

2	1	2023/11/09	RE-ISSUED FOR ZONING
2	0	2023/09/15	ISSUED FOR ZONING
1	0	2023/06/21	ISSUED FOR SITE PLAN CONTROL

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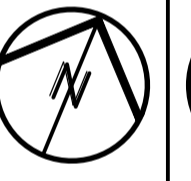
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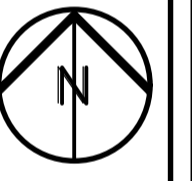
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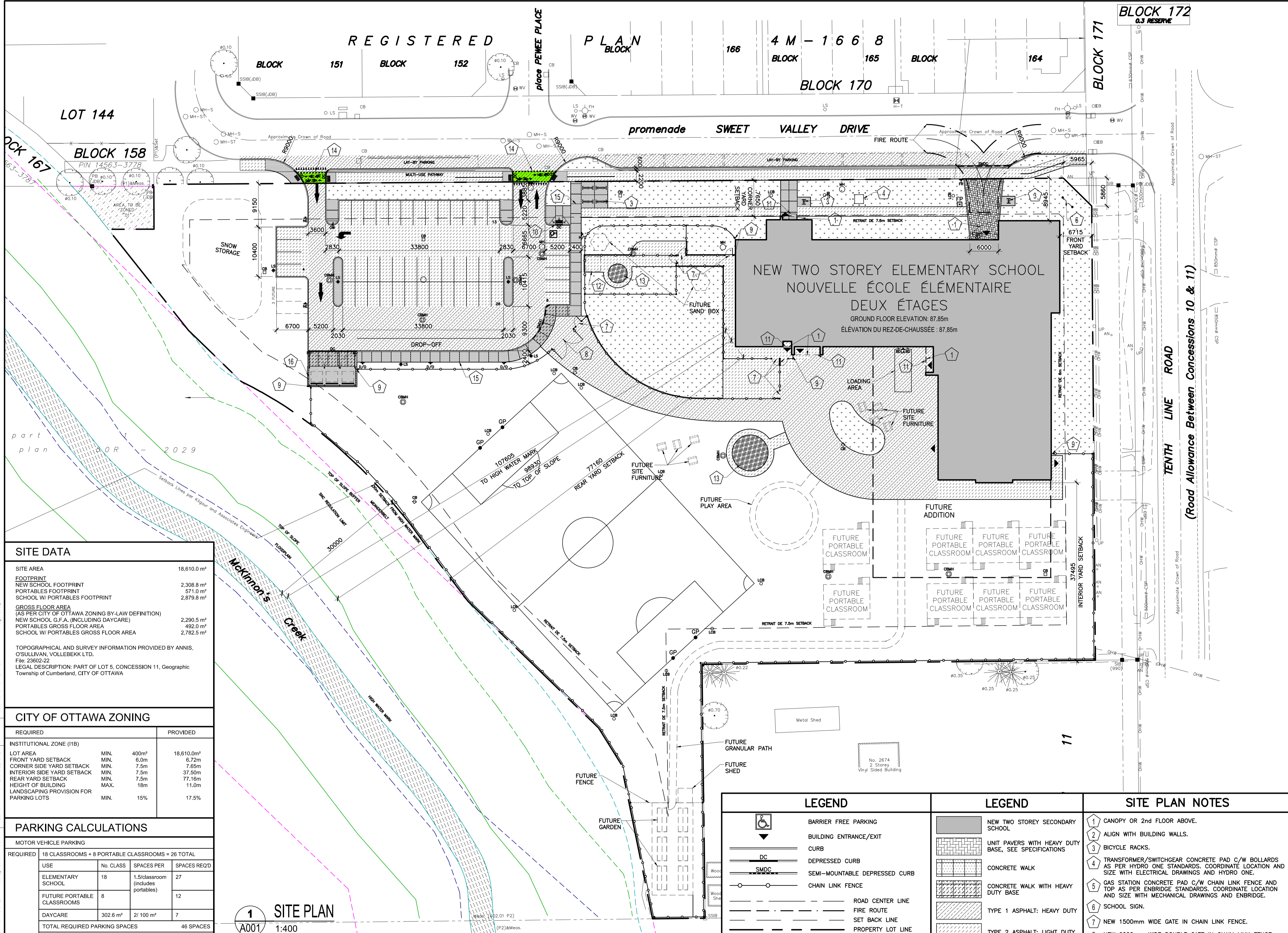
TRUE NORTH



PLAN NORTH



ONTARIO ASSOCIATION OF ARCHITECTS  
ZOFIA ORLOWSKA-DEWICZ  
LICENCE 5281



SITE DATA	
SITE AREA	18,610.0 m <sup>2</sup>
FOOTPRINT	2,308.8 m <sup>2</sup>
NEW SCHOOL FOOTPRINT	571.0 m <sup>2</sup>
PORTABLES FOOTPRINT	2,879.8 m <sup>2</sup>
GROSS FLOOR AREA (AS PER CITY OF OTTAWA ZONING BY-LAW DEFINITION)	
NEW SCHOOL G.F.A. (INCLUDING DAYCARE)	2,290.5 m <sup>2</sup>
PORTABLES GROSS FLOOR AREA	492.0 m <sup>2</sup>
SCHOOL W/ PORTABLES GROSS FLOOR AREA	2,782.5 m <sup>2</sup>
TOPOGRAPHICAL AND SURVEY INFORMATION PROVIDED BY ANNIS, O'SULLIVAN, VOLLEBEKK LTD. File: 23602-22 LEGAL DESCRIPTION: PART OF LOT 5, CONCESSION 11, Geographic Township of Cumberland, CITY OF OTTAWA	

CITY OF OTTAWA ZONING			
REQUIRED		PROVIDED	
INSTITUTIONAL ZONE (I18)			
LOT AREA	MIN. 400m <sup>2</sup>	18,610.0m <sup>2</sup>	
FRONT YARD SETBACK	MIN. 6.0m	6.72m	
CORNER SIDE YARD SETBACK	MIN. 7.5m	7.65m	
INTERIOR SIDE YARD SETBACK	MIN. 7.5m	37.50m	
REAR YARD SETBACK	MIN. 7.5m	77.16m	
HEIGHT OF BUILDING	MAX. 18m	11.0m	
LANDSCAPING PROVISION FOR PARKING LOTS	MIN. 15%	17.5%	

PARKING CALCULATIONS			
MOTOR VEHICLE PARKING			
REQUIRED 18 CLASSROOMS + 8 PORTABLE CLASSROOMS = 26 TOTAL			
USE	No. CLASS	SPACES PER CLASS	SPACES REQ'D
ELEMENTARY SCHOOL	18	1.5/classroom (includes portables)	27
FUTURE PORTABLE CLASSROOMS	8		12
DAYCARE	302.6 m <sup>2</sup>	2/ 100 m <sup>2</sup>	7
TOTAL REQUIRED PARKING SPACES			46 SPACES
TOTAL REQUIRED ACCESSIBLE PARKING SPACES			1 SPACE
PROVIDED SPACES @ 5.2mD X 2.6mW			48 SPACES
TYPE A ACCESSIBLE PARKING SPACES @ 5.2mD X 3.7mW			1 SPACE
TOTAL SPACES PROVIDED			49 SPACES

BICYCLE PARKING			
REQUIRED			
USE	GROSS AREA	SPACES PER 100 m <sup>2</sup> of gross floor area	SPACES REQ'D
SCHOOL	2,560.2 m <sup>2</sup>	1 per 100 m <sup>2</sup> of gross floor area	26 SPACES
DAYCARE	302.6 m <sup>2</sup>	1 per 250 m <sup>2</sup> of gross floor area	2 SPACES
PORTABLES	492 m <sup>2</sup>	1 per 100 m <sup>2</sup> of gross floor area	5 SPACES
TOTAL REQUIRED BICYCLE PARKING SPACES			33 SPACES
PROVIDED TOTAL BICYCLE SPACES PROVIDED			40 SPACES

**1 SITE PLAN**  
A001 1:400

MCKINNON'S CREEK SETBACK LEGEND	
*DATA PROVIDED BY KILGOUR & ASSOCIATES, FIGURE 6, EIS REPORT	
	LIMIT OF AREA TO BE ZONE 01
	MCKINNON'S SETBACK—BASED ON THE GREATEST OF: TOP OF BANK CHANNEL (NHWM) 30m SETBACK FROM TOB CHANNEL (NHWM) TOP OF SLOPE
	TOP OF SLOPE BUFFER (15m)
	MEANDERBELT (60.9m WIDTH; MORRISON—HERSHFIELD, 2017)
	FLOODPLAIN (SNC, 2023)

LEGEND	
	FLAG POLE BASE
	FIRE ROUTE SIGN
	DISABLED PARKING PERMIT (Rb-93)
	DROP-OFF SIGN
	NO ENTRY SIGN
	ONE WAY SIGN
	LOADING AREA SIGN

LEGEND	
	BARRIER FREE PARKING
	BUILDING ENTRANCE/EXIT
	CURB
	DEPRESSED CURB
	SEMI-MOUNTABLE DEPRESSED CURB
	CHAIN LINK FENCE
	ROAD CENTER LINE
	FIRE ROUTE
	SET BACK LINE
	PROPERTY LOT LINE
	BOLLARD
	GOAL POST
	NEW LIGHT STANDARD, SEE ELECTRICAL DRAWINGS
	EXISTING FIRE HYDRANT, SEE SURVEY
	FIRE DEPARTMENT CONNECTION, REFER TO MECHANICAL DRAWINGS
	NEW MANHOLE, REFER TO CIVIL DRAWINGS
	NEW CATCH BASIN MANHOLE, REFER TO CIVIL DRAWINGS
	NEW LANDSCAPE CATCH BASIN, REFER TO CIVIL DRAWINGS
	NEW CATCH BASIN
	IRON BAR, REFER TO SURVEY

LEGEND	
	NEW TWO STOREY SECONDARY SCHOOL
	UNIT PAVERS WITH HEAVY DUTY BASE, SEE SPECIFICATIONS
	CONCRETE WALK
	CONCRETE WALK WITH HEAVY DUTY BASE
	TYPE 1 ASPHALT: HEAVY DUTY
	TYPE 2 ASPHALT: LIGHT DUTY
	NEW SEED AND TOPSOIL (REFER TO LANDSCAPE DRAWING)
	NEW SOD AND TOPSOIL (REFER TO LANDSCAPE DRAWING)
	MULCH (REFER TO LANDSCAPE DRAWING)
	ENGINEERED WOOD FIBER
	EXISTING WATERCOURSE
	AREA TO BE ZONED "01"

SITE PLAN NOTES	
1	CANOPY OR 2nd FLOOR ABOVE.
2	ALIGN WITH BUILDING WALLS.
3	BICYCLE RACKS.
4	TRANSFORMER/SWITCHGEAR CONCRETE PAD C/W BOLLARDS AS PER HYDRO ONE STANDARDS. COORDINATE LOCATION AND SIZE WITH ELECTRICAL DRAWINGS AND HYDRO ONE.
5	GAS STATION CONCRETE PAD C/W CHAIN LINK FENCE AND TOP AS PER ENBRIDGE STANDARDS. COORDINATE LOCATION AND SIZE WITH MECHANICAL DRAWINGS AND ENBRIDGE.
6	SCHOOL SIGN.
7	NEW 1500mm WIDE GATE IN CHAIN LINK FENCE.
8	NEW 6000mm WIDE DOUBLE GATE IN CHAIN LINK FENCE, C/W FOOTBOLT REST.
9	CHAIN LINK FENCE CANTILEVERED END SECTION.
10	CURB RAMP WITH FLARED SIDES AND DETECTABLE HAZARD INDICATOR, CONSTRUCTED TO CITY OF OTTAWA STANDARDS.
11	EXTENT OF 100mm PAVING INSULATION, 1.22m FROM FACE OF FOUNDATION WALL, FLOOR PLAN AND SECTIONS.
12	FUTURE STORAGE SHED N.I.C.
13	ENGINEERED WOOD FIBER PLAY AREA.
14	MULTI-USE PATHWAY CROSSING GREEN PAVEMENT MARKING AS PER CITY OF OTTAWA STANDARD.
15	TYPICAL CONCRETE PAVING SAW-CUT JOINT AT MAXIMUM 2400mm OR AS SHOWN ON DRAWINGS.
16	ENCLOSURE FOR REFUSE CONTAINERS.

**EDWARD J. CUHACI & ASSOCIATES ARCHITECTS Inc.**  
171 Slater St, Suite 100, Ottawa, Ontario, K1P 5H7  
Fax: (613) 236-1944 Telephone: (613) 236-7135 E-mail: info@cuhaci.com

PROJECT TITLE/TITRE DU PROJET  
**ÉCOLE ÉLÉMENTAIRE CATHOLIQUE AVALON III**  
TENTH LINE ROAD  
OTTAWA, ON

CONSEIL DES ÉCOLES CATHOLIQUES DU CENTRE-EST  
4000, RUE LABELLE, OTTAWA, ON K1J 1A1

DRAWING TITLE/TITRE DU DESSIN  
**SITE PLAN**

SCALE	PROJ. No	ISSUE No	REV. No
ECHELLE	1:400	2215	1 0
DRAWN BY	DESIGNÉ PAR	DRAWING/DESSIN	
S.P./S.R.			
CHECKED BY	VERIFIÉ PAR		
S.R./Z.O.J.			
DATE	SEPTEMBER 2022	FICHER ACAD FILE: 2215-A001.dwg	

**A001**