

ZONING PROVISION	REQUIRED	PROVIDED	PARKING QUEUING + LOADING	REQUIRED	PROVIDED
MIN. LOT WIDTH	75 m	228.93 m	PARKING SPACES INCLUDING: • COMMUNITY HALL (388x4/100 = 16) • SPORT FIELD (3x4=12) • EXISTING FIRE STATION (357x1/100=4)	16	
MIN. LOT AREA	10000 m <sup>2</sup>	37582 m <sup>2</sup>		12	
MIN. FRONT YARD SETBACK	9 m	70.65 m		4	
MIN. CORNER YARD SETBACK	9 m	N/A			
MIN. REAR YARD SETBACK	10 m	65.69 m	TOTAL PARKING SPACES	32	44
MIN. INTERIOR YARD SETBACK	9 m	76.82 m (WEST) 118.20 m (EAST)	ACCESSIBLE SPACES	1	2
MAX. HEIGHT	10 m	6.67 m	BICYCLE PARKING	1	12
LOT COVERAGE	30% MAX. 11275 m <sup>2</sup>	2.4% 917 m <sup>2</sup>			
LANDSCAPED AREA	20% MIN. 7516 m <sup>2</sup>	97.6% 36665 m <sup>2</sup>			

**LEGAL DESCRIPTION**  
CITY OF OTTAWA,  
PIN 04540-0186  
PIN 04540-0187

**REFERENCE SURVEY**  
BASED ON THE TOPOGRAPHIC SKETCH OF BLOCK A, REGISTERED PLAN M-4248, GEOGRAPHIC TOWNSHIP OF HUNTLEY, CITY OF OTTAWA.  
TOPOGRAPHIC SKETCH IS ISSUED BY OTTAWA PLANNING, INFRASTRUCTURE AND ECONOMIC DEVELOPMENT DEPARTMENT, SURVEYS AND MAPPING BRANCH.  
FIELD SURVEY ACCOMPLISHED AND CERTIFIED BY THE ONTARIO LAND SURVEYOR SAEID SEDAGHAT AT SEPTEMBER 14, 2022.

**MUNICIPAL ADDRESS**  
3347 & 3349 OLD ALMONTE RD.  
CARP, ON, CANADA

**SITE AREA** 37582m<sup>2</sup>  
**BUILDING AREA** 507.6 m<sup>2</sup>  
**GROSS FLOOR AREA PER ZONING** 388.1 m<sup>2</sup>  
**BUILDING HEIGHT** 6.67 m / 1 STOREY  
**ZONE** RI3

**SITE PLAN GENERAL NOTES:**

- A. DO NOT SCALE THIS DRAWING
- B. REPORT ANY DISCREPANCIES PRIOR TO COMMENCING WORK. NO RESPONSIBILITY IS BORN BY THE CONSULTANT FOR UNKNOWN SUBSURFACE CONDITIONS
- C. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY ERRORS AND/OR OMISSIONS TO THE CONSULTANT
- D. REINSTATE ALL AREAS AND ITEMS DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO THE SATISFACTION OF THE CONSULTANT
- E. CONTRACTOR TO LAYOUT PLANTING BEDS, PATHWAYS ETC. TO APPROVAL OF CONSULTANT PRIOR TO ANY JOB EXCAVATION
- F. THE ACCURACY OF THE POSITION OF UTILITIES IS NOT GUARANTEED - CONTRACTOR TO VERIFY PRIOR TO EXCAVATION
- G. INDIVIDUAL UTILITY COMPANY MUST BE CONTACTED FOR CONFIRMATION OF UTILITY EXISTENCE AND LOCATION PRIOR TO DIGGING
- H. ALL DISTURBED AREAS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER UNLESS OTHERWISE NOTED

**NEW SITE PLAN LEGEND**

- EXISTING BUILDING TO REMAIN
- DEMOLISH EXISTING BUILDING AND OBJECTS
- EXISTING BUILDING NOT IN CONTRACT
- NEW ADDITION BUILDING
- EXISTING ASPHALT TO REMAIN
- NEW ASPHALT
- EXISTING CONCRETE SIDEWALK TO REMAIN
- NEW CONCRETE SIDEWALK
- EXISTING CRUSHED STONE PARKING TO REMAIN
- NEW GRANULAR PER LANDSCAPING
- EXISTING PLANTING TO REMAIN
- NEW PLANTING
- NEW GRASS
- EXISTING SAND PLAYGROUND TO REMAIN
- NEW SAND PLAYGROUND
- MUD SLAB PER CIVIL. (TEMPORARY CONSTRUCTION)
- PROPERTY LINE
- SETBACK LINE
- ROAD SETBACK
- OVERHEAD
- EXISTING FENCE TO REMAIN
- NEW FENCE
- TEMPORARY FENCE FOR PERIOD OF CONSTRUCTION
- TREE PROTECTION PER LANDSCAPING
- EXISTING WATER SUPPLY TO REMAIN
- NEW WATER SUPPLY
- EXISTING SANITARY TO REMAIN
- NEW SANITARY
- NEW STORM
- EXISTING ELECTRICAL SERVICE TO REMAIN (BELOW GRADE)
- NEW ELECTRICAL SERVICE (BELOW GRADE)
- BUILDING ENTRANCE / EXIT
- LIGHT STAND - EXISTING
- LIGHT STAND - NEW
- MANHOLE - EXISTING
- MANHOLE - NEW
- UTILITY POLE - EXISTING
- UTILITY POLE - NEW
- TREE - EXISTING
- TREE - NEW
- 80 TEMPORARY CONSTRUCTION PERIMETER BARRIER PER CIVIL
- 81 RELOCATE EXISTING PRECAST STORAGE UNITS AT NEW POSITION AS SHOWN. REPLACE EXISTING SOIL WITH COMPACTED GRANULAR B TO FROST PROTECTION DEPTH PER GEOTECHNICAL REPORT. PROVIDE 200mm DEEP COMPACTED GRANULAR A BED UNDER PRECAST UNITS
- 82 NEW WASTE BIN STORAGE COMPLETED WITH 1829mm HIGH ENCLOSURE AND 1067mm WIDE ACCESS GATE.
- 83 NEW TREE PER LANDSCAPING

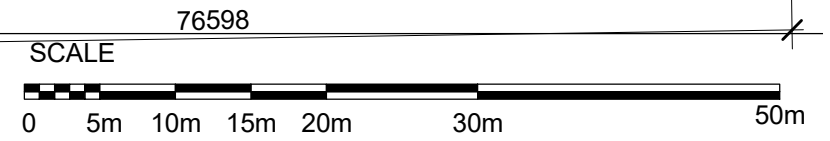
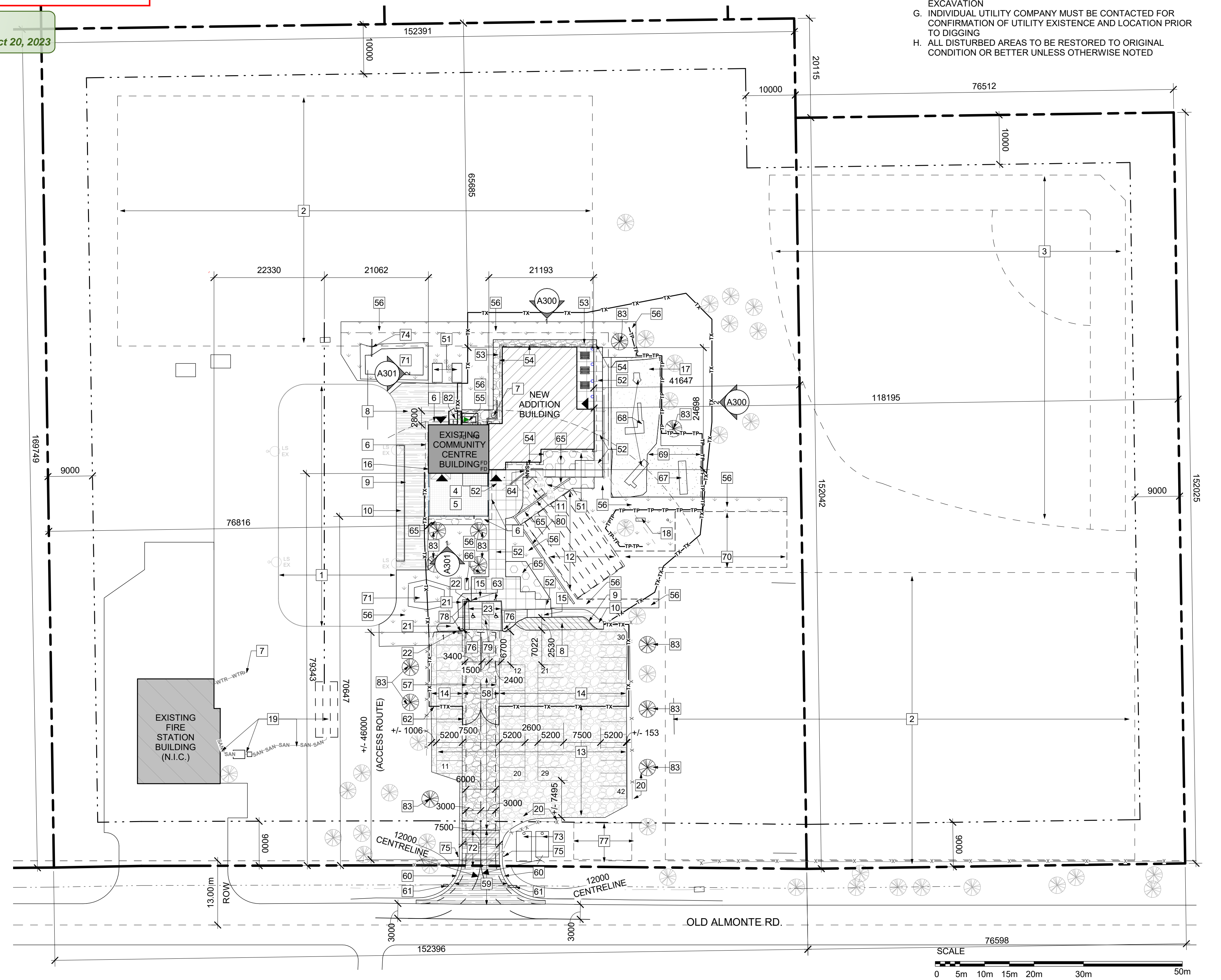
**SITE PLAN KEYNOTES:**

- 1 EXISTING SKATING RING TO REMAIN
- 2 EXISTING SOCCER FIELD TO REMAIN
- 3 EXISTING BASEBALL DIAMOND TO REMAIN
- 4 EXISTING COVERED DECK TO REMAIN
- 5 EXISTING PORCH STRUCTURES AND FENCE TO REMAIN
- 6 EXISTING ROOF OVERHANG ABOVE TO REMAIN
- 7 EXISTING DRILLED WELL TO REMAIN. VERIFY LOCATION ON SITE. PROTECT WELL PER CIVIL. REGRADE ADJACENT SURFACE PER CIVIL.
- 8 EXISTING ASPHALT PAVING TO REMAIN
- 9 EXISTING CURB TO REMAIN
- 10 EXISTING ASPHALT SIDEWALK TO REMAIN
- 11 EXISTING SEPTIC TANK TO REMAIN
- 12 EXISTING SEPTIC DRAIN FIELD TO REMAIN. ELIMINATE AUTOMOBILE AND EQUIPMENT MOVEMENT OVER THIS AREA
- 13 PARKING SPACES RESERVED FOR SOCCER TEAMS DURING CONSTRUCTION
- 14 EXISTING GRAVEL PARKING TO REMAIN
- 15 EXISTING ACCESSIBLE CONCRETE CURB RAMP AND DEPRESSED CURB TO REMAIN
- 16 EXISTING HOSE BIB TO REMAIN. ENSURE RUNNING WATER FOR HOCKEY RING DURING CONSTRUCTION.
- 17 EXISTING PLAYGROUND TO REMAIN
- 18 EXISTING BENCH TO REMAIN
- 19 EXISTING SEPTIC FIELD AND SANITARY SERVICE. SHOWN LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS ON SITE.
- 20 PORTION OF EXISTING LUMBER FENCE TO REMAIN. COORDINATE EXTENT ON SITE.
- 21 PORTION OF EXISTING ASPHALT SIDEWALK TO REMAIN
- 22 PORTION OF EXISTING CONCRETE CURB TO REMAIN
- 23 PORTION OF EXISTING ASPHALT PAVING TO REMAIN
- 51 REQUIRED STRUCTURE SETBACK
- 52 NEW CONCRETE PAVING PER LANDSCAPING
- 53 NEW GRANULAR PER LANDSCAPING
- 54 NEW ROOF OVERHANG ABOVE
- 55 NEW HEAT PUMP AND CONDENSING UNITS PER MECHANICAL ON CONCRETE PAD. SURROUND BY LINK FENCE WITH LOCKABLE ACCESS GATE.
- 56 NEW TOP SOIL AND GRASS AT AREA AFFECTED BY CONSTRUCTION AND PER LANDSCAPING
- 57 NEW ACCESS ROUTE FOR FIRE DEPARTMENT (SHOWN DASHED). CLEAR WIDTH 6000mm MIN., CENTERLINE RADIUS 12000mm MIN.
- 58 NEW HEAVY DUTY GRAVEL PAVEMENT STRUCTURE DESIGNED TO SUPPORT FIREFIGHTING EQUIPMENT AND PERMIT ACCESSIBILITY UNDER ALL CLIMATIC CONDITIONS PER CIVIL
- 59 NEW ASPHALT HEAVY DUTY PAVEMENT STRUCTURE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT PER CIVIL.
- 60 EXTEND DRIVEWAY PER CIVIL AS REQUIRED. VERIFY EXTENT OF EXISTING DRIVEWAY ON SITE.
- 61 EXTEND CULVERT PER CIVIL AS REQUIRED. VERIFY EXTENT OF EXISTING CULVERT ON SITE.
- 62 TEMPORARY FENCING COMPLETED WITH ACCESS GATES FOR PERIOD OF CONSTRUCTION
- 63 NEW POST AND ACCESSIBLE PARKING SIGN.
- 64 NEW SANITARY SEWAGE PER CIVIL
- 65 NEW PLANTING PER LANDSCAPING
- 66 INSTALL SALVAGED BICYCLE RACKS. ADJUST AS REQUIRED.
- 67 INSTALL SALVAGED SWINGS PER LANDSCAPING
- 68 INSTALL SALVAGED PLAY STRUCTURES PER LANDSCAPING
- 69 NEW PLAY GROUND EXTENSION PER LANDSCAPING
- 70 AREA FOR FUTURE SEPTIC FIELD EXPANSION PER LANDSCAPING
- 71 POND PER CIVIL
- 72 TEMPORARY CONSTRUCTION. MUD MAT PER CIVIL ON TOP OF EXISTING ASPHALT SITE ENTRANCE.
- 73 NEW HOLDING TANKS FOR FIRE PROTECTION PER CIVIL C/W FIRE SERVICE CONNECTIONS AND ROUND ACCESS OPENINGS.
- 74 COVERED DRAINAGE PIPE PER CIVIL
- 75 NEW POST AND SIGN C/W WORDING: " 6 METER WIDE FIRE ROUTE WITHIN PARKING AISLE. NO PARKING ON FIRE ROUTE."
- 76 NEW POST AND SIGN C/W WORDING: " END OF FIRE ROUTE."
- 77 SNOW STORAGE AREA
- 78 PROVIDE NEW CONCRETE CURB AS REQUIRED FOR NEW ACCESSIBLE PARKING CONSTRUCTION. REINSTATE ASPHALT PAVING AND BASE COURSES. MATCH EXISTING CONCRETE CURB AND EXISTING PAVING ASSEMBLIES AT SIDEWALK AND PARKING SPOTS. MAKE ALL JUNCTION SMOOTH AND IN STRAIGHT LINES
- 79 PROVIDE NEW CONTRASTING PAINTING AT FACE OF ASPHALT WITHIN 500mm ACCESS AISLE. REINSTATE PAVING MARKINGS CONTAINING INTERNATIONAL SYMBOL OF ACCESSIBILITY.

*Sean Harrigan*

**SEAN HARRIGAN**  
PLANNER  
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
By Sean Harrigan at 8:52 am, Oct 20, 2023



**1 OVERALL SITE PLAN - NEW**  
A100 | 1:500

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2611 Queensview Dr, Suite 300  
Ottawa, Ontario, K2B 8K2 Canada  
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wsp.com

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chorley.com

**ELECTRICAL ENGINEER**  
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**SURVEYOR**  
City of Ottawa Planning, Infrastructure and  
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Surveys & Mapping Branch  
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613-580-2400



**STAMP**

REV	DATE	ISSUE
13	2023/06/12	ISSUED FOR SPC RESUBMISSION
12	2023/04/25	ISSUED FOR SPC RESUBMISSION
10	2022/11/08	ISSUED FOR SITE PLAN CONTROL REVIEW
6	2022/04/22	ISSUED FOR TENDER
3	2022/02/23	ISSUED FOR SITE PLAN CONTROL

**NOTES**

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**CITY OF OTTAWA**

OTTAWA  
ONTARIO, CANADA

**CORKERY COMMUNITY HALL EXPANSION**

3447 OLD ALMONTE RD., CARP,  
ON K0A 1L0

**SITE PLAN**

PROJECT NO: 2020-0640  
DRAWN: JS  
APPROVED: IK  
SCALE: As indicated  
DATE PRINTED: 2023-06-12 4:50:28 PM

REV DRAWING NO.

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4	2022/02/23	ISSUED FOR BUILDING PERMIT AND TENDER

REV DATE ISSUE



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CLIENT

CITY OF OTTAWA

OTTAWA  
 ONTARIO, CANADA

PROJECT

CORKERY COMMUNITY HALL EXPANSION

3447 OLD ALMONTE RD., CARP,  
 ON K0A 1L0

TITLE

DEMOLITION SITE PLAN

PROJECT NO: 2020-0640  
 DRAWN: IK  
 APPROVED: JS  
 SCALE: As indicated  
 DATE PRINTED: 2023-06-12 4:50:29 PM

REV DRAWING NO.

DEMOLITION SITE PLAN KEYNOTES:

- EXISTING SKATING RING TO REMAIN
- EXISTING SOCCER FIELD TO REMAIN
- EXISTING BASEBALL DIAMOND TO REMAIN
- EXISTING COVERED DECK TO REMAIN
- EXISTING PORCH STRUCTURES AND FENCE TO REMAIN
- EXISTING ROOF OVERHANG ABOVE TO REMAIN
- EXISTING DRILLED WELL TO REMAIN. PROTECT WELL PER CIVIL.
- EXISTING ASPHALT PAVING TO REMAIN
- EXISTING CURB TO REMAIN
- EXISTING ASPHALT SIDEWALK TO REMAIN
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- EXISTING SEPTIC DRAIN FIELD TO REMAIN. ELIMINATE AUTOMOBILE AND EQUIPMENT MOVEMENT OVER THIS AREA
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- EXISTING GRAVEL PARKING TO REMAIN
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- EXISTING HOSE BIB TO REMAIN. ENSURE RUNNING WATER FOR HOCKEY RING DURING CONSTRUCTION.
- EXISTING PLAYGROUND TO REMAIN
- EXISTING BENCH TO REMAIN
- EXISTING SEPTIC FIELD AND SANITARY SERVICE. SHOWN LOCATIONS ARE APPROXIMATE. VERIFY LOCATIONS ON SITE.
- PORTION OF EXISTING LUMBER FENCE TO REMAIN. COORDINATE EXTENT ON SITE.
- PORTION OF EXISTING ASPHALT SIDEWALK TO REMAIN
- PORTION OF EXISTING CONCRETE CURB TO REMAIN
- PORTION OF EXISTING ASPHALT PAVING TO REMAIN
- REQUIRED STRUCTURE SETBACK
- REMOVE EXISTING TREE
- REMOVE EXISTING BENCH. REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- REMOVE EXISTING ASPHALT PAVING AND BASE COURSES AS REQUIRED FOR NEW CONSTRUCTION. CUT ASPHALT IN STRAIGHT LINE.
- REMOVE EXISTING SHRUBS
- REMOVE EXISTING BOULDER
- REMOVE PORTION OF EXISTING PLAYGROUND AS REQUIRED FOR FOUNDATION EXCAVATION AND NEW LANDSCAPING. MINIMIZE REMOVAL ON SITE.
- EXCAVATE AS REQUIRED FOR FOUNDATION CONSTRUCTION PER GEOTECHNICAL. CONSIDER EXTENT OF EXCAVATION SLOPES PER GEOTECHNICAL.
- NEW SHORING AS REQUIRED TO PROTECT EXISTING WATER WELL / SANITARY TANK FOR PERIOD OF WORK. REMOVE UPPER PORTION OF SHORING FOR PROPER LANDSCAPING WHEN SAFE FOR WELL AT THE END OF CONSTRUCTION.
- PROTECT EXISTING FOUNDATION FOR PERIOD OF WORK. PROVIDE ADEQUATE UNDERPINNING AND SHORING AS REQUIRED.
- REMOVE EXISTING PLANTING AS REQUIRED FOR EXCAVATION.
- REMOVE EXISTING ROOF AS REQUIRED FOR NEW CONSTRUCTION.
- REMOVE PROPANE TANKS SURROUNDED BY LINK FENCE AND ALL ASSOCIATED COMPONENTS
- VERIFY EXISTING GRAVEL THICKNESS ON SITE. REMOVE EXISTING GRAVEL AND SOIL IF REQUIRED TO ACCOMMODATE NEW HEAVY DUTY GRAVEL ACCESS ROUTE ASSEMBLY.
- VERIFY EXISTING ROAD ASSEMBLY ON SIDE. REMOVE EXISTING ASPHALT PAVING, ASSOCIATED BASE COURSES AND SOIL IF REQUIRED FOR NEW ACCESS ROUTE HEAVY DUTY PAVING STRUCTURE.
- TEMPORARY FENCING COMPLETED WITH ACCESS GATES FOR PERIOD OF CONSTRUCTION
- REMOVE EXISTING SANITARY MAIN FROM EXISTING BUILDING TO EXISTING SEPTIC TANK TO REMAIN
- REMOVE EXISTING SWING. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- REMOVE EXISTING PLAY STRUCTURE. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- REMOVE EXISTING BICYCLE RACKS. INSPECT, REPAIR, CLEAN AND STORE FOR RE-USE AT NEW CONSTRUCTION
- REMOVE EXISTING LUMBER FENCE AND POSTS. COORDINATE ON SITE EXTENT OF REMOVAL TO THE NEAREST POST. FILL AND COMPACT THE HOLES AFTER POST REMOVAL. REINSTATE TOP SOIL AND SEED GRASS AT AFFECTED AREAS.
- REMOVE PORTION OF EXISTING CURB AND ASPHALT PAVING AND BASE COURSES AS REQUIRED FOR NEW CURB CONSTRUCTION. CUT ASPHALT IN STRAIGHT LINE. MINIMIZE REMOVAL.
- REMOVE EXISTING PAINTING FROM THE FACE OF ASPHALT. PROTECT EXISTING TO REMAIN ASPHALT
- ACCURATELY REMOVE EXISTING PRECAST STORAGE UNIT FOR RELOCATION TO NEW POSITION. REMOVE EXISTING BEDDING AND FOUNDATION UNDER THE EXISTING PRECAST UNIT AS REQUIRED FOR NEW GRADING.

SITE PLAN GENERAL NOTES:

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DEMOLITION SITE PLAN LEGEND

	EXISTING BUILDING TO REMAIN
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	EXISTING BUILDING NOT IN CONTRACT
	EXISTING ASPHALT TO REMAIN
	EXISTING ASPHALT TO REMOVE
	EXISTING CONCRETE SIDEWALK TO REMAIN
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	PROPERTY LINE
	SETBACK LINE
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	EXISTING FENCE TO REMAIN
	DEMOLISH EXISTING FENCE
	EXISTING ELECTRICAL SERVICE TO REMAIN (BELOW GRADE)
	EXISTING WATER SUPPLY TO REMAIN
	EXISTING SANITARY TO REMAIN
	BUILDING ENTRANCE / EXIT
	LIGHT STAND - EXISTING TO REMAIN
	MANHOLE - EXISTING TO REMAIN
	UTILITY POLE - EXISTING TO REMAIN
	TREE - EXISTING TO REMAIN
	TREE - DEMOLITION
	SHRUB - EXISTING OT REMAIN
	SHRUB - DEMOLITION



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STAMP

13	2023/06/12	ISSUED FOR SPC RESUBMISSION
6	2022/04/22	ISSUED FOR TENDER
4	2022/02/23	ISSUED FOR BUILDING PERMIT AND TENDER
3	2022/02/23	ISSUED FOR SITE PLAN CONTROL
	REV DATE	ISSUE

NOTES

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CLIENT

CITY OF OTTAWA

OTTAWA  
 ONTARIO, CANADA

PROJECT

CORKERY COMMUNITY  
 HALL EXPANSION

3447 OLD ALMONTE RD., CARP,  
 ON K0A 1L0

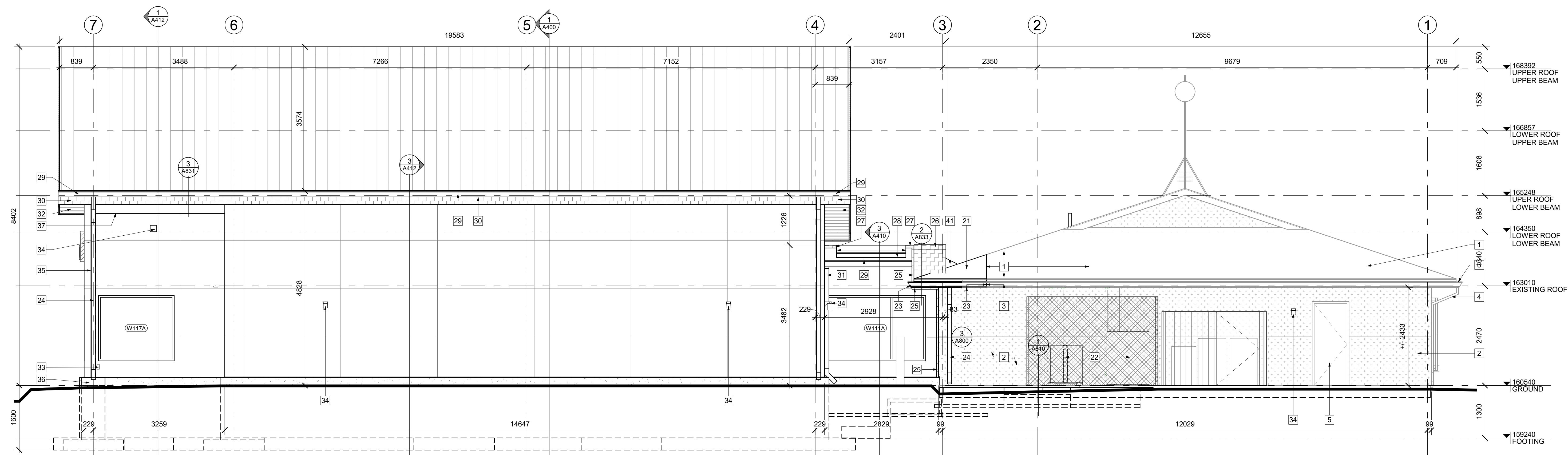
TITLE

NORTH AND EAST  
 ELEVATIONS

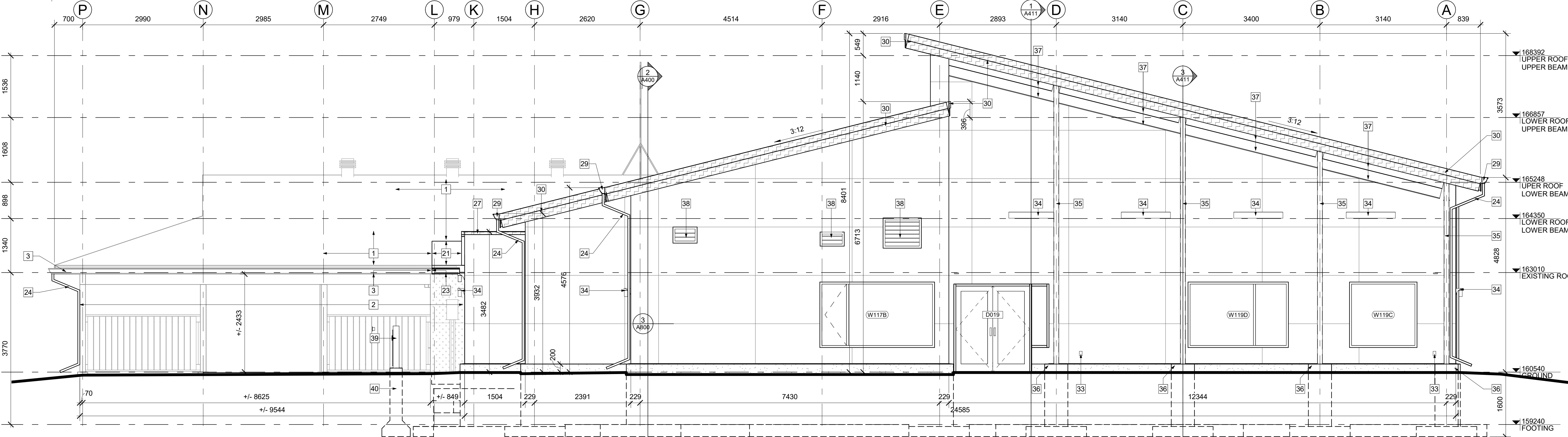
PROJECT NO: 2020-0640  
 DRAWN: IK  
 APPROVED: JS  
 SCALE: 1:50  
 DATE PRINTED: 2023-06-13 2:07:40 PM

REV DRAWING NO.

13 A300



1 CD-ELEX-1N-NORTH ELEVATION - NEW  
 A300 1:50



2 EAST ELEVATION  
 A300 1:50

GENERAL NOTES:

- CONTRACTOR TO COORDINATE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATIONS GUIDELINES FOR ALL MATERIAL SEALING, TRANSITIONS, SEPARATIONS, FLASHING DETAILS, CONNECTIONS, ANCHORAGES, ETC. CONTRACTOR TO PROVIDE DETAIL DRAWINGS OR MOCK-UP FOR ARCHITECT'S REVIEW AND APPROVAL FOR ALL SPECIAL CONDITIONS NOT SHOWN IN THE CONTRACT DOCUMENTS.
- COORDINATE ALL GRADE ELEVATIONS WITH CIVIL ENGINEERING DRAWINGS

EXTERIOR MATERIALS LEGEND

HATCH PATTERNS SHOWN ARE FOR GRAPHIC PURPOSES ONLY AND SHOULD BE COORDINATED WITH ACTUAL SPECIFIED MATERIALS.

HATCH	SYMBOL	DESCRIPTION
[Hatch Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Hatch Pattern]	[Symbol]	STANDING SEAM ROOFING MANUFACTURER: TBD COLOUR: TBD

HATCH	SYMBOL	DESCRIPTION
[Hatch Pattern]	[Symbol]	NEW ASPHALT SHINGLE ROOF MATCH EXISTING
[Hatch Pattern]	[Symbol]	FIBERCEMENT CLADDING MANUFACTURER: TBD COLOUR: TBD
[Hatch Pattern]	[Symbol]	CONCRETE FACED INSULATION MANUFACTURER: TBD COLOUR: GRAY TYPICAL
[Hatch Pattern]	[Symbol]	EXISTING STUCCO C/W REVEALS TO REMAIN
[Hatch Pattern]	[Symbol]	EXISTING ASPHALT SHINGLE ROOF TO REMAIN

KEYNOTES:

- EXISTING ROOF TO REMAIN
- EXISTING BUILDING TO REMAIN
- EXISTING GUTTER TO REMAIN
- EXISTING DOWNSPOUT TO REMAIN
- EXISTING DOOR TO REMAIN
- EXISTING WINDOW C/W METAL GUARD TO REMAIN
- EXISTING WATER WELL TO REMAIN. GRADE SURFACE TO DIVERT RAIN WATER FROM WATER WELL.

- REINSTATE EXISTING ROOF TO MATCH EXISTING ASSEMBLY
- NEW HEAT PUMP AND CONDENSING UNITS PER MECHANICAL ON CONCRETE PAD. SURROUND BY LINK FENCE WITH LOCKABLE ACCESS GATE.
- NEW FASCIA AND GUTTER INTEGRATED WITH EXISTING. MATCH EXISTING ADJACENT IN SHAPE, STYLE, MATERIAL AND FINISH.
- NEW DOWNSPOUT
- NEW MOVEMENT JOINT COMPLETED WITH DECORATIVE COVER, WEATHERTIGHT MEMBRANES AND INSULATION. INTEGRATE WITH NEW AND EXISTING BUILDING ENVELOPE ASSEMBLIES, INCLUDING AIR AND VAPOUR BARRIER.
- NEW PARAPET C/W PRE-FINISHED METAL CAP FLASHING, INTEGRATED WEATHERTIGHT MOVEMENT JOINT, AND PRE-FINISHED METAL FLASHING DOWN
- NEW PRE-FINISHED CAP FLASHING AT TRANSITION AREA ROOF PARAPET
- OPENING IN ROOF PARAPET / WIDE SCUPPER
- NEW GUTTER
- NEW NON-CORROSIVE PRE-FINISHED METAL FASCIA
- NEW DOWNSPOUT. EXTEND ALONG WALL AND DIVERT OUT OF WATER WELL

- NEW VENTED SOFFIT
- NEW GFCI OUTLETS PER ELECTRICAL
- NEW LIGHT FIXTURE PER ELECTRICAL
- NEW COLUMN PER STRUCTURAL COMPLETED WITH CORROSION PROTECTION COATING TO COLUMN, ANCHOR AND BASE PLATES. PAINTED
- NEW PIER PER STRUCTURAL
- NEW BEAMS AND ROOF FRAMING PER STRUCTURAL COMPLETED WITH CORROSION PROTECTION COATING. PAINTED
- NEW LOUVER INTEGRATED IN BUILDING ENVELOPE PER MECHANICAL
- NEW VERTICAL POWER DOOR OPERATOR CONTROL ON INTEGRATED POST. THE POWER DOOR OPERATOR CONTROL SHALL EXTENT FROM NOT MORE THAN 200mm TO NOT LESS THAN 900mm ABOVE FINISHED FLOOR AND CONTAIN A SIGN INCORPORATING INTERNATIONAL SYMBOL OF ACCESS.
- REINFORCED CONCRETE SONOTUBE FOUNDATION FROM 150mm ABOVE GRADE TO 1500mm BELOW GRADE. PROVIDE BASE THICKENING AND ANCHORS PER POST MANUFACTURER.
- NEW ROOF CRICKET.

- NEW DOOR INTEGRATE INTO EXTERIOR WALL ASSEMBLY.
- NEW NON-CORROSIVE PRE-FINISHED METAL PANEL / FLASHING
- NEW 305mm x 305mm WEATHER RESISTANT, INSULATED THROUGH WALL ACCESS PANEL WITH LOCKING HANDLE. PROVIDE CONTINUOUS WEATHER TIGHT INTEGRATION WITH EXISTING EXTERIOR WALL, INCLUDING WEATHER BARRIER, VAPOUR BARRIER AND AIR BARRIER

**STRUCTURAL ENGINEER**  
WSP  
2611 Queensview Dr, Suite 300  
Ottawa, Ontario, K2B 8K2 Canada  
613-690-3752  
wsp.com

**MECHANICAL ENGINEER**  
Chorley + Bisset Consulting  
Engineers  
403-250 City Centre Ave,  
Ottawa ON K1R 6K7  
613-241-0030  
chorley.com

**ELECTRICAL ENGINEER**  
Chorley + Bisset Consulting  
Engineers  
403-250 City Centre Ave,  
Ottawa ON K1R 6K7  
613-241-0030  
chorley.com

**CIVIL ENGINEER**  
McIntosh Perry  
115 Walgreen Road, RR3,  
Carp, ON K0A 1L0  
613-836-2184  
mcintoshperry.com

**LANDSCAPE ARCHITECT**  
GJA Inc.  
110 Didsbury Road Unit # 9  
Ottawa, Ontario, K2T 0C2  
613-286-5130  
Gino@GJALA.com

**SURVEYOR**  
City of Ottawa Planning, Infrastructure and  
Economic Development Department -  
Surveys & Mapping Branch  
100 Constellation Drive  
Ottawa, Ontario K2G 6J8  
613-580-2400



STAMP

13	2023/06/12	ISSUED FOR SPC RESUBMISSION
6	2022/04/22	ISSUED FOR TENDER
4	2022/02/23	ISSUED FOR BUILDING PERMIT AND TENDER
3	2022/02/23	ISSUED FOR SITE PLAN CONTROL

REV DATE ISSUE

**NOTES**

1. OWNERSHIP OF THE COPYRIGHT OF THE DESIGN AND THE WORKS EXECUTED FROM THE DESIGN REMAINS WITH CSV ARCHITECTS, AND MAY NOT BE REPRODUCED IN ANY FORM WITHOUT THE WRITTEN CONSENT OF CSV ARCHITECTS.
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3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS AND SPECIFICATIONS.
4. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY DIMENSIONS ON SITE.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE AND ALL SUPPLEMENTARY AND APPLICABLE MUNICIPAL REGULATIONS.

CLIENT

**CITY OF OTTAWA**

OTTAWA  
ONTARIO, CANADA

PROJECT

**CORKERY COMMUNITY HALL EXPANSION**

3447 OLD ALMONTE RD., CARP,  
ON K0A 1L0

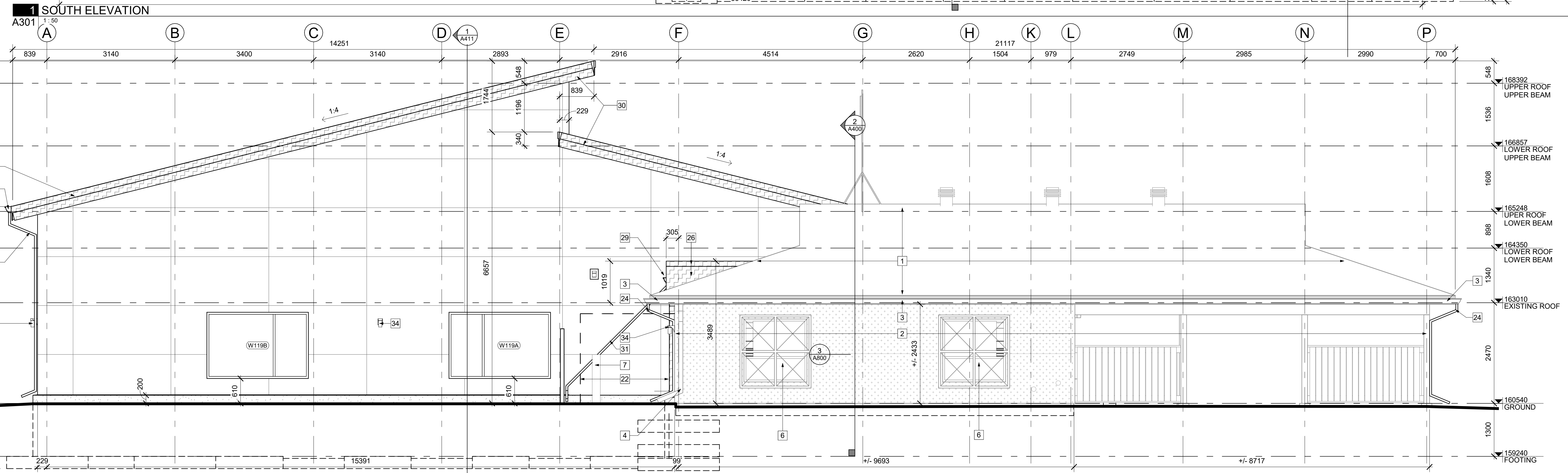
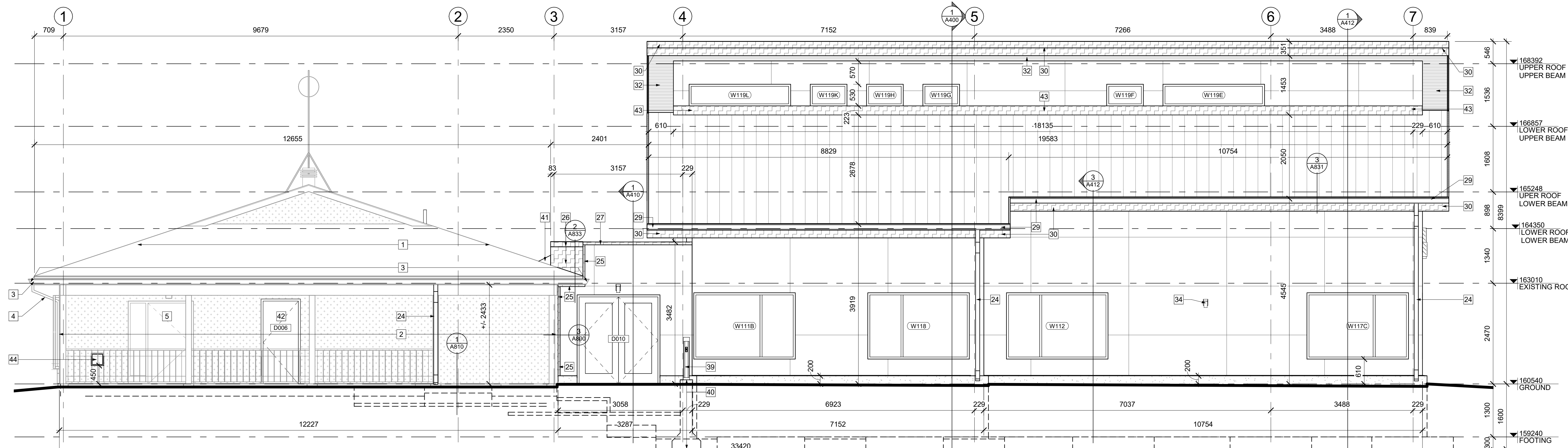
TITLE

**SOUTH AND WEST ELEVATIONS**

PROJECT NO: 2020-0640  
DRAWN: IK  
APPROVED: JS  
SCALE: 1 : 50  
DATE PRINTED: 2023-06-13 2:11:26 PM

REV DRAWING NO.

13 A301



**2 WEST ELEVATION**  
A301 1:50

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