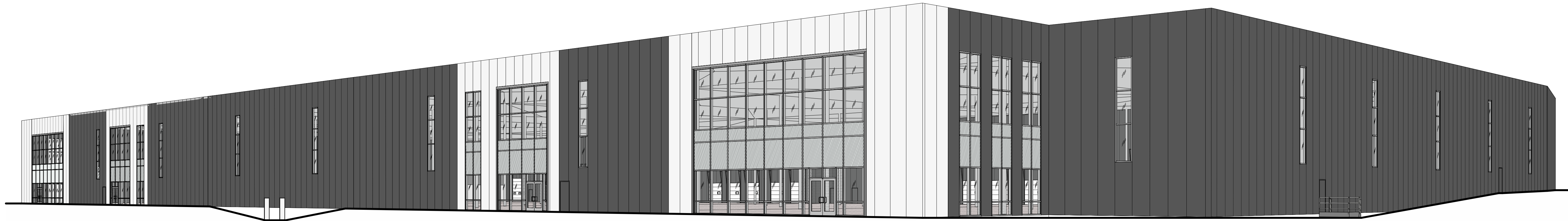


ROSEFELLOW 575 DEALERSHIP

480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8



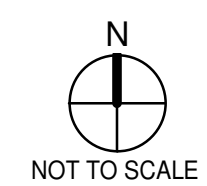
WARE MALCOMB
ARCHITECTURE
PLANNING
INTERIORS
CIVIL ENGINEERING
BRANDING
BUILDING MEASUREMENT
1420 Blair Towers Place, Suite #104
Gloucester, Ontario, Canada K1J 9L8
P 343.633.2977



**ROSEFELLOW 575
DEALERSHIP**
480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8

VICINITY MAP	OWNER	CONSULTANTS	SHEET INDEX	TOTAL SHEETS 11																		
	<p>ROSEFELLOW 750 MARCEL-LAURIN SUITE 210 SAINT LAURENT, QUEBEC H4M 2M4 (514) 532-1080</p> <p>PRIMARY CONTACT: JULIAN NINI PH: (514) 532-1080 EMAIL: JULIANN@ROSEFELLOW.COM</p>	<p>CIVIL ENGINEER NOVATECH 240 MICHAEL COWPLAND DRIVE SUITE 200 OTTAWA, ONTARIO K2M 1P6 (613) 254-9643</p> <p>PRIMARY CONTACT: DREW BLAIR PH: (613) 254-9643 EMAIL: d.blair@novatech-eng.com</p>	<p>ARCHITECTURAL</p> <p>G010 TITLE SHEET G011 OBC MATRIX A100 SITE PLAN A120 BUILDING A - FLOOR PLAN A121 BUILDING B - FLOOR PLAN A190 BUILDING A - ROOF PLAN A191 BUILDING B - ROOF PLAN A210 BUILDING A - EXTERIOR ELEVATIONS A211 BUILDING B - EXTERIOR ELEVATIONS A310 BUILDING A - BUILDING SECTIONS A311 BUILDING B - BUILDING SECTIONS ARCHITECTURAL SHEET COUNT: 11</p>	<table border="1"> <tr> <td colspan="2">TITLE SHEET</td> <td>REMARKS</td> </tr> <tr> <td>DATE</td> <td>ISSUED FOR SPA</td> <td>REISSUED FOR SPA</td> </tr> <tr> <td>1 2023-05-03</td> <td></td> <td></td> </tr> <tr> <td>2 2023-10-05</td> <td></td> <td></td> </tr> </table> <table border="1"> <tr> <td>PA/PM:</td> <td>H. WERNER</td> </tr> <tr> <td>DRAWN BY.:</td> <td>D.P. / E.C.</td> </tr> <tr> <td>JOB NO.:</td> <td>OTW22-0010-00</td> </tr> </table> <p style="text-align: center;">SHEET G010</p>	TITLE SHEET		REMARKS	DATE	ISSUED FOR SPA	REISSUED FOR SPA	1 2023-05-03			2 2023-10-05			PA/PM:	H. WERNER	DRAWN BY.:	D.P. / E.C.	JOB NO.:	OTW22-0010-00
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<p>ARCHITECT</p> <p>WARE MALCOMB SUITE 104, 1420 BLAIR TOWERS PLACE GLOUCESTER, ONTARIO K1J 9L8 CANADA P (905) 760-1221</p> <p>PRIMARY CONTACT: HARRISON WERNER PH: (905) 760-1221 EXT. 2145 EMAIL: hwerner@waremalcomb.com</p>																						

Autodesk Docs: OTW22-0010-00_Rosefellow 575 Dealership/OTW22-0010-00_1_ARCH.rvt



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2023-10-05_REISSUED FOR SPA

OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: ROSEFELLOW 575 DEALERSHIP - BUILDING A

ITEM	ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9	BUILDING CODE REFERENCE: REFERENCES ARE TO DIVISION B UNLESS NOTED. (A) FOR DIVISION A OR (C) FOR DIVISION C.																																																							
1	PROJECT DESCRIPTION: <input checked="" type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> CHANGE OF USE <input type="checkbox"/> ALTERATION INDUSTRIAL SHELL BUILDING PART 11 11.1 TO 11.4	<input checked="" type="checkbox"/> PART 3 1.1.2 (A) <input type="checkbox"/> PART 9 1.1.2 (A) & 9.10.1.3																																																							
2	MAJOR OCCUPANCY(S) GROUP F, DIVISION 2; GROUP D (SUBSIDIARY)	3.1.2.1.(1) 9.10.2																																																							
3	BUILDING AREA (sq.m.) NEW: 14,776 SM TOTAL: 14,776 SM	1.4.1.2 (A) 1.4.1.2 (A)																																																							
4	GROSS AREA (sq.m.) NEW: 14,776 SM TOTAL: 14,776 SM	1.4.1.2 (A) 1.4.1.2 (A)																																																							
5	NUMBER OF STOREYS ABOVE GRADE: 1 BELOW GRADE: N/A	1.4.1.2 (A) & 3.2.1.1 1.4.1.2 (A) & 9.10.4																																																							
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 3	3.2.2.10 & 3.2.5.5 9.10.20																																																							
7	BUILDING CLASSIFICATION(S) 3.2.2.67 GROUP F, DIV 2, ANY HEIGHT, ANY AREA SPRINKLERED	3.2.2.20-83 9.10.2																																																							
8	SPRINKLER SYSTEM PROPOSED <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 9.10.8.2 3.2.1.5 3.2.2.17 INDEX INDEX																																																							
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15	OCCUPANT LOAD BASED ON <input type="checkbox"/> m2 / PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY: F2/D LOAD (PERSONS): <300	3.1.1.7 9.9.1.3																																																							
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8 9.5.2																																																							
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OBC MATRIX

NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.)
 CERTIFICATE OF PRACTICE NUMBER: 3619
 NAME OF PROJECT: ROSEFELLOW 575 DEALERSHIP - BUILDING B

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ARCHITECTURE
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 INTERIORS



ROSEFELLOW 575 DEALERSHIP
 480 & 486 CITIGATE DRIVE,
 OTTAWA, ONTARIO K2J 6H8

DATE	REMARKS
2023-05-03	ISSUED FOR SPA
2023-10-05	REISSUED FOR SPA

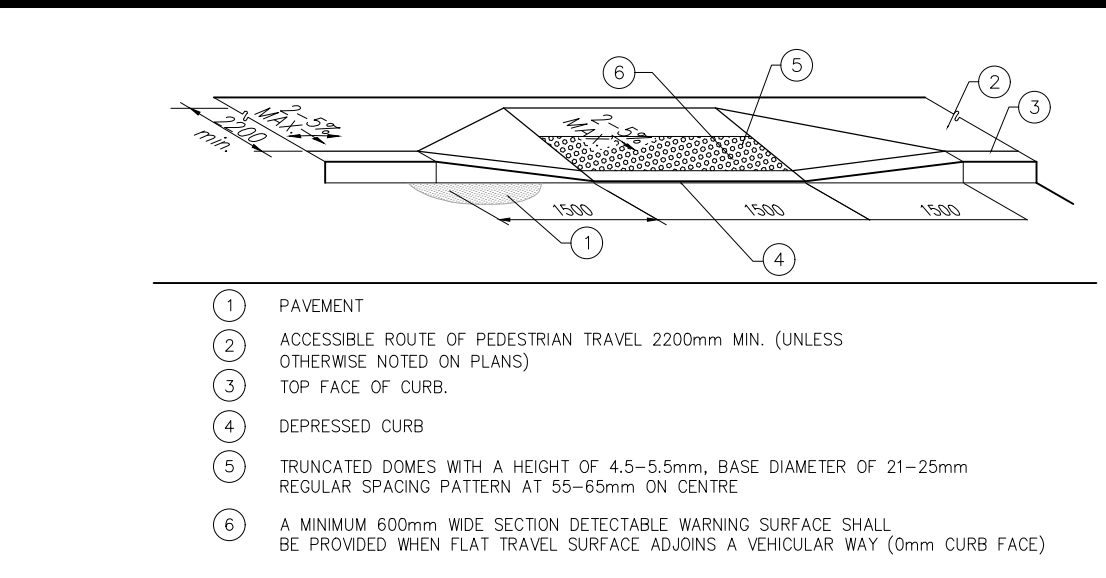
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SHEET
G011

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OTW22-0010-00 ROSEFELLOW INDUSTRIAL BLDG		
SITE STATISTICS		
ZONING	IP	
GROSS SITE AREA	60,449.59m ²	
Zone Permitted Use (OTTAWA ZONING BY-LAW NO. 2008-250)	Warehouse Use	
Proposed Use	Warehouse	
Regulations (Part 11: Industrial Zones)	Proposed	Required
Min. Front Yard Building Setback (m)	18.9 m	6 m
Min. Interior Side Yard Building Setback (m)	12.1 m	3 m
Min. Rear Yard Building Setback (m)	27.5 m	6 m
Min. Landscape Setback abutting a Street (m)	> 3 m	3 m
Min. Landscape Setback (all other cases) (m)	3 m	N/A
Max. Floor Space Index	0.49	2
Max. Building Height	11.4 m	22 m
BUILDING FLOOR AREA		
INDUSTRIAL BLDG A		
Warehouse Area	13,913.00m ²	
Office Area	863.00m ²	
Total Building A	14,776.00m ²	
INDUSTRIAL BLDG B		
Warehouse Area	14,414.00m ²	
Office Area	791.00m ²	
Total Building B	15,205.00m ²	
TOTAL BUILDING GFA	29,981.00m²	
PARKING REQUIREMENT		
	PROPOSED	REQUIRED
Warehouse GFA @ 0.8 Spaces per 100m ² , first 5000m ²		
Warehouse GFA @ 0.4 Spaces per 100m ² , above 5000m ²		
Parking Spaces Building A	69	79
Parking Spaces Building B	65	81
Total No. of Parking Spaces	134	160
Barrier Free Parking Spaces	6	6
Parking Stall Dimensions	2.6 m X 5.2 m	
Barrier Free Parking Stall Type A	3.4m X 5.2m	
Barrier Free Parking Stall Type B	2.4m X 5.2m	
Bicycle Parking Space Dimensions	1.8m X 0.8m	
No. Of Bicycle Parking (Warehouse: 1 per 2000m ² , Office 1 per 250m ²)	22	24
Loading Space Dimensions	3.5m X 9.0m	
Oversized Loading Space Dimensions	4.3m X 13.0m	
No. Of Loading Spaces	44	2
No. Of Oversized Loading Spaces	2	2
Trailer Parking	0	
DOCK STATISTICS		
DOCK-HIGH DOORS	Proposed	
	22	
OVER-HEAD DOORS	4	



ACCESSIBLE CURB RAMP
SCALE: N.T.S.



KEY PLAN
SCALE: N.T.S.

SITE PLAN NOTES

- 1 PROPERTY LINE
- 2 2600x5200mm PARKING STALL, PAINTED PARKING STRIPING PER CITY OF OTTAWA ZONING BY-LAW NO. 2008-250
- 3 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT
- 4 150mm WIDE CURB TYPICAL
- 5 SIDEWALK - SEE LANDSCAPE DWGS FOR CONSTRUCTION DETAILS
- 6 FIRE DEPARTMENT/SIAMESE CONNECTION
- 7 PROPOSED RETAINING WALL - REFER TO CIVIL DRAWINGS
- 8 FUTURE TENANT DEMISING WALL, SUBJECT TO TENANT FIT UP
- 9 TYPICAL ACCESSIBLE PARKING STALLS, PAINTED PARKING STRIPING PER BY-LAW OTTAWA ZONING BY-LAW NO. 2008-250, EACH PAIR OF SHARED STALLS TO HAVE TYPE A: 3.4m X 5.2m AND TYPE B: 2.4m X 5.2m WITH 1.5m WIDE PAINTED BARRIER FREE AISLE AND SIGNAGE REFER TO ONTARIO INTEGRATED ACCESSIBILITY STANDARDS.
- 10 LANDSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 11 GUARDRAIL SET INTO RETAINING WALL REFER TO CIVIL DRAWINGS FOR EXTENT AND DETAILS.
- 12 12.0mx3.5m TRUCK LOADING SPACE (TYP.)
- 13 FIRE ACCESS ROUTE W/ 12.0M TURNING RADIUS (---)
- 14 PROPOSED LOCATION OF ELECTRICAL RM
- 15 PROPOSED LOCATION OF MECHANICAL RM
- 16 CONCRETE DOLLY PAD
- 17 SHADED AREA DENOTES HEAVY DUTY ASPHALT, TYPICAL FOR ALL AREAS REQUIRING FIRE OR TRACTOR TRUCK ACCESS.
- 18 STEEL BOLLARD
- 19 GARBAGE COLLECTION AREA
- 20 GALV. BICYCLE RACKS - SEE LANDSCAPE DRAWINGS
- 21 SNOW STORAGE AREA
- 22 PROPOSED FIRE HYDRANT
- 23 MECHANICAL ROOM LOCATED IN BASEMENT BELOW SLAB.
- 24 FIRE ROUTE SIGNAGE PER CITY OF OTTAWA STANDARDS. REFER TO FIRE ROUTE BY-LAW NO. 2003-499 FOR SIGN REQUIREMENTS. SIGNS TO BE SPACED NO MORE THAN 25m APART
- 25 TACTILE WALKING SURFACE INDICATOR STRIP
- 26 BUILDING SETBACK
- 27 EXTERIOR GALV. STEEL STAIRS W/ TUBE STEEL GUARDRAIL, ON CONC. PAD, TYP.
- 28 LANDSCAPE SETBACK
- 29 DIMENSION FROM FIRE DEPARTMENT CONNECTION TO HYDRANT.
- 30 13mx4.3m OVERSIZED TRUCK LOADING SPACE
- 31 PYLON SIGNAGE
- 32 EV PARKING STALLS (8 PROPOSED)
- 33 PAINTED LINES PEDESTRIAN CROSSING
- 34 APPROXIMATE LOCATION OF RIGHT OF WAY

SITE LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)
- NEW LANDSCAPED AREA (HATCHED)
- NEW RIVER STONE AREA (HATCHED)
- PAINTED DIAGONAL LINES WHERE INDICATED
- FUTURE EV PARKING STALLS
- PROPERTY LINE
- SITE BOUNDARY LINE
- GAS METER LOCATION.
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DRAWINGS)
- EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DRAWINGS)
- PROPOSED FIRE HYDRANT
- LIGHT POLE
- WALL MOUNTED LIGHT
- MH DENOTES MANHOLE
- PROPOSED CATCHBASIN
- TACTILE INDICATORS AT DEPRESSED CURB
- BICYCLE RACK (1800 x 600 PER BIKE)
- MAN DOOR
- DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR
- FIRE ROUTE SIGNS
- PYLON SIGNAGE
- CONCRETE SIDEWALK
- ASPHALT PATHWAY
- STONE DUST PATHWAY

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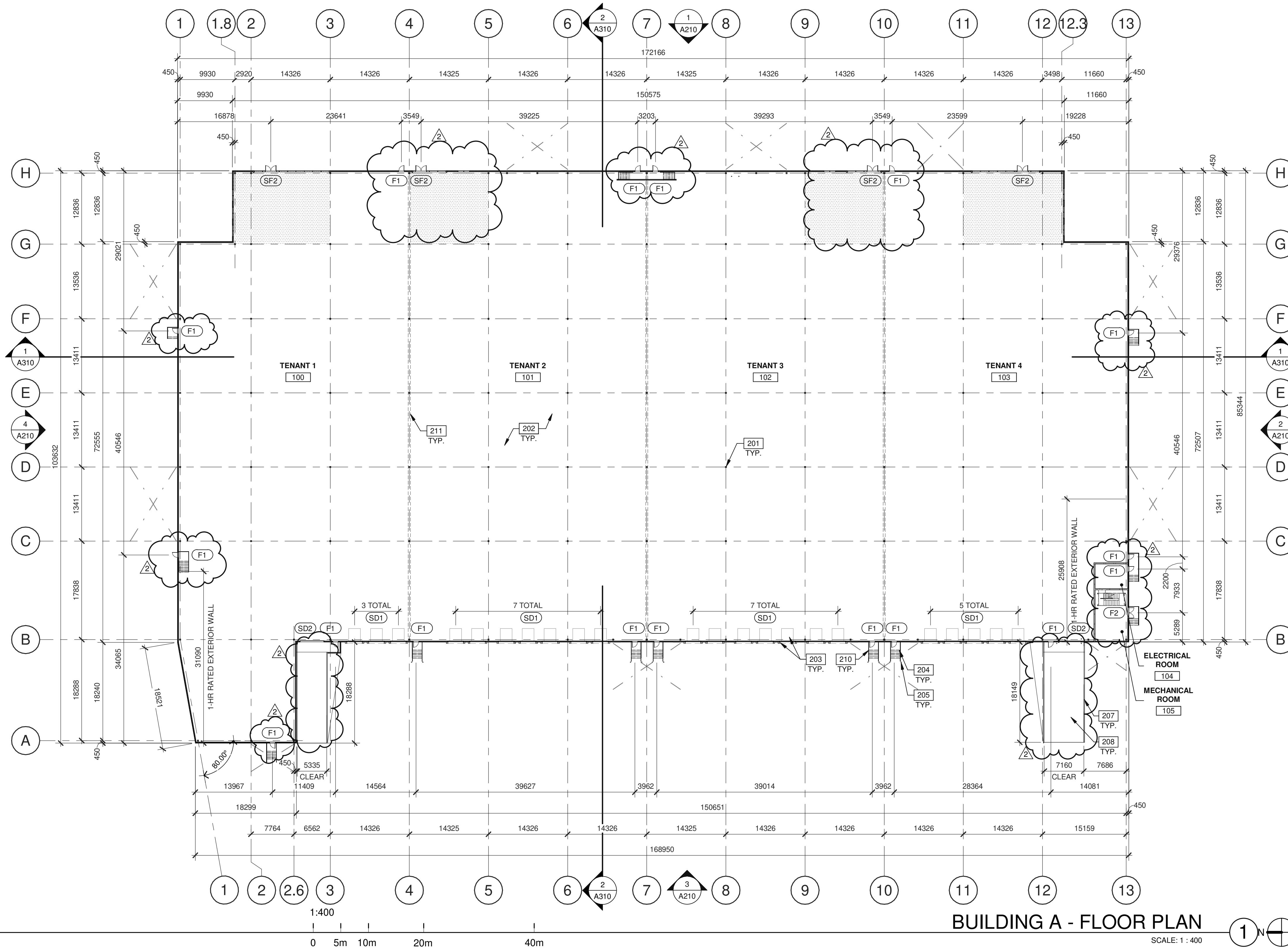
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**ROSEFELLOW 575
DEALERSHIP**
480 & 486 CITIGATE DRIVE,
OTTAWA, ONTARIO K2J 6H8

SITE PLAN	
DATE	REMARKS
2023-05-03	ISSUED FOR SPA
2023-10-05	REISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	
JOB NO.:	OTW22-0010-00

SHEET
A100



BUILDING A - FLOOR PLAN
SCALE: 1 : 400

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**ROSEFELLOW 575
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DOOR TYPES

(SF2) ALUMINUM STOREFRONT

(SF2) 1930mm x 2135mm (PAIR) CLEAR ANOD. ALUM. STOREFRONT DOOR W/TEMPERED GLAZING (NARROW STILE)
FRAME: MANUFACTURER

(F1) HOLLOW METAL

(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

(SD1) SECTIONAL O.H. DOOR

(SD2) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
2 SETS PIVOT SET
2 SETS INTER PIVOT
1 EA EXIT DEVICE
1 EA MORTISE CYLINDER
2 SETS OFFSET PULL
2 EA OH CLOSER
1 EA THRESHOLD
1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

(F1) 965mm x 2135mm PAINTED INSULATED HOLLOW METAL DOOR
FRAME: PAINTED HOLLOW METAL

HARDWARE:
3 EA HINGES
1 EA EXIT DEVICE
1 EA CYLINDER
1 EA CLOSER
1 EA PERIMETER SEAL
1 EA BOTTOM DRIP
1 EA THRESHOLD
1 EA LOCK GUARD
1 EA HVY DUTY FLOOR STOP

(SD1) SECTIONAL O.H. DOOR

(SD2) 2745mm x 3050mm DOCK HIGH SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH.

(SD2) 3660mm x 4270mm SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH

HARDWARE:
1 EA SLIDE BOLT
1 EA PAD LOCK

LEGEND

LEGEND

PROPOSED FUTURE OFFICE AREA

WALL/ PARTITION LEGEND

INSULATED METAL PANEL SYSTEM.

CONCRETE MASONRY WALL

KEYNOTES:

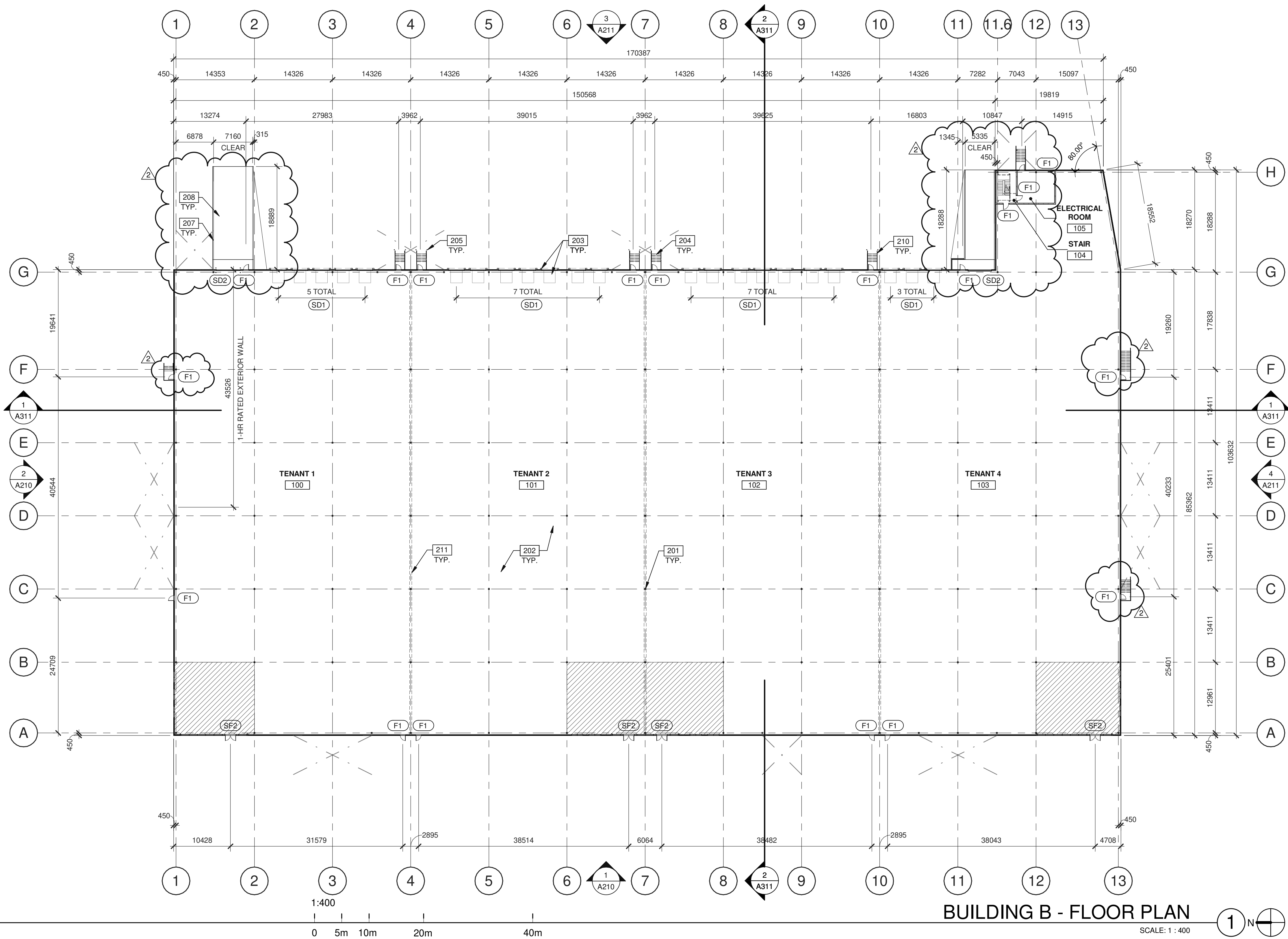
- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
- 204 EXTERIOR STEEL STAIR, ALL COMPONENTS GALVANIZED AND PAINTED.
- 205 STEEL BOLLARD, CONCRETE-FILLED PAINTED SAFETY YELLOW.
- 207 CONCRETE RETAINING WALL.
- 208 CONCRETE RAMP.
- 210 1067mm HIGH PAINTED METAL GUARDRAIL.
- 211 FUTURE TENANT DEMISING WALL.

BUILDING A - FLOOR PLAN

DATE	REVISIONS	REMARKS
1	2023-05-03	ISSUED FOR SPA
2	2023-10-05	REISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET
A120



BUILDING B - FLOOR PLAN

SCALE: 1 : 400

DOOR TYPES

(SF2) ALUMINUM STOREFRONT
 1930mm x 2135mm (PAIR)
 CLEAR ANOD. ALUM. STOREFRONT
 DOOR W/TEMPERED GLAZING
 (NARROW STILE)
 FRAME: MANUFACTURER

(F1) HOLLOW METAL
 965mm x 2135mm
 PAINTED INSULATED
 HOLLOW METAL DOOR
 FRAME: PAINTED HOLLOW METAL

(SD1) SECTIONAL O.H. DOOR
 2745mm x 3050mm
 DOCK HIGH SECTIONAL VERTICAL
 LIFT OVERHEAD DOOR W/ FACTORY
 PAINTED FINISH.

(SD2) SECTIONAL VERTICAL LIFT OVERHEAD DOOR W/ FACTORY PAINTED FINISH
 3660mm x 4270mm
 SECTIONAL VERTICAL LIFT
 OVERHEAD DOOR W/ FACTORY
 PAINTED FINISH

HARDWARE:
 2 SETS PIVOT SET
 2 SETS INTER PIVOT
 1 EA EXIT DEVICE
 1 EA MORTISE CYLINDER
 2 SETS OFFSET PULL
 2 EA OH CLOSER
 1 EA THRESHOLD
 1 EA DECAL

NOTE: WEATHERSEAL BY DOOR MANUFACTURER

LEGEND

WALL/ PARTITION LEGEND

INSULATED METAL PANEL SYSTEM.

CONCRETE MASONRY WALL.

KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 203 DOCK LEVELER AND DOCK SHELTER.
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- 207 CONCRETE RAMP.
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- 211 FUTURE TENANT DEMISING WALL.

BUILDING B - FLOOR PLAN

DATE	ISSUED FOR SPA	REISSUED FOR SPA	REMARKS
1	2023-05-03		
2	2023-10-05		

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

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A121

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ARCHITECTURE
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 INTERIORS

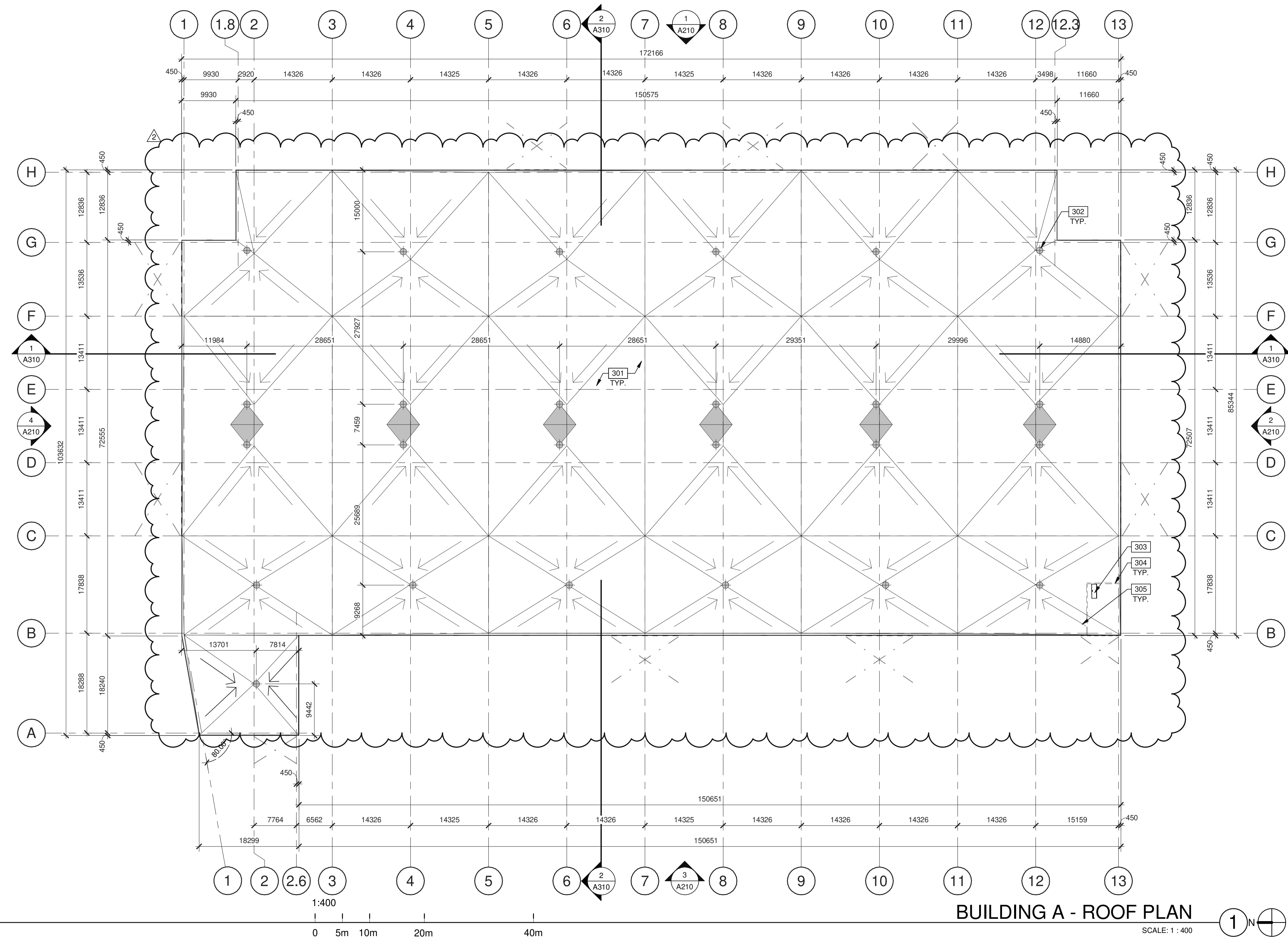
ONTARIO ASSOCIATION
 OF ARCHITECTS

JOHN P. HOLLAND
 LICENCE 8849



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 DEALERSHIP**

480 & 486 CITIGATE DRIVE,
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BUILDING A - ROOF PLAN

SCALE: 1 : 400

LEGEND

- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- FLOW LINE TO DRAIN
- OUTLINE OF WALL BELOW
- LINE OF STRUCTURAL FRAMING BELOW DECK - SEE STRUCTURAL DRAWINGS.
- STRUCTURAL BRACING. REFER TO STRUCTURAL DRAWINGS.

KEYNOTES:

- 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

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 OF ARCHITECTS
 JOHN P. HOLLAND
 LICENCE 8849

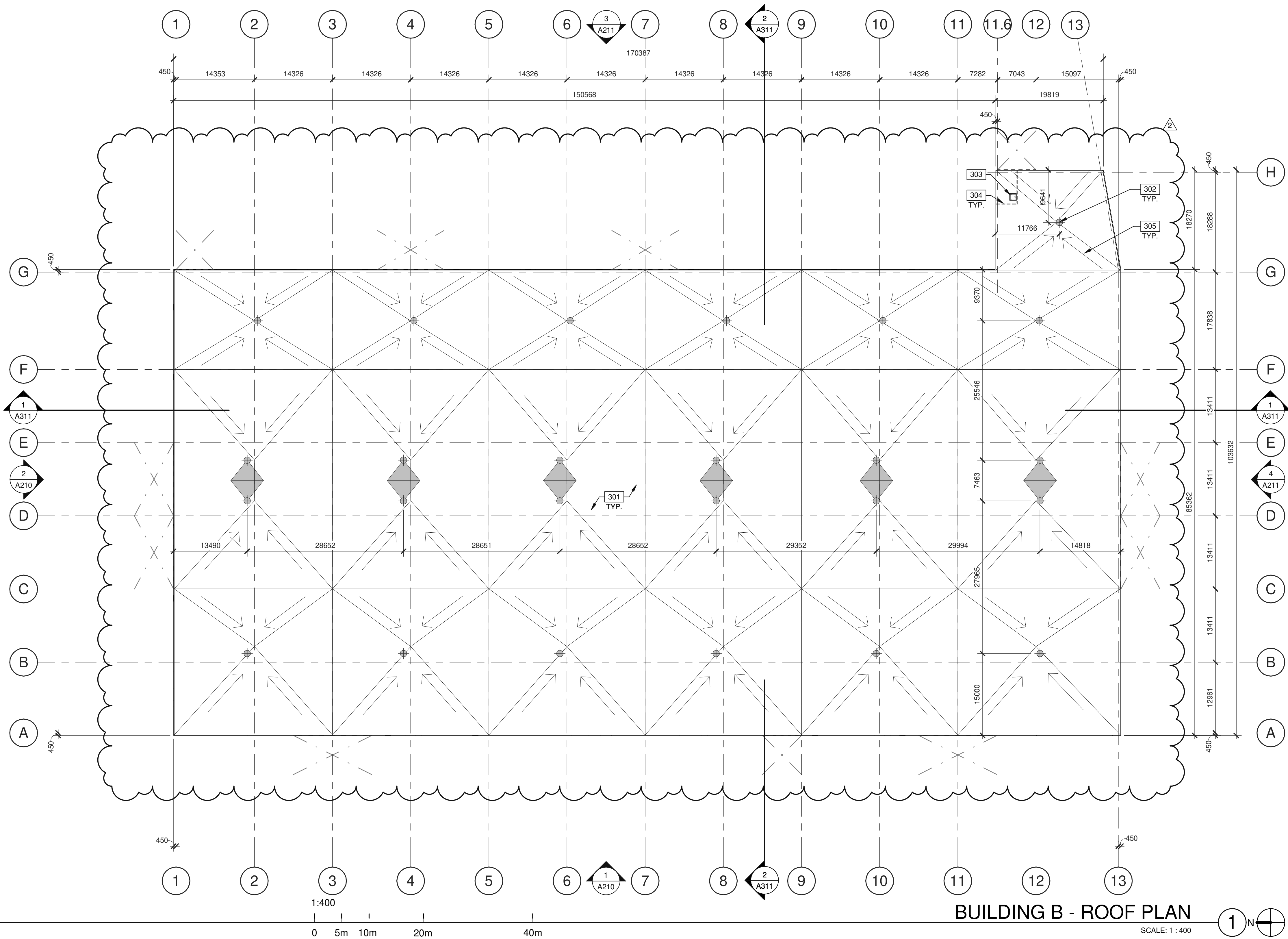
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**ROSEFELLOW 575
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 480 & 486 CITIGATE DRIVE,
 OTTAWA, ONTARIO K2J 6H8

BUILDING A - ROOF PLAN		REMARKS
DATE	ISSUED FOR SPA	
1	2023-05-03	
2	2023-10-05	REISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET
A190



1:400

BUILDING B - ROOF PLAN

SCALE: 1 : 400

LEGEND

- ROOF DRAIN - SEE MECHANICAL DRAWINGS.
- FLOW LINE TO DRAIN
- OUTLINE OF WALL BELOW
- LINE OF STRUCTURAL FRAMING BELOW DECK - SEE STRUCTURAL DRAWINGS.
- STRUCTURAL BRACING. REFER TO STRUCTURAL DRAWINGS.

KEYNOTES:

- 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 302 ROOF DRAINS.
- 303 ROOF HATCH.
- 304 LINE OF WALL BELOW.
- 305 FLOW LINE TO DRAIN.

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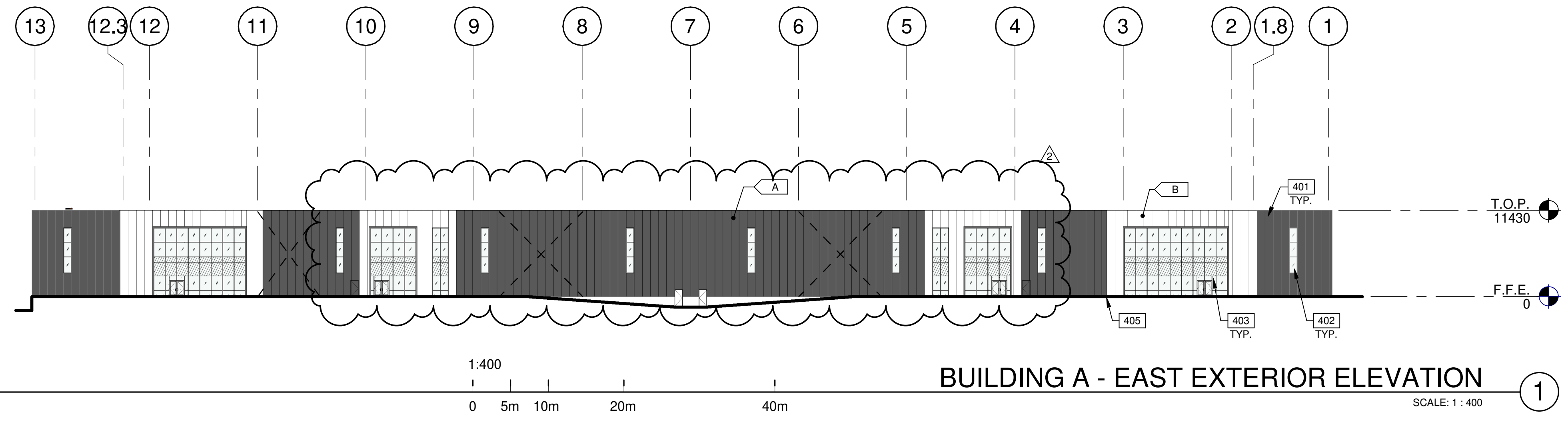


**ROSEFELLOW 575
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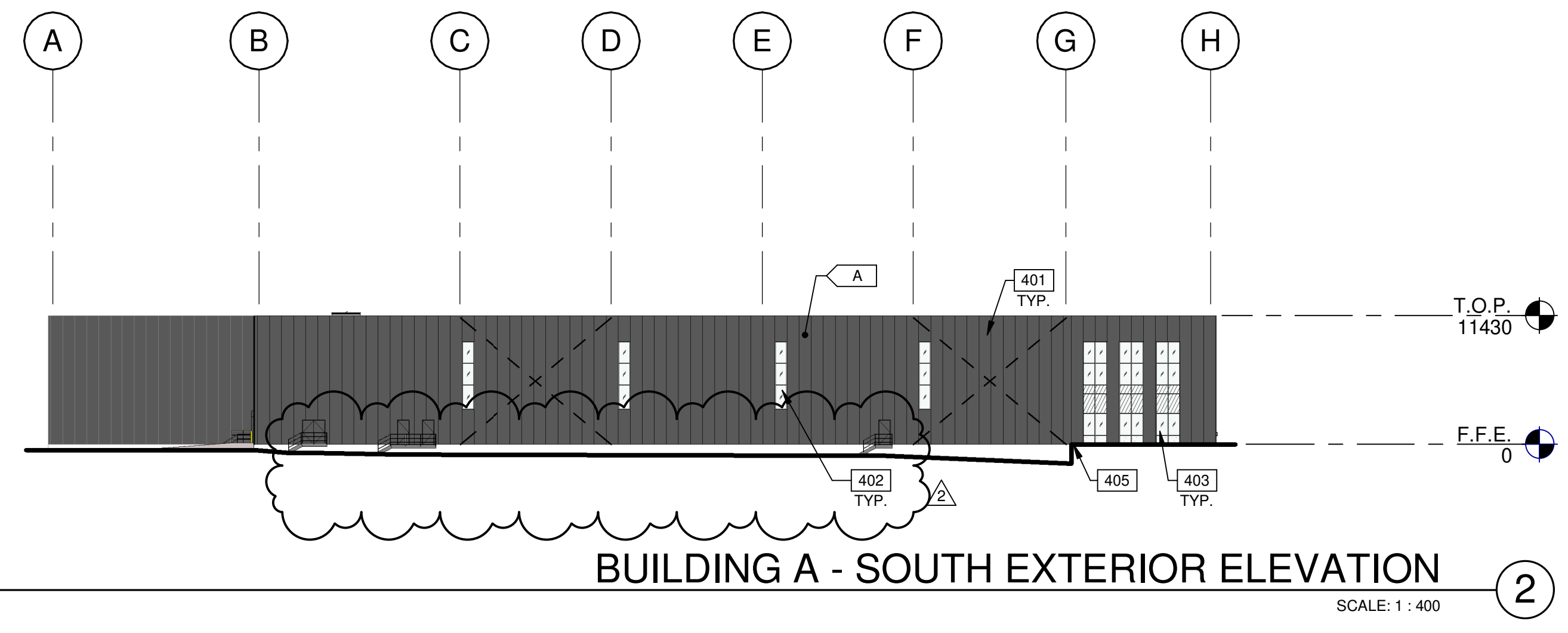
BUILDING B - ROOF PLAN		REMARKS
DATE	ISSUED FOR SPA	
1	2023-05-03	REISSUED FOR SPA
2	2023-10-05	REISSUED FOR SPA

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

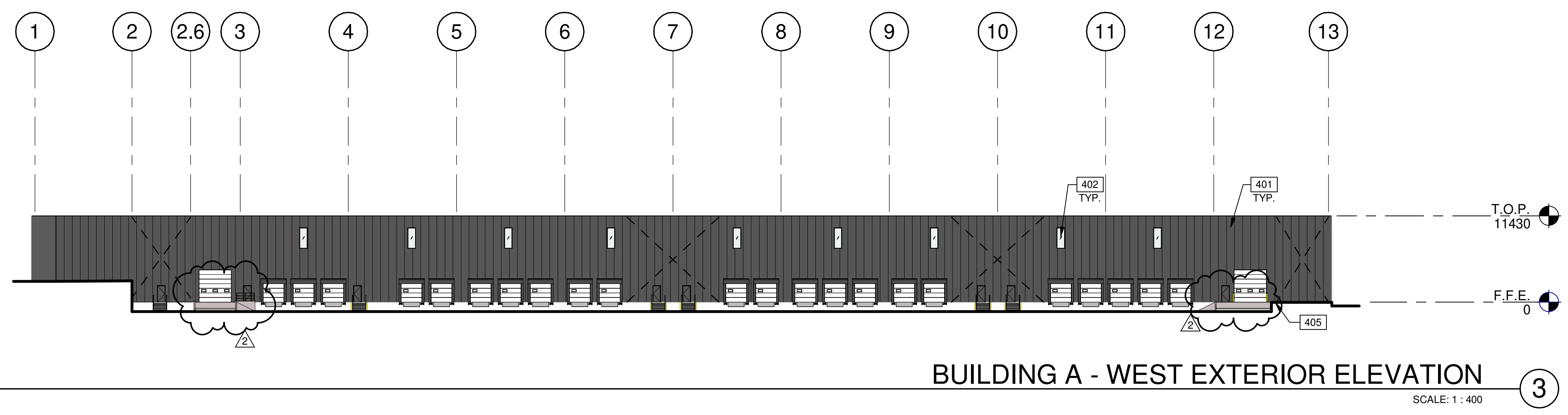
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A191



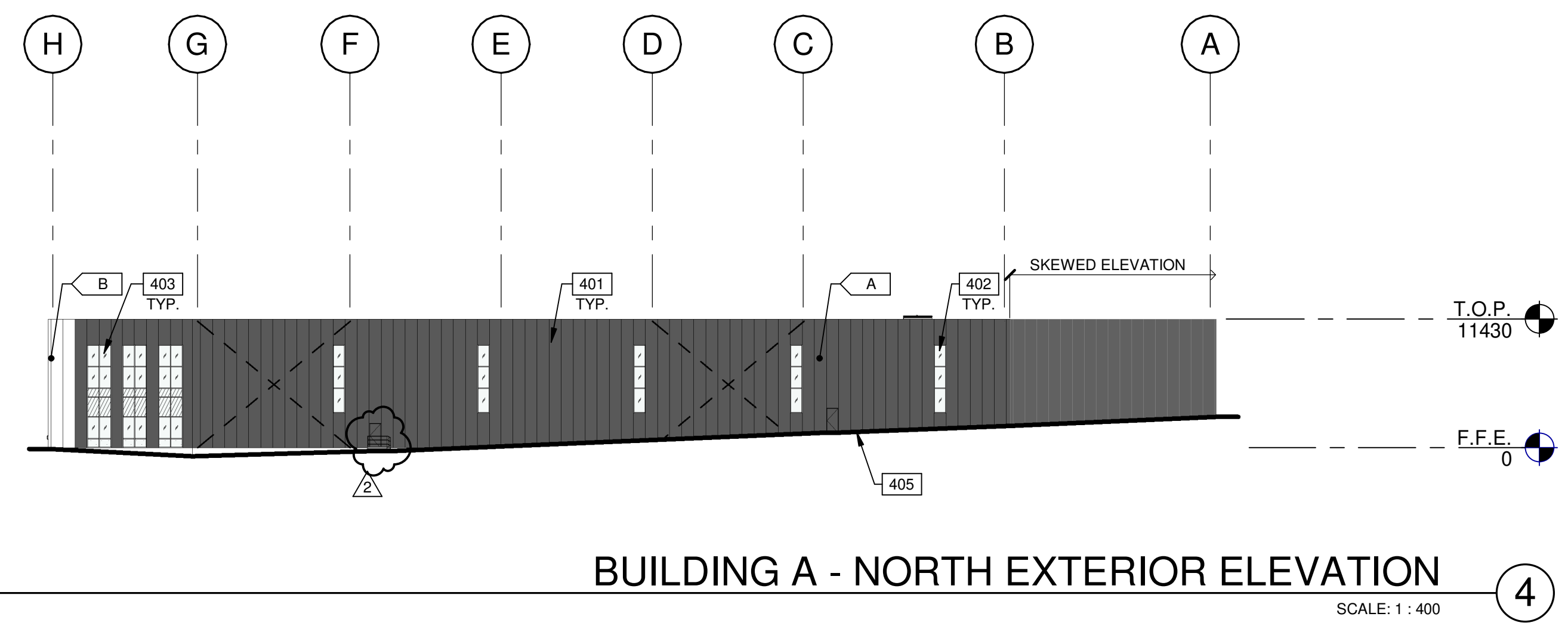
BUILDING A - EAST EXTERIOR ELEVATION ①



BUILDING A - SOUTH EXTERIOR ELEVATION ②



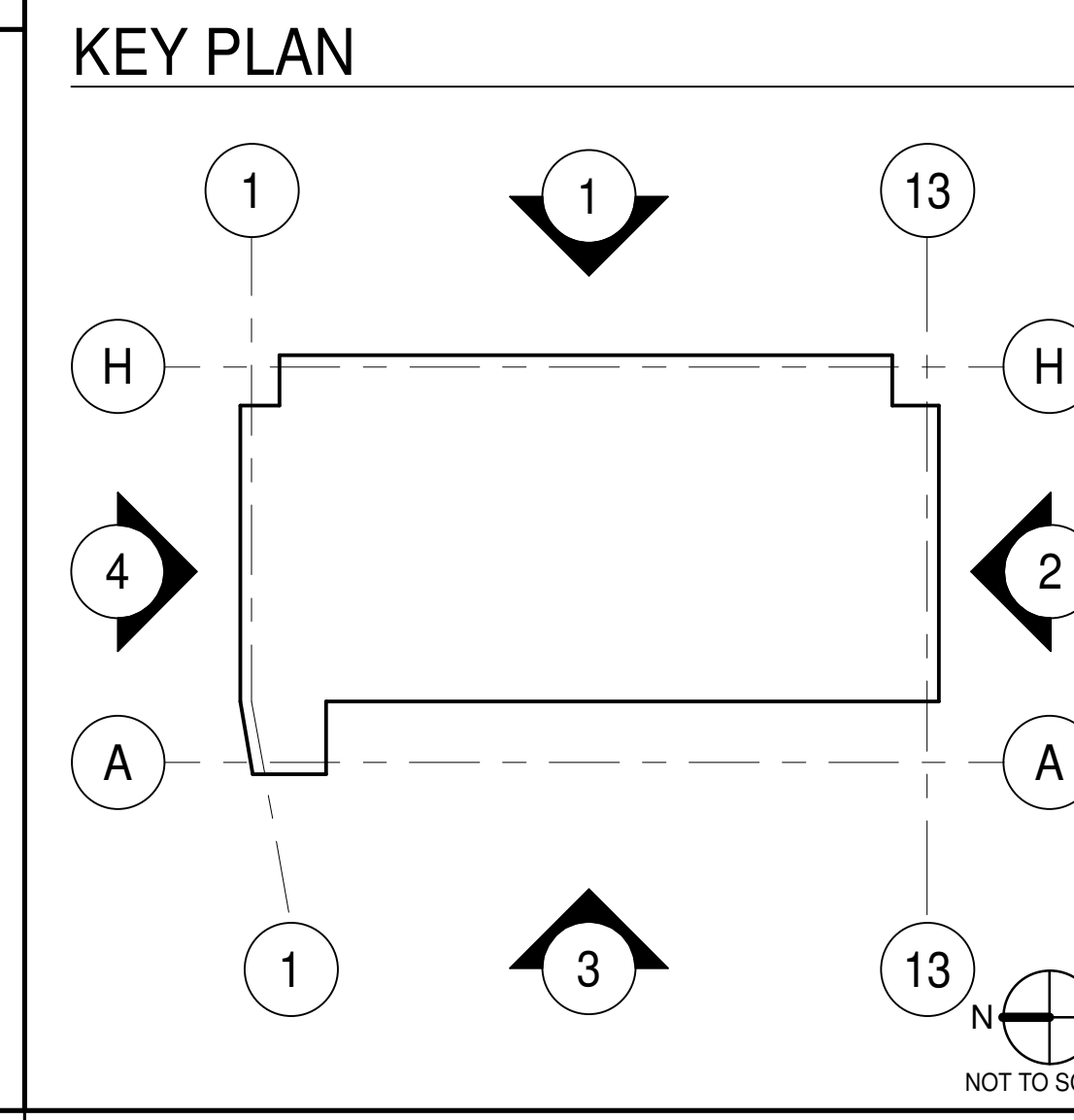
BUILDING A - WEST EXTERIOR ELEVATION ③



BUILDING A - NORTH EXTERIOR ELEVATION ④

- KEYNOTES:**
- 401 1067mm WIDE INSULATED METAL PANEL SYSTEM.
 - 402 CLERESTORY WINDOW WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 403 CURTAIN WALL GLAZING SYSTEM WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 405 GRADE LINE VARIES - REFER TO CIVIL GRADING PLAN.

- LEGENDS**
- GLASS:**
- VISION GLASS + BIRD FRIENDLY FRIT PATTERN
 - SPANDREL GLASS + BIRD FRIENDLY FRIT PATTERN
 - TEMPERED GLASS + BIRD FRIENDLY FRIT PATTERN
- COLOURS:**
- PROVIDE 1,828mm (6') WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- BASE COLOUR: DARK GREY IMP
 - SECONDARY COLOUR: WHITE IMP



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OF
ARCHITECTS

JOHN P. HOLLAND
LICENCE
8849



**ROSEFELLOW 575
DEALERSHIP**

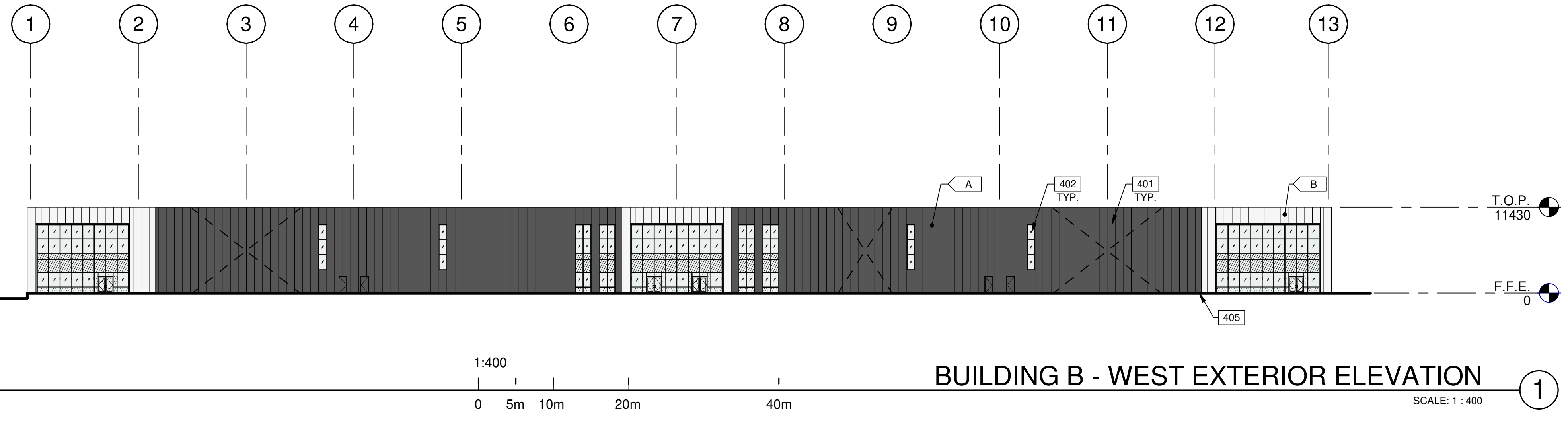
480 & 486 CITIGATE DRIVE,
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BUILDING A - EXTERIOR ELEVATIONS

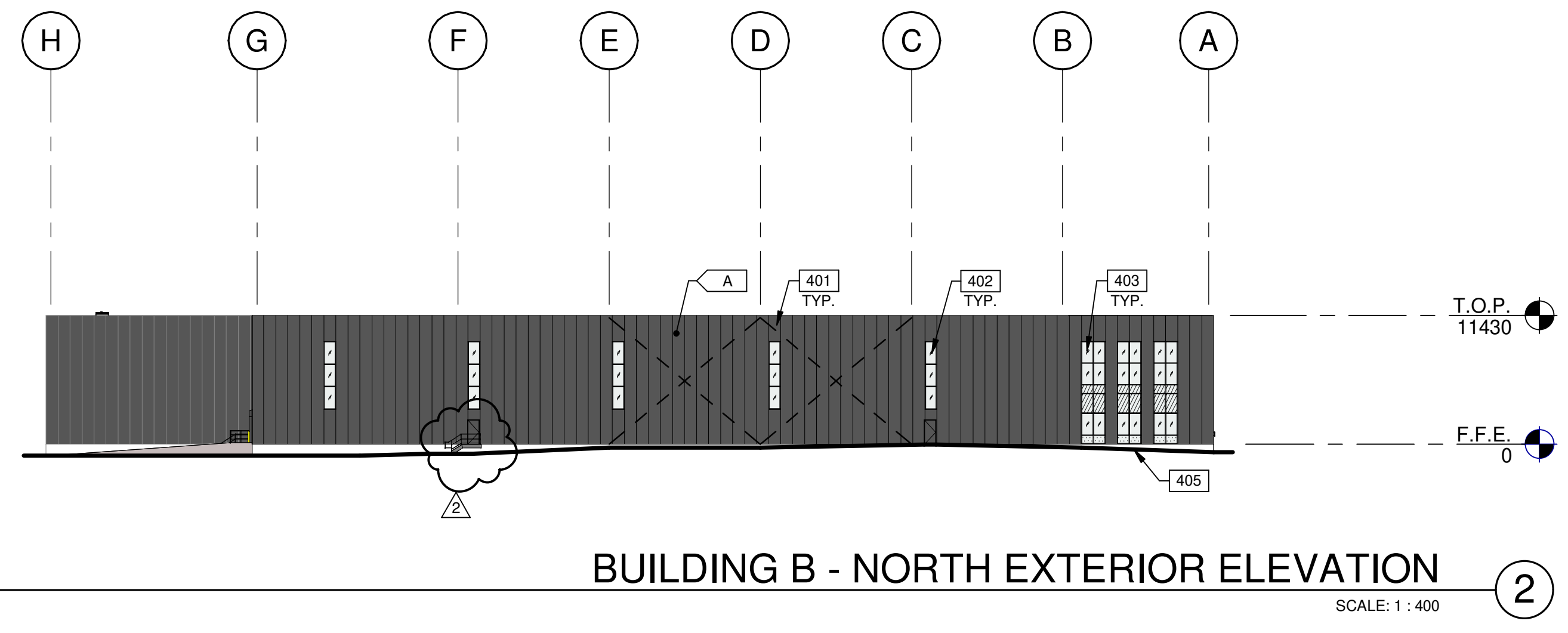
DATE	ISSUED FOR SPA	REISSUED FOR SPA	REMARKS
1	2023-05-03		
2	2023-10-05		

PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

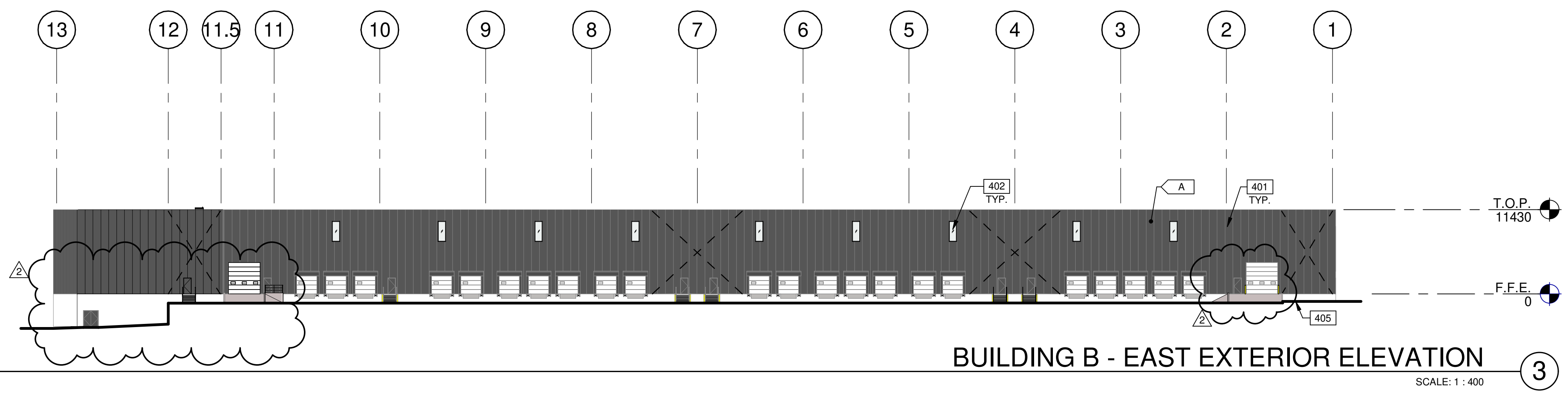
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A210



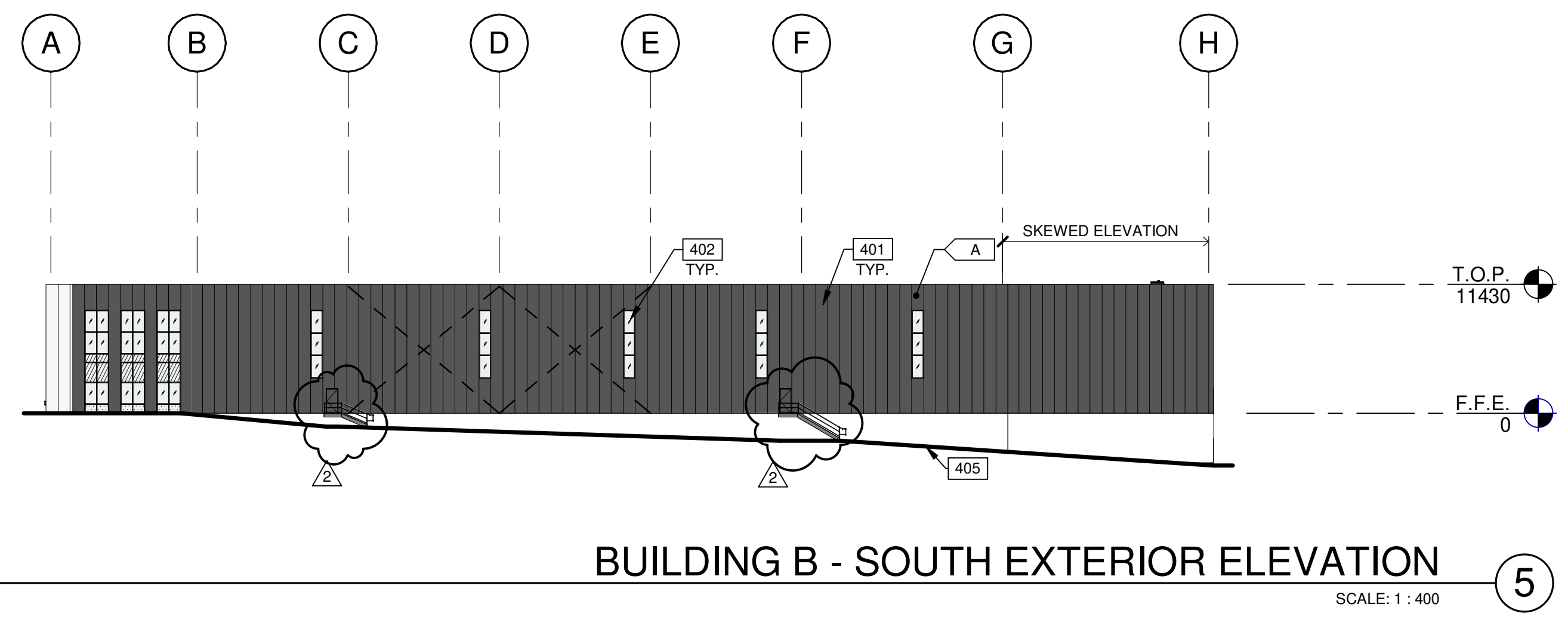
BUILDING B - WEST EXTERIOR ELEVATION ①



BUILDING B - NORTH EXTERIOR ELEVATION ②



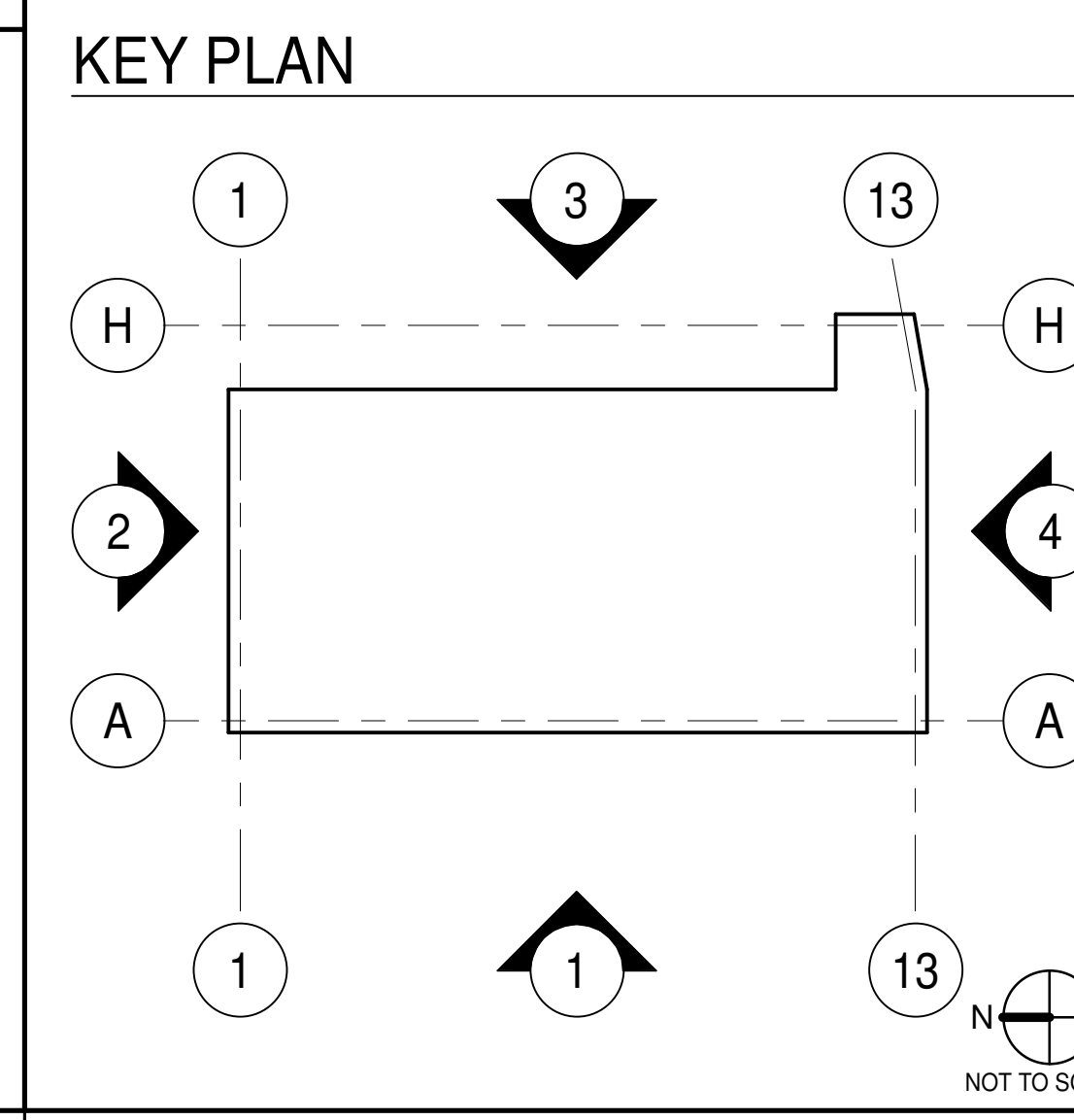
BUILDING B - EAST EXTERIOR ELEVATION ③



BUILDING B - SOUTH EXTERIOR ELEVATION ⑤

- KEYNOTES:**
- 401 1067mm WIDE INSULATED METAL PANEL SYSTEM.
 - 402 CLERESTORY WINDOW WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 403 CURTAIN WALL GLAZING SYSTEM WITH CERAMIC FRIT ON EXTERIOR SURFACE COMPLIANT WITH OTTAWA'S BIRD-SAFE DESIGN GUIDELINES.
 - 405 GRADE LINE VARIES - REFER TO CIVIL GRADING PLAN.

- LEGENDS**
- GLASS:**
- VISION GLASS + BIRD FRIENDLY FRIT PATTERN
 - SPANDREL GLASS + BIRD FRIENDLY FRIT PATTERN
 - TEMPERED GLASS + BIRD FRIENDLY FRIT PATTERN
- COLOURS:**
- PROVIDE 1,828mm (6") WIDE PAINT COLOUR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.
- A BASE COLOUR: DARK GREY IMP
 - B SECONDARY COLOUR: WHITE IMP



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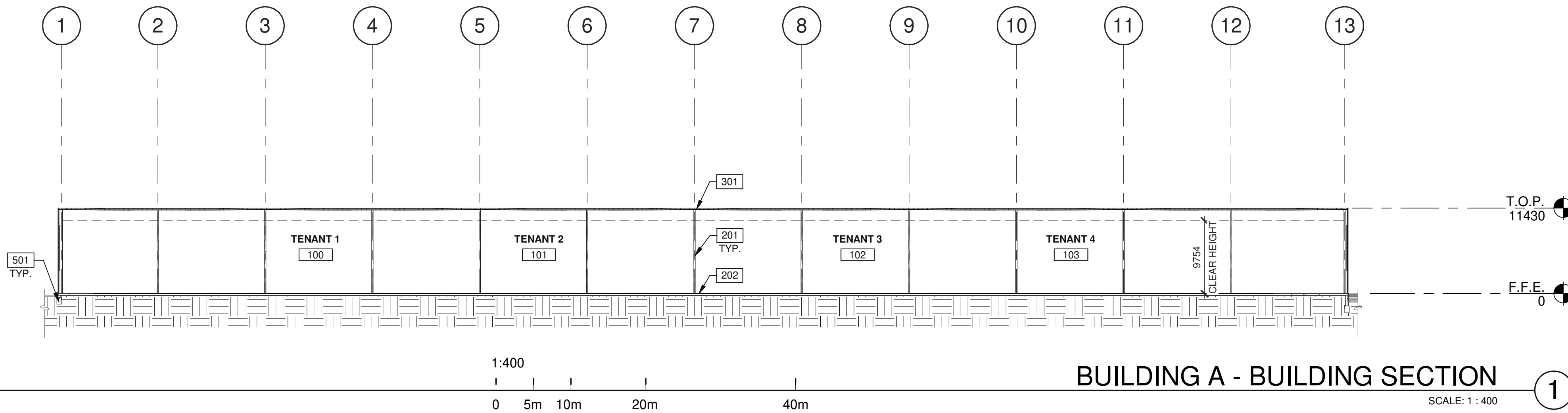
BUILDING B - EXTERIOR ELEVATIONS

DATE	REMARKS
2023-05-03	ISSUED FOR SPA
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PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
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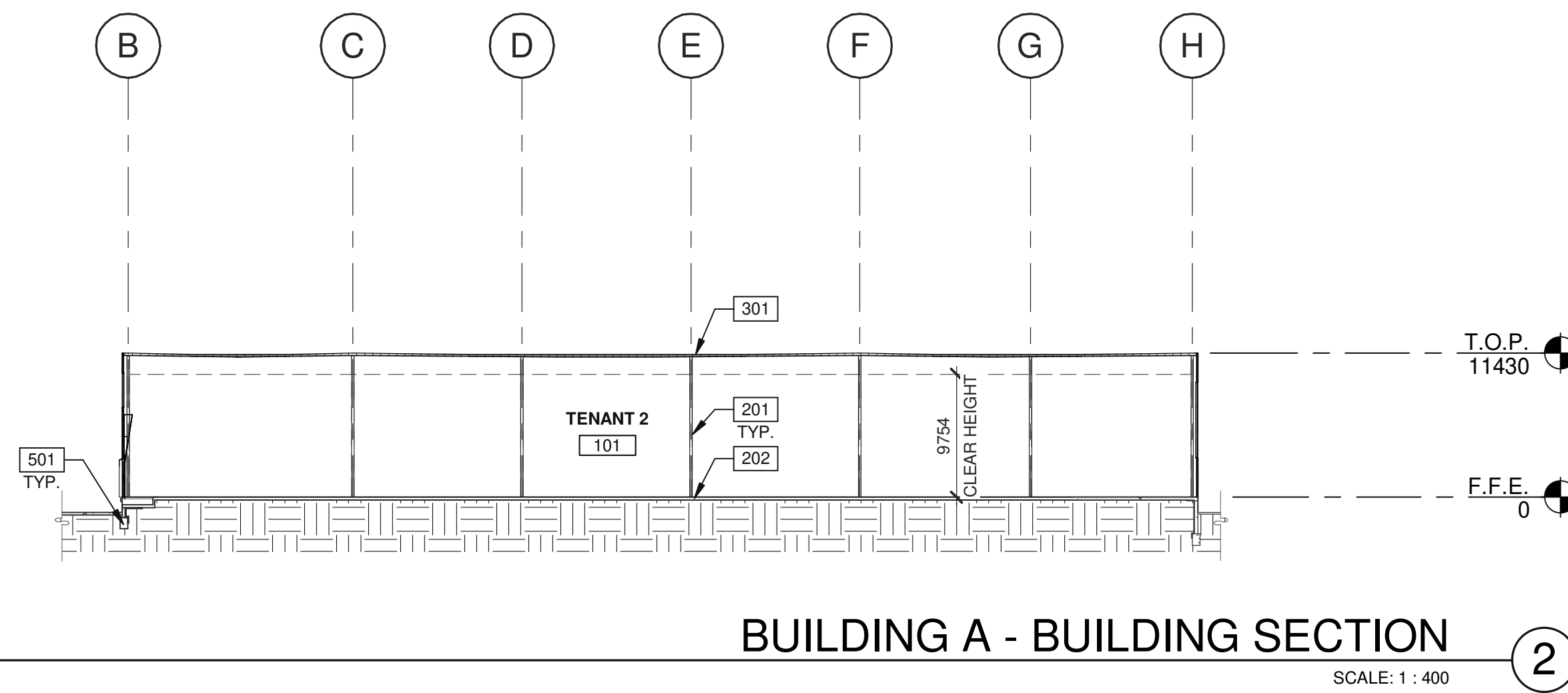
SHEET

A211



BUILDING A - BUILDING SECTION

SCALE: 1 : 400



BUILDING A - BUILDING SECTION

SCALE: 1 : 400

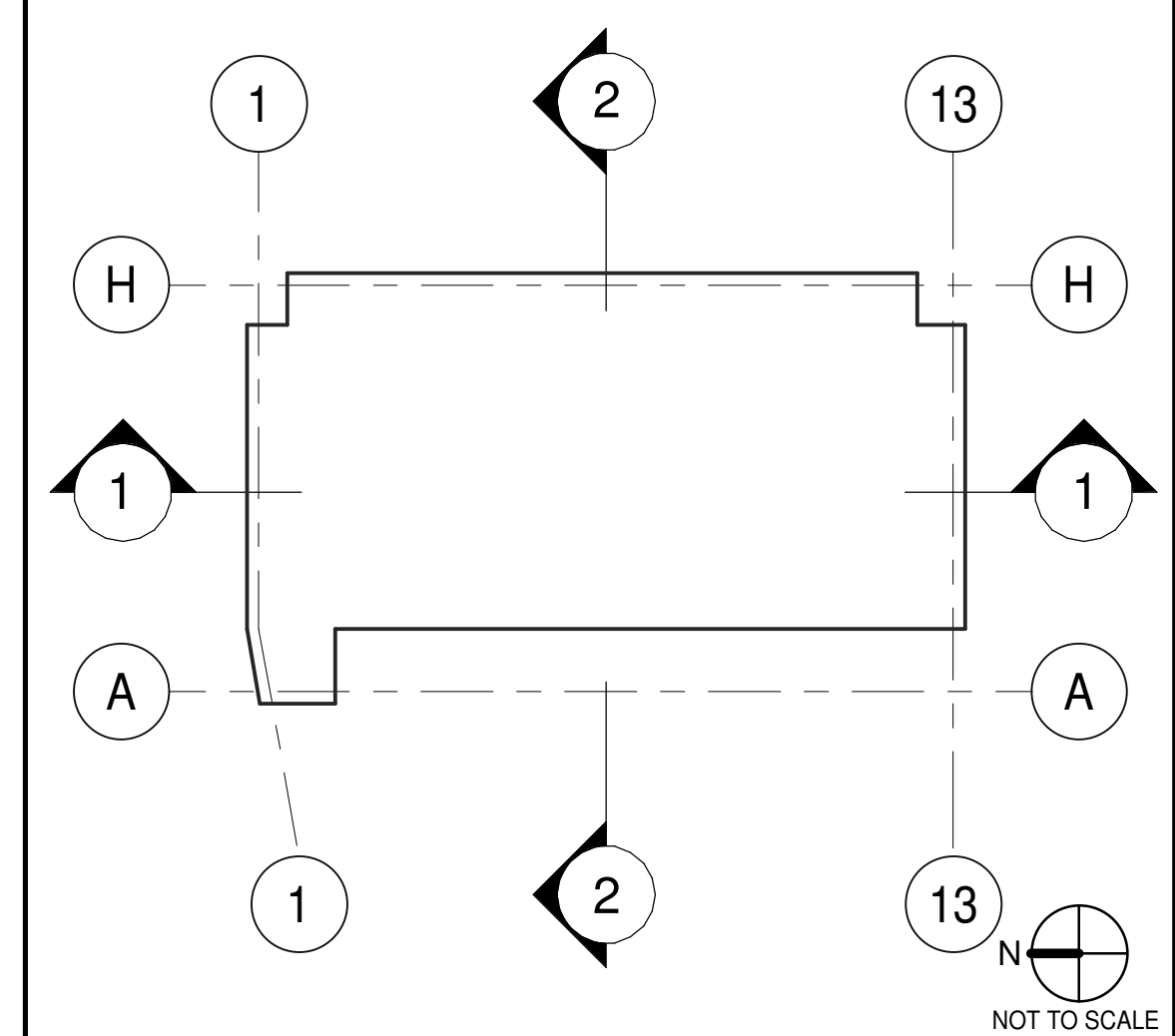
KEYNOTES:

- 201 STRUCTURAL STEEL COLUMN.
- 202 CONCRETE SLAB.
- 301 SINGLE-PLY ROOFING MECHANICALLY FASTENED & REINFORCED.
- 501 CONCRETE FOOTING.

WALL/ PARTITION LEGEND

- INSULATED METAL PANEL SYSTEM.
- CONCRETE MASONRY WALL

KEY PLAN



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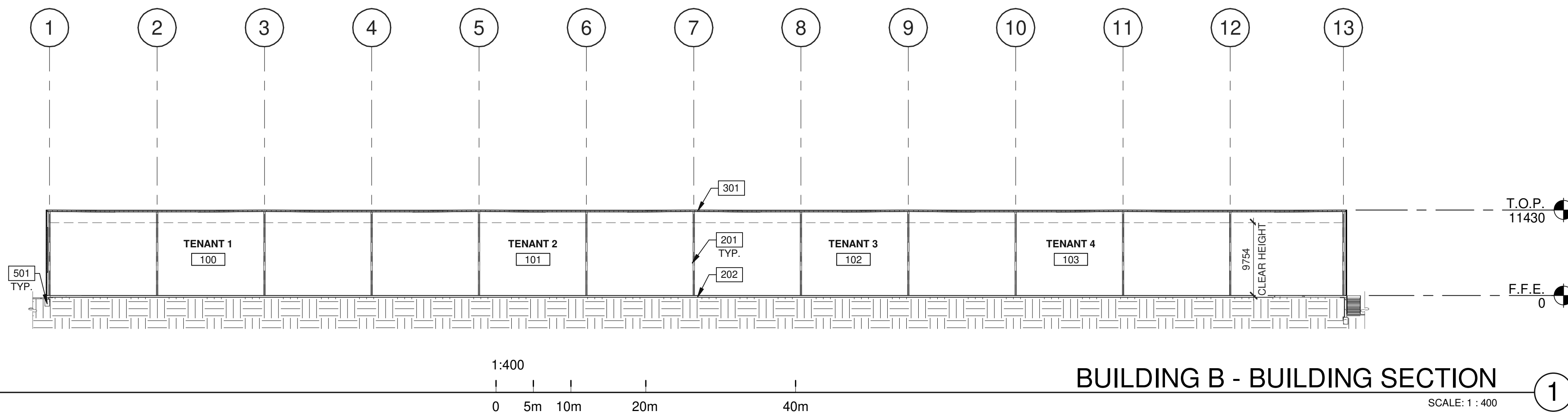


**ROSEFELLOW 575
 DEALERSHIP**
 480 & 486 CITIGATE DRIVE,
 OTTAWA, ONTARIO K2J 6H8

BUILDING A - BUILDING SECTIONS	
DATE	REMARKS
2023-05-03	ISSUED FOR SPA
2023-10-05	REISSUED FOR SPA

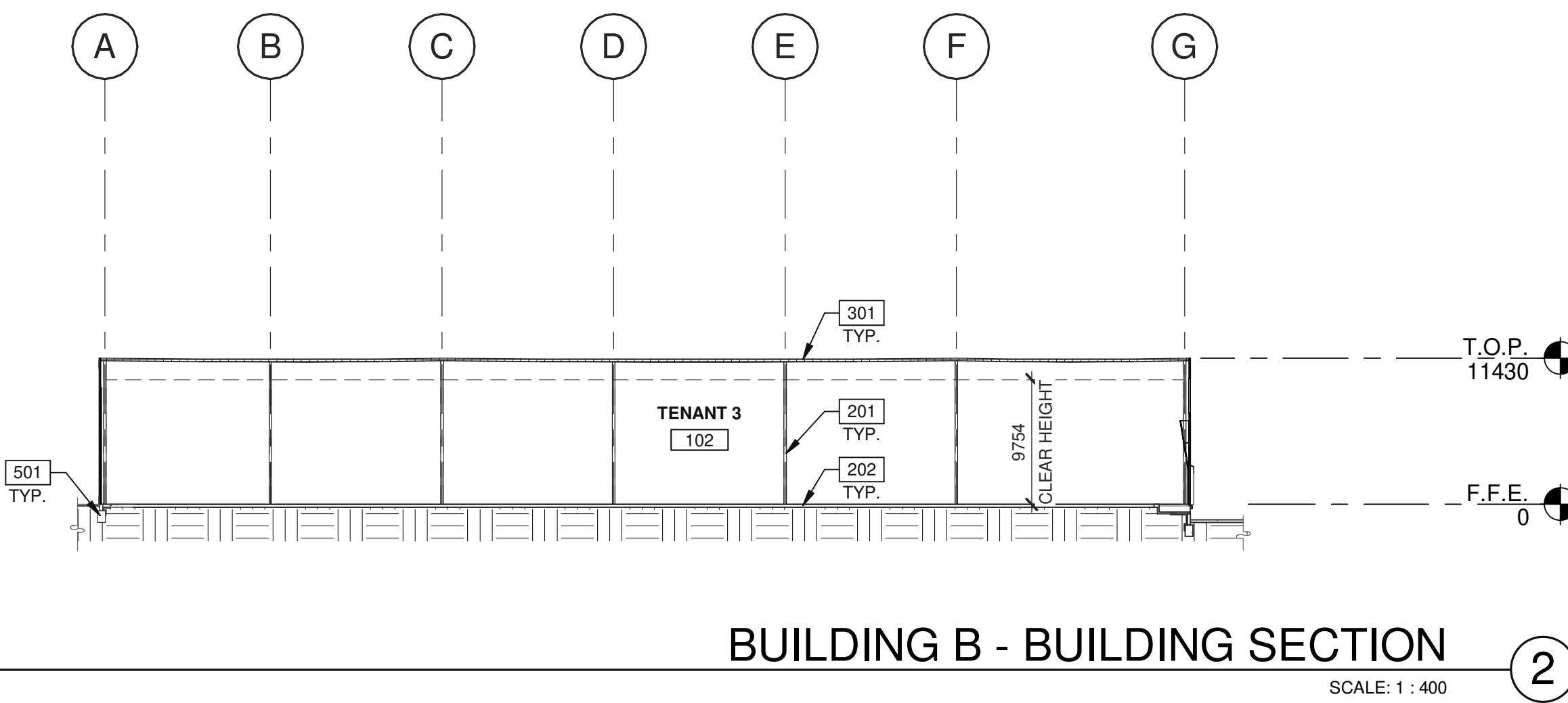
PA/PM:	H. WERNER
DRAWN BY.:	D.P. / E.C.
JOB NO.:	OTW22-0010-00

SHEET
A310



BUILDING B - BUILDING SECTION

SCALE: 1 : 400



BUILDING B - BUILDING SECTION

SCALE: 1 : 400

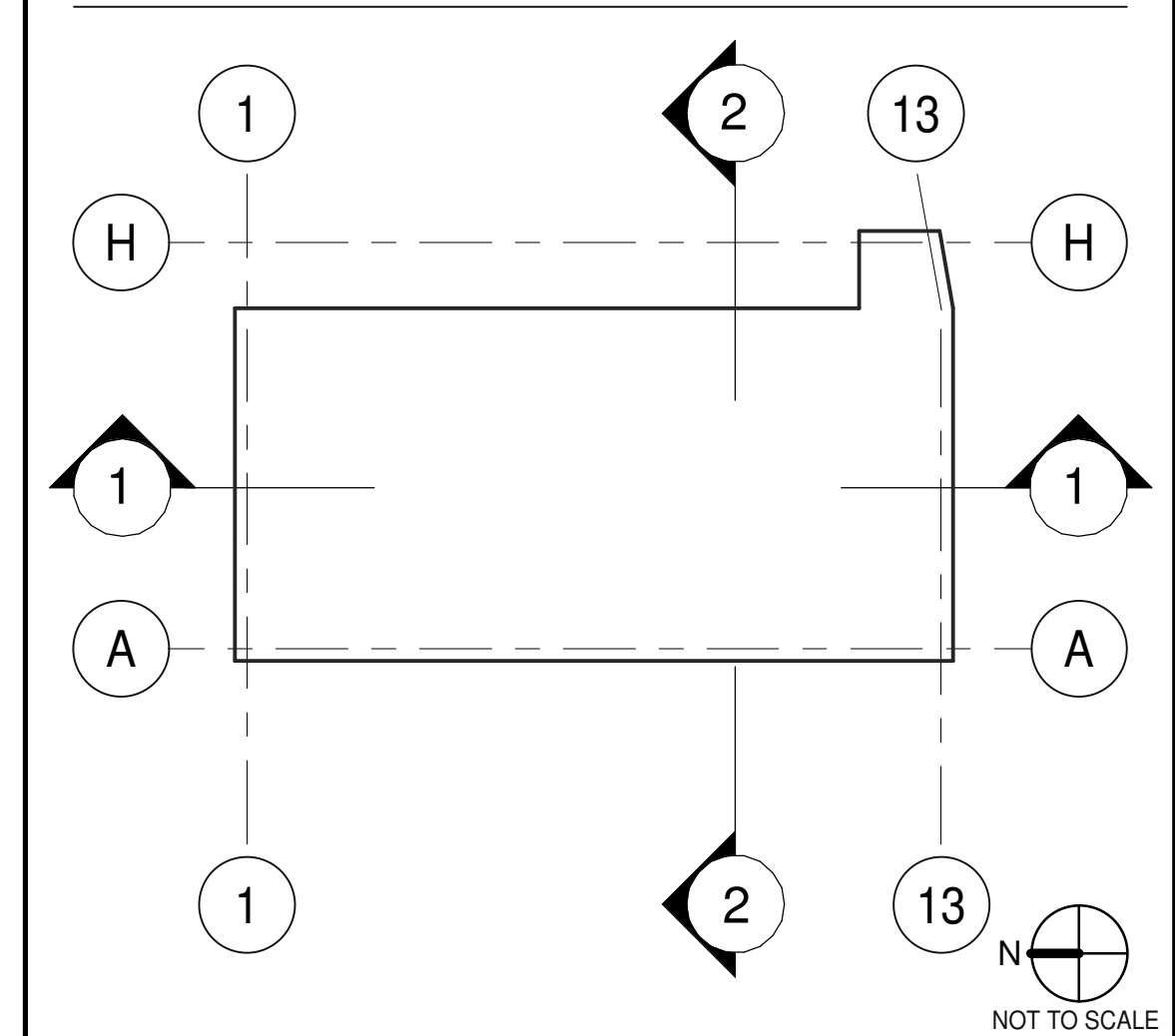
KEYNOTES:

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- 202 CONCRETE SLAB.
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- 501 CONCRETE FOOTING.

WALL/ PARTITION LEGEND

- INSULATED METAL PANEL SYSTEM.
- CONCRETE MASONRY WALL.

KEY PLAN



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LICENCE
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RF.

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BUILDING B - BUILDING SECTIONS		REMARKS
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A311