

SITE SURVEY INFORMATION:
 INFORMATION ON THIS PLAN WAS TAKEN FROM THE SURVEY PLAN PREPARED BY ANNIS, O'SULLIVAN, VOLLEBEKK Ltd DATED 2022-11-18

LEGAL DESCRIPTION:
 PLAN OF SURVEY OF PART OF BLOCK A REGISTERED PLAN 4M-121 AND PART OF LOTS 24 AND 25 CONCESSION 3 (OTTAWA FRONT) (GEOGRAPHIC TOWNSHIP OF GLOUCESTER) CITY OF OTTAWA

OTW21-0002-00

SITE STATISTICS

ZONING	IH/IL
GROSS SITE AREA	84,452 SM
PROJECT LIMIT AREA	37,191 SM

Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)

Proposed Use: Warehouse

Regulations (Part 11: Industrial Zones)

	Proposed	Required IH (IL)
Min. Front Yard Building Setback (m)	18.66 m	7.5 m
Min. Interior Side Yard Building Set back (m)	12.29 m	7.5 m
Min.Rear Yard Building Setback (m)	N/A	7.5 m
Min.Landscape Front Yard Setback (m)	4.72 m	3 m
Min.Landscape Side Yard Setback (m)	3.15 m	3 m
Min.Landscape Rear Yard Setback (m)	N/A	3 m
Max. Floor Space Index	0.12	2
Max. Building Height	12 m	22 m (18m)

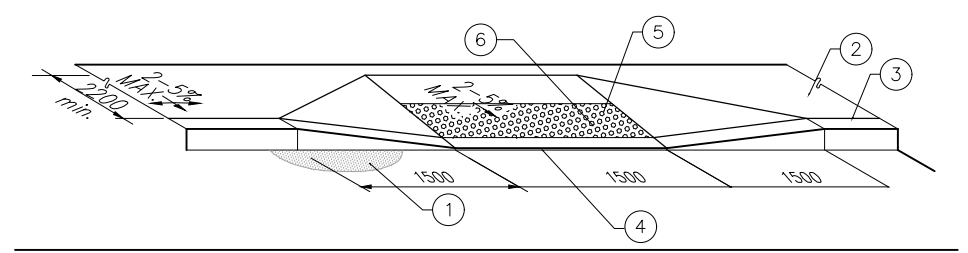
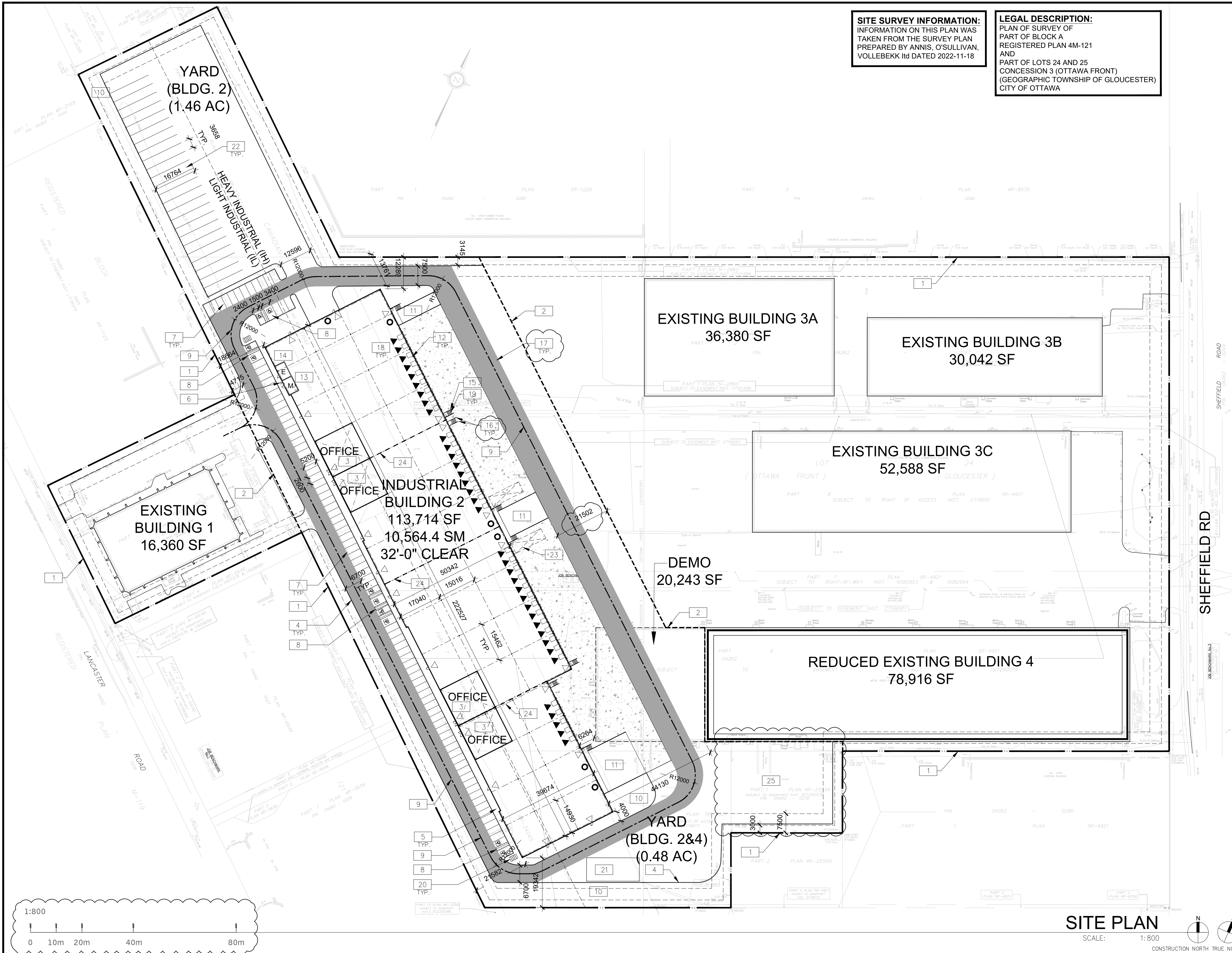
BUILDING FLOOR AREA

Warehouse Area	9,684.40m ²
Office Area	880.00m ²
TOTAL BUILDING GFA	10,564.40m²

PARKING REQUIREMENT

	PROPOSED	REQUIRED
Warehouse GFA @ 0.8 Spaces per 100m ² , first 5000m ²	99	63
Warehouse GFA @ 0.4 Spaces per 100m ² , above 5000m ²	99	63
Total No. of Parking Spaces	99	63
Barrier Free Parking Spaces	10	5

Parking Stall Dimensions	2.6 m X 5.2 m
Barrier Free Parking Stall Type A	3.4m X 5.2m
Barrier Free Parking Stall Type B	2.4m X 5.2m
Bicycle Parking Space Dimensions	1.8m X 0.6m
No. Of Bicycle Parking (Warehouse: 1 per 2000m ² , Office 1 per 250m ²)	10 9
Loading Space Dimensions	3.5m X 9.0m
Oversized Loading Space Dimensions	4.3m X 13.0m
No. Of Loading Spaces	35 2
No. Of Oversized Loading Spaces	2 2
Trailer Parking	26 N/A
DOCK STATISTICS	Proposed
DOCK-HIGH DOORS	35
OVER-HEAD DOORS	6



ACCESSIBLE CURB RAMP

SCALE: N.T.S.

- PAVEMENT
- ACCESSIBLE ROUTE OF PEDESTRIAN TRAVEL 2200mm MIN. (UNLESS OTHERWISE NOTED ON PLANS)
- TOP FACE OF CURB
- DEPRESSED CURB
- TRUNCATED DOMES WITH A HEIGHT OF 4.5-5.5mm, BASE DIAMETER OF 21-25mm, REGULAR SPACING PATTERN AT 55-65mm ON CENTRE
- A MINIMUM 600mm WIDE SECTION DETECTABLE WARNING SURFACE SHALL BE PROVIDED WHEN FLAT TRAVEL SURFACE ADJACENT TO A VEHICULAR WAY (0mm CURB FACE)

SITE PLAN NOTES

- PROPERTY LINE
- PROJECT LIMIT LINE
- PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 150mm WIDE CURB TYPICAL
- SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
- FIRE DEPARTMENT/SIAMESE CONNECTION
- 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
- TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250. EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m X 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (---)
- LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- DRIVE-IN RAMP BOUNDED BY RETAINING WALLS WITH GUARDRAILS WHERE GRADE CHANGE IS MORE THAN 600mm - REFER TO CIVIL DWGS
- 12.0m x 3.5m TRUCK LOADING SPACE (TYP.)
- PROPOSED LOCATION OF MECHANICAL RM

- PROPOSED LOCATION OF ELECTRICAL RM
- GALVANIZED STEEL GUARDRAIL WITH HANDRAIL
- STEEL BOLLARD
- SHADED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- TRUCK LOADING DOCK (TYP.)
- EXTERIOR GALVANIZED STEEL STAIRS
- GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- SNOW STORAGE AREA
- TRUCK TRAILER PARKING
- 3m x 4.3m OVERSIZED TRUCK LOADING SPACE
- FUTURE TENANT DEMISING WALL. SUBJECT TO TENANT FIT UP
- EXISTING TRUCK CURB BEHIND BUILDING 4 TO BE REPAVED.

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- NEW RIVER STONE AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- GAS METER LOCATION.
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- PYLON SIGNAGE
- CONCRETE SIDEWALK
- ASPHALT PATHWAY
- STONE DUST PATHWAY



KEY PLAN

SCALE: N.T.S.

WARE MALCOMB

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2760-2770 SHEFFIELD RD.

OTTAWA

ON K1B 3V9, CANADA.

SITE PLAN

DATE	REMARKS
2023-05-17	ISSUED FOR SPA
2023-08-31	REISSUED FOR SPA

PAP/PM:	J. HOLLAND
DRAWN BY.:	
JOB NO.:	OTW21-0002-00

SHEET

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