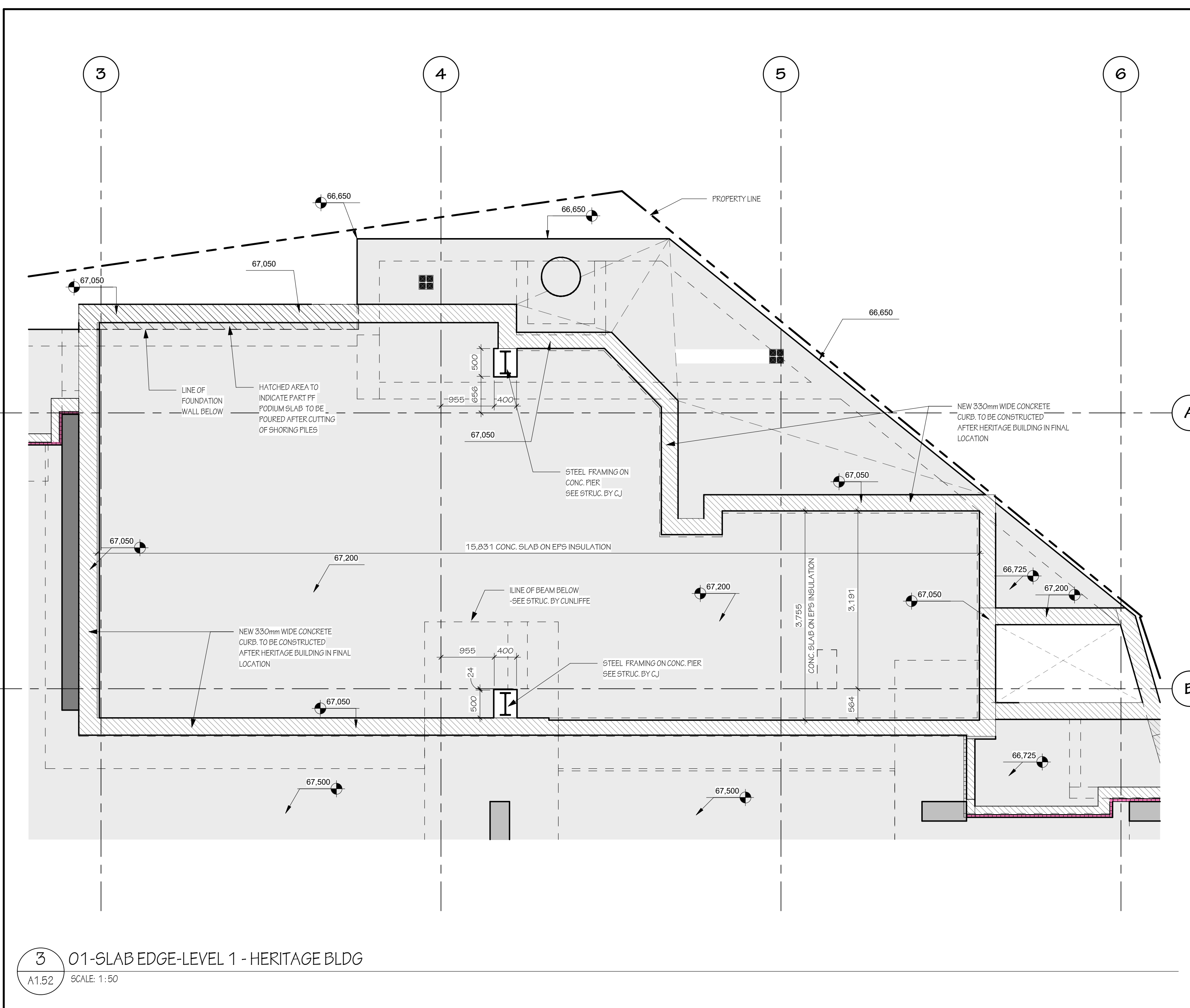
REVISION NO.
D

2 ELEVATION-WEST
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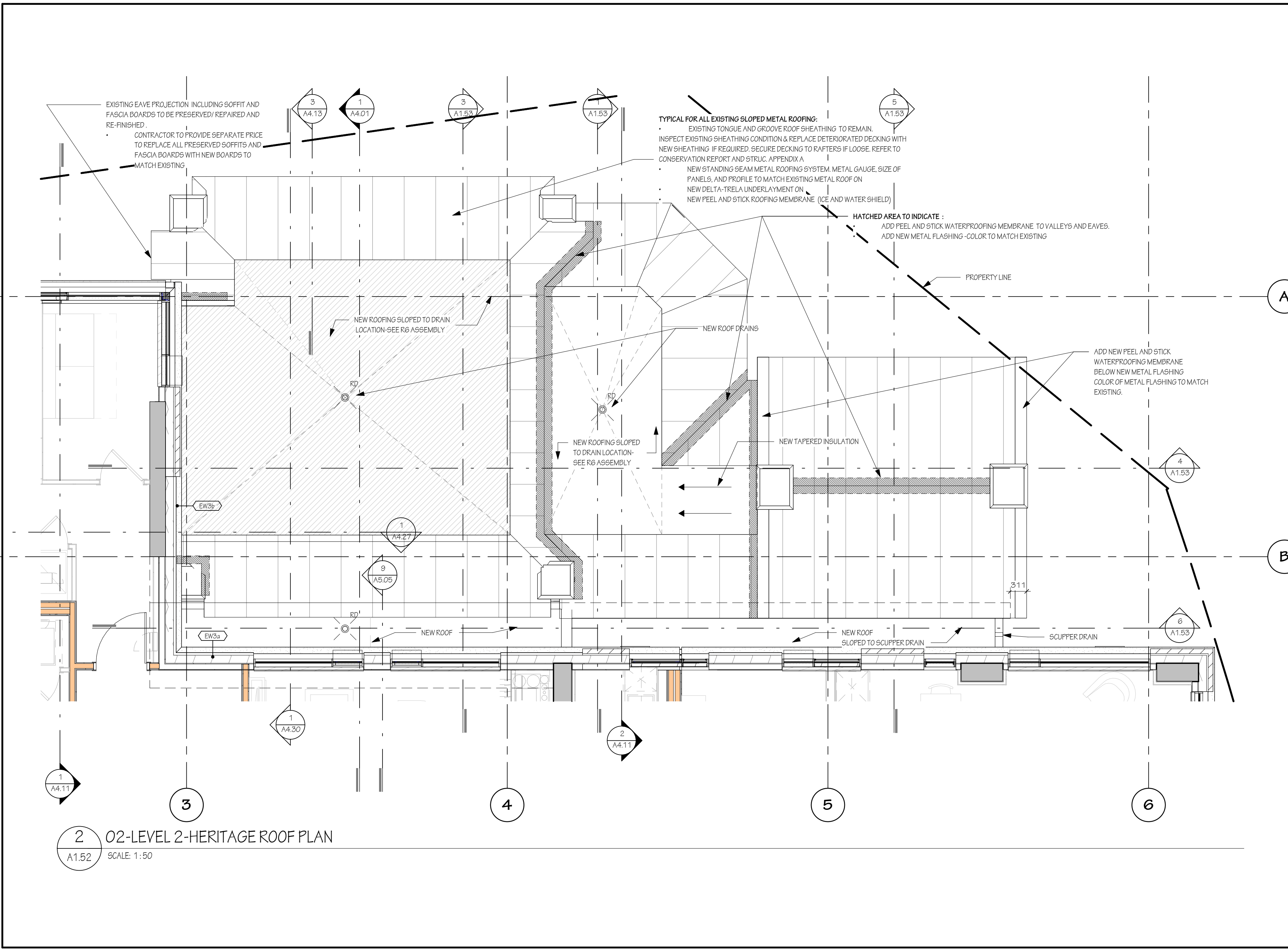
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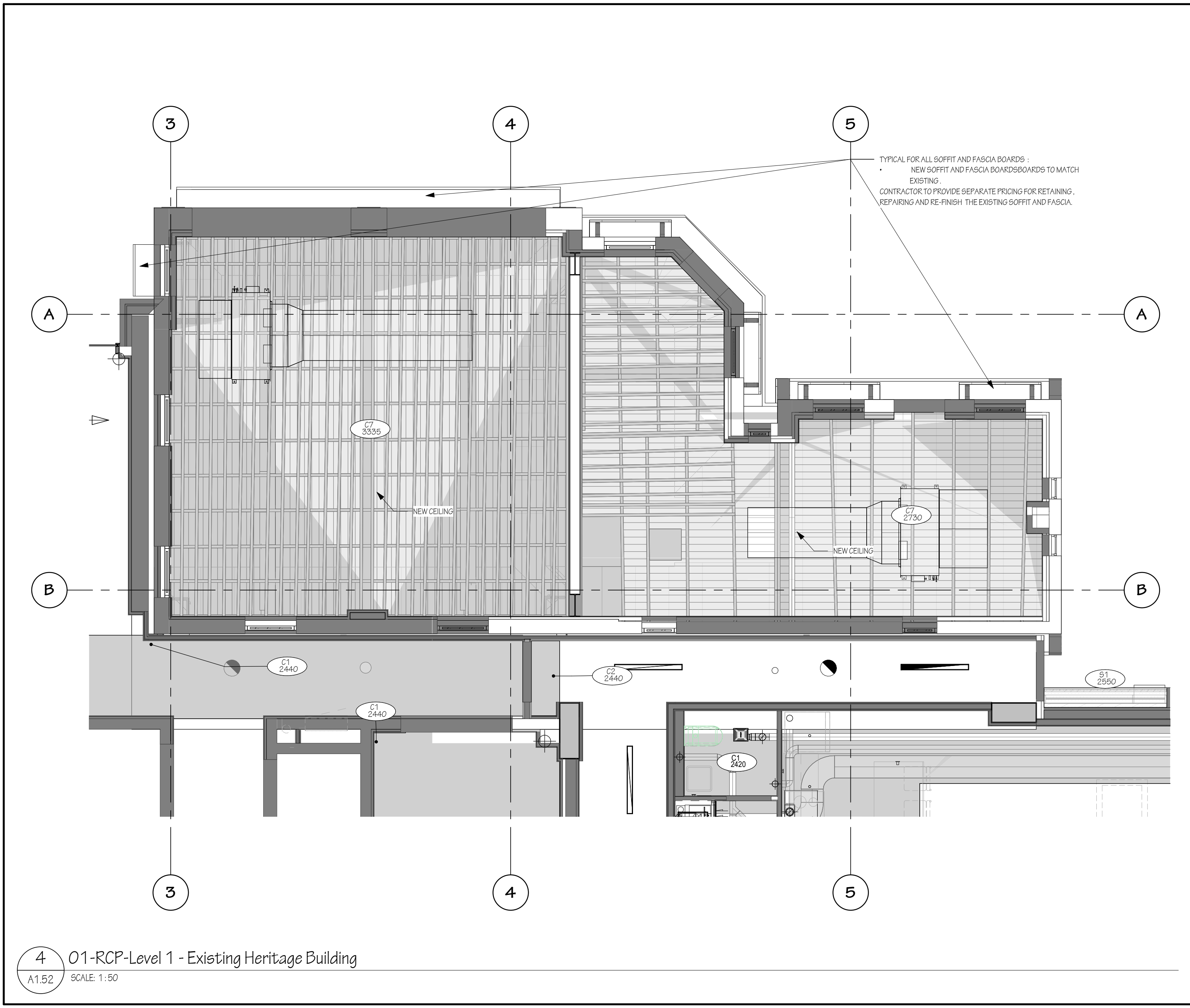
1 01-LEVEL 1-HERITAGE FLOOR PLAN
A1.52 SCALE: 1:50



3 01-SLAB EDGE-LEVEL 1 - HERITAGE BLDG
A1.52 SCALE: 1:50



2 02-LEVEL 2-HERITAGE ROOF PLAN
A1.52 SCALE: 1:50



4 01-RCP-Level 1 - Existing Heritage Building
A1.52 SCALE: 1:50

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2	23/06/21	Issued for SFA
3	23/07/10	Issued for 75% Review
4	23/08/09	Issued for Building Permits
5	23/10/11	Re-issued for SFA

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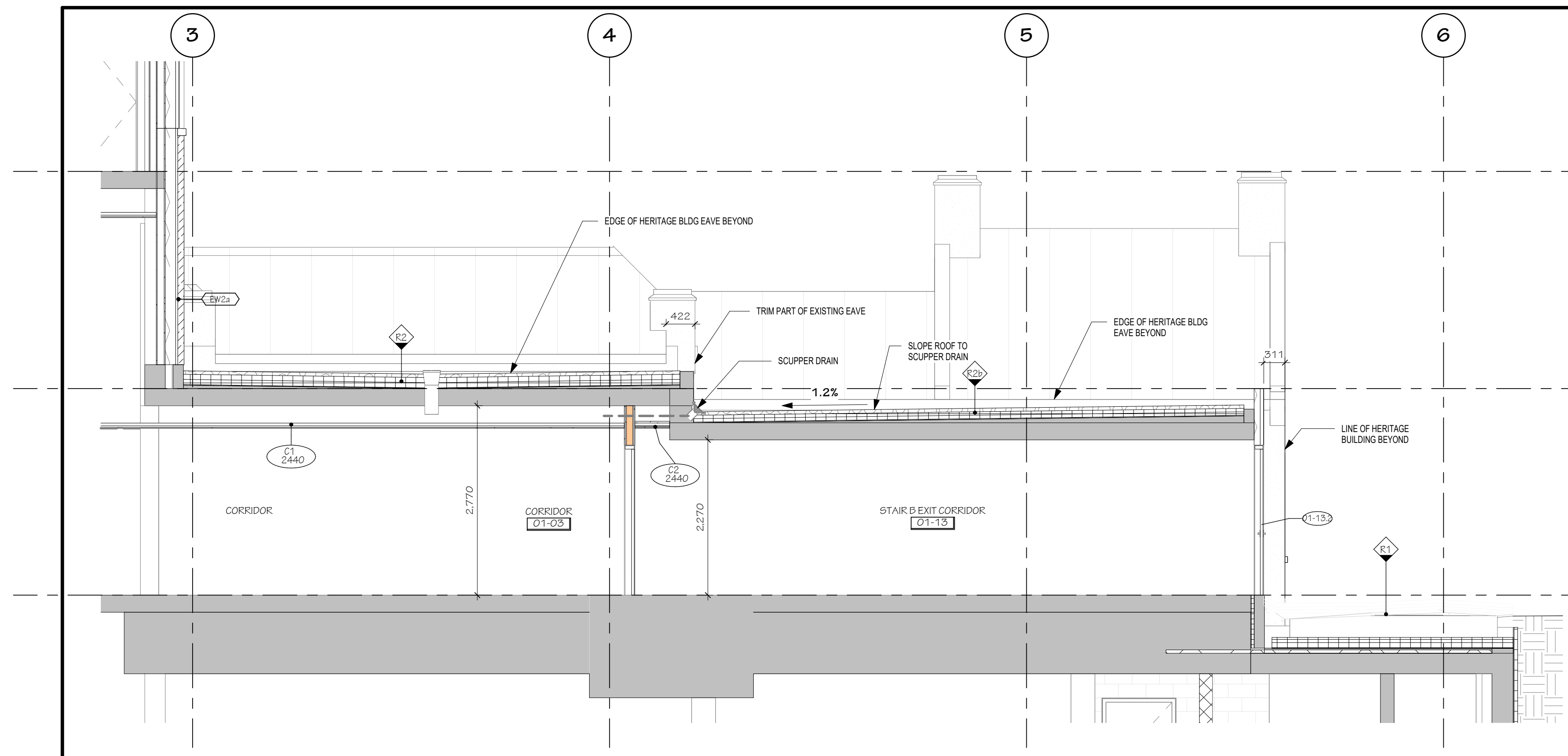
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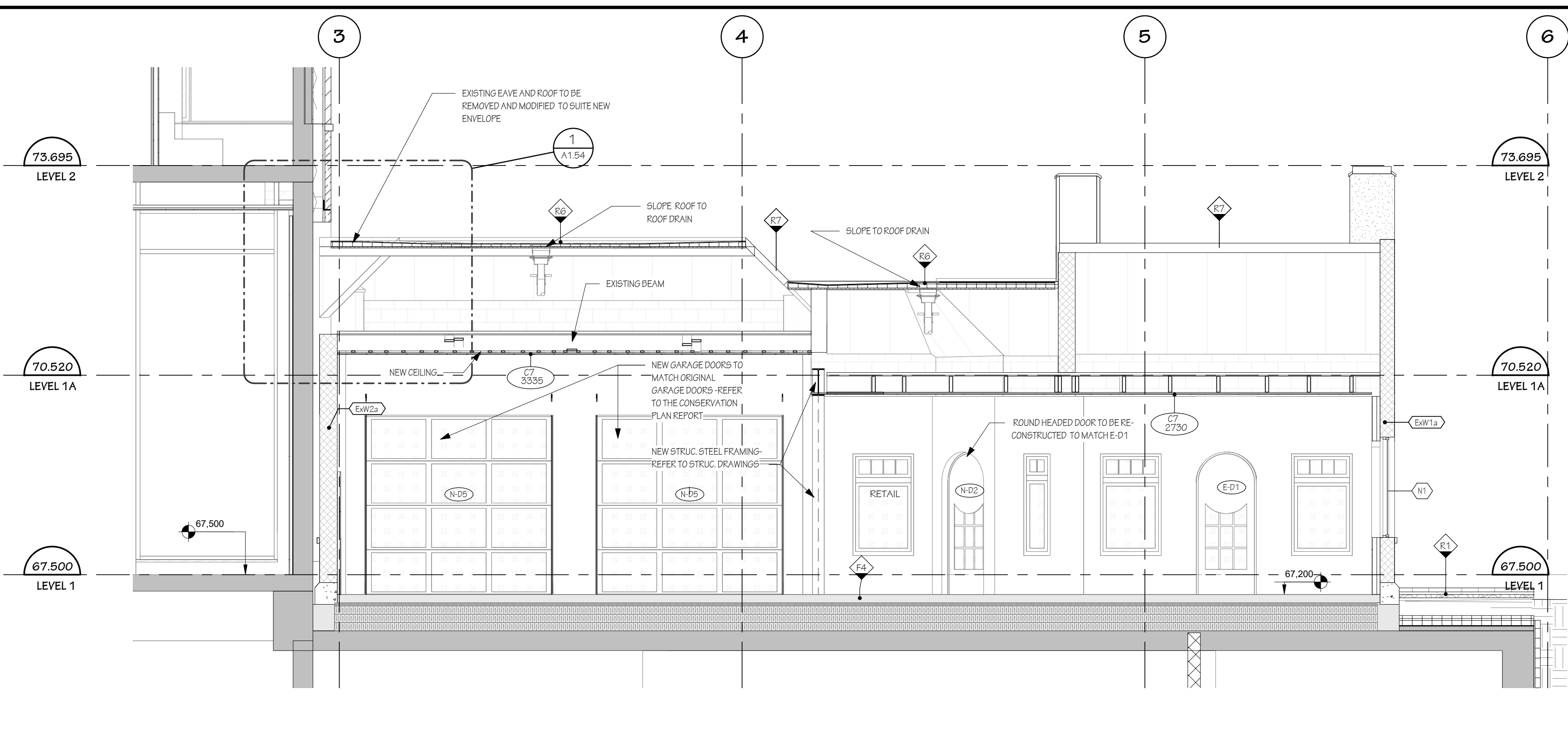
PROJECT
70 RICHMOND
70 RICHMOND RD & 376 ISLAND PARK DR.

DRAWING TITLE
HERITAGE PLANS-NEW LOCATION

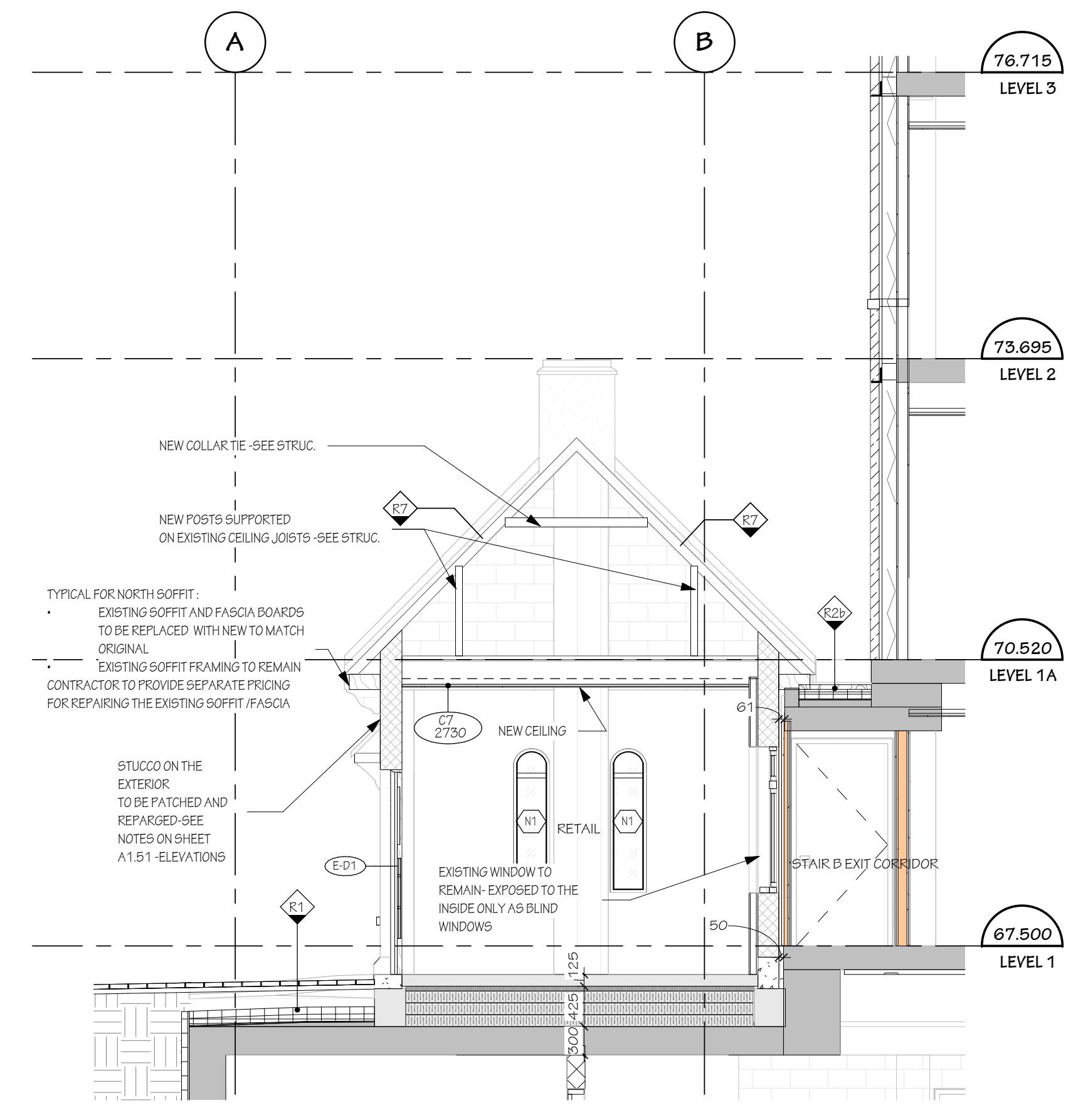
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PROJECT 1909	DRAWING NO. A1.52	REVISION NO. D



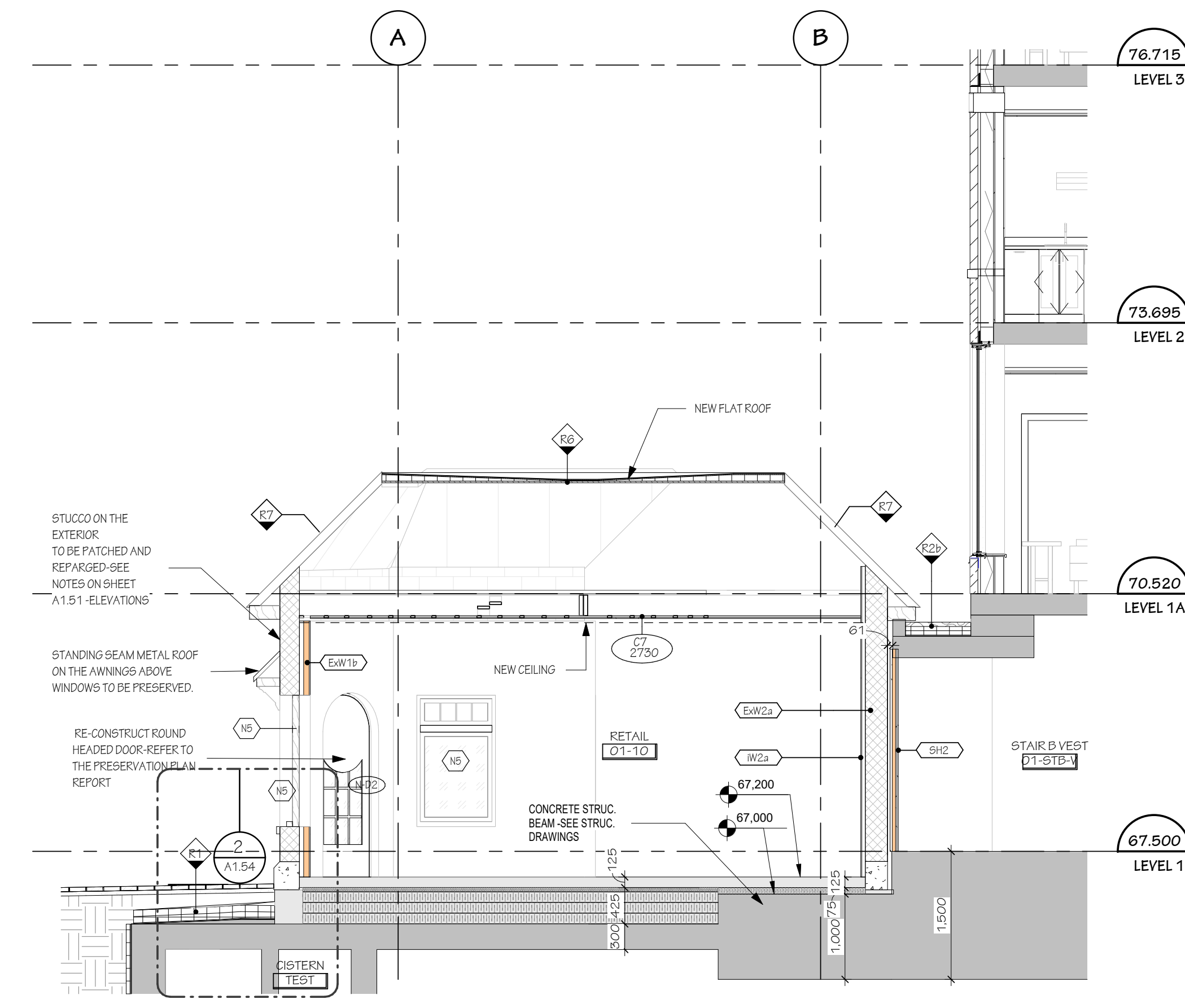
6 BUILDING SECTION 5-LOOKING NORTH
A1.53 SCALE: 1:50



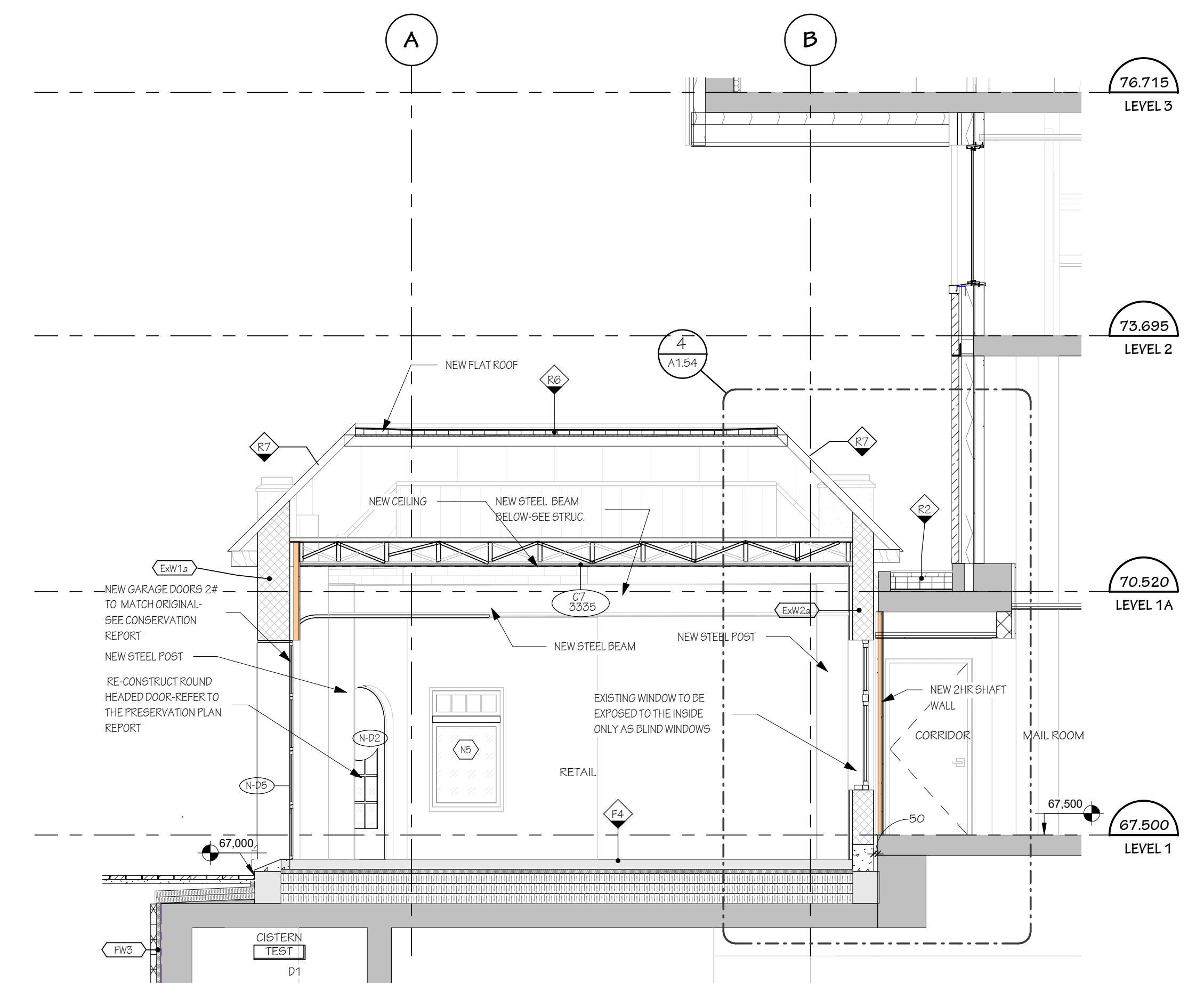
4 HERITAGE SECTION 2-LOOKING NORTH
A1.53 SCALE: 1:50



5 HERITAGE SECTION 2-LOOKING EAST2
A1.53 SCALE: 1:50



1 HERITAGE SECTION 2-LOOKING EAST1
A1.53 SCALE: 1:50



3 HERITAGE SECTION 2-LOOKING EAST
A1.53 SCALE: 1:50

D	231011	Re-issued for SFA
C	230803	Issued for Building Permits
B	230710	Issued for 75% Review
E	230621	Re-issued for SFA
F	230424	Re-issued for SFA
A	230404	Issued for 50% Review
REV	DATE	DESCRIPTION

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HOBIN ARCHITECTURE

PROJECT 70 RICHMOND		
70 RICHMOND RD & 376 ISLAND PARK DR.		
DRAWING TITLE HERITAGE SECTIONS-NEW LOCATION		
DRAWN	DATE	SCALE
Author	01/27/23	1:50
PROJECT		1909
DRAWING NO.		A1.53
REVISION NO.		D