

4 CHEO - 1DOOR4CARE REFERENCE IMAGE  
AP0601 Scale: 1:1

3 CHEO PARKING GARAGE CONCEPTUAL RENDERING  
AP0601 Scale: 1:1

2 KEY SITE PLAN  
AP0601 Scale: 1:2500

**SITE PLAN LEGEND:**

- ▲ PEDESTRIAN EXIT/ENTRANCE
- ▼ FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- FIRE ROUTE
- ▨ MULTI-USE PATH - REFER TO LANDSCAPE AND CIVIL
- ▨ RAISED PEDESTRIAN CROSSING - REFER TO CIVIL
- ▨ RAMP w/ 600mm TACTILE WARNING INDICATOR 5% @ SLOPE MAX.
- ▨ SLOPED ASPHALT FOR RAISED PEDESTRIAN CROSSINGS (REFER TO CIVIL)
- ▨ RAISED PEDESTRIAN CROSSING - REFER TO CIVIL
- ▨ RELOCATED BUS SHELTER
- ▨ AREAS NOT IN SCOPE - REFER TO CIVIL & LANDSCAPE
- ▨ PAINTED DIAGONAL LINES FOR 'NO PARKING' AREA
- EXTERIOR POLE MOUNTED LUMINAIRE, REFER TO ELECTRICAL
- EXTERIOR POLE MOUNTED LUMINAIRE, REFER TO ELECTRICAL

**SITE STATISTICS**

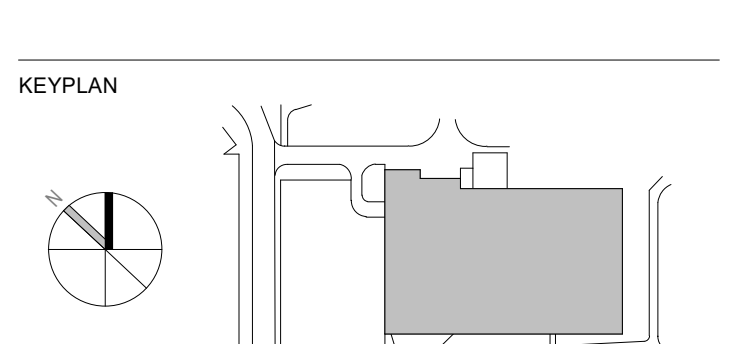
<b>Site Description:</b>	PIN 04258-0401 (LT) Part of Lot 15, Concession Junction Gore Geographic Township of Gloucester Part 4 & 5 Registered Plan 5R-10411 City of Ottawa Parcel 12[370] F(1.5)	
<b>Assigned Address</b>	401 Smyth Road, Ottawa ON.	
<b>Zoning By-Law</b>	Ottawa Zoning By-law 2008-250	
<b>Use</b>	Wide range of uses including but not limited to community health and resource centre, daycare, hospital, parking garage, residential care facility and school	
<b>Zoning Category</b>	I2-Major Institutional Zone	
<b>Proposed Use</b>	Seven storey Parking Garage	
<b>Definition: Parking Garage</b>	Parking garage means a building used for the parking of four or more motor vehicles, but excludes a parking garage accessory to a detached, linked-detached, semi-detached, or duplex dwelling, (garage de stationnement)	
<b>Areas</b>	<b>Proposed</b>	<b>Required</b>
Minimum Lot Width (m)	140 (Lot E)	No Minimum
Minimum Lot Area (m2)	11000	No Minimum
Building Area (m2)	4807	-
<b>Parking</b>	<b>Proposed</b>	<b>Required</b>
Parking Garage Total	1050	-
Accessible Parking (Min)	0	22
Type A	12	11
Type B	40	11
Type C (CHEO Requirement)	42	-
Motorcycle	6	-
Bicycle Parking (Min)	To be Required / Provided by 1Door4Care Through Own Site Plan Application	
Loading Spaces (Min)	To be Required / Provided by 1Door4Care Through Own Site Plan Application	
Electric Vehicle Charging Spots	20	-
<b>Site Coverage</b>	<b>Proposed</b>	<b>Required</b>
Lot Coverage (Max)	44%	No Restriction
% Landscaped Area (Min)	-	-
Landscaped Buffer to Street (Min)	3	3
% Outdoor Storage	0%	0%
% Utility Service Yard	0%	0%
Floor Space Index	1.5 (Site Specific)	
<b>Setbacks</b>	<b>Proposed</b>	<b>Required</b>
Front Yard (m)	7.5	7.5
Rear Yard (m)	Greater than 7.5	7.5
Interior Side Yard (m)	N/A	7.5
Exterior Side Yard (m)	7.5	7.5
<b>Height</b>	<b>Proposed</b>	<b>Required</b>
Max Principal Bldg. (m)	25.6m	Within 12m. of an R1, R2 or R3 zone - 15m Other Cases - No Maximum
<b>Parking Dim's</b>	<b>Proposed</b>	<b>Required</b>
Standard (m)	2.6m x 5.2m	2.6m x 5.2m
Type A	3.4m x 5.2m	3.4m x 5.2m
Type B	2.4m x 5.2m	2.4m x 5.2m
Type C	2.4m x 5.2m	2.4m x 5.2m
Motorcycle	1.3m x 3.0m	1.3m x 3.0m
Loading Space Dim's	3.5m x 9.0m	3.5m x 9.0m
Bicycle Space	0.6m x 1.8m	0.6m x 1.8m
<b>Conservation Authority</b>	Rideau River Conservation Authority Not a Regulated Zone	
<b>Notes</b>	7.5m Front Yard Setback from CHEO property line 46m Front Yard Setback from DHSC Property line	



1 SITE PLAN - PARKING GARAGE PHASE 1A  
AP0601 Scale: 1:250

Existing (GFA)	Proposed (GFA)	1Door4Care	Total
CHEO Main Facility	61,750	21,586	83,336
Max Keeping Wing	4,000		4,000
Ottawa Children's Treatment Centre	3,320		3,320
Roger Nielson House	1,464		1,464
Ronald McDonald House	1,210		1,210
<b>Subtotal</b>	<b>71,744</b>	<b>21,586</b>	<b>93,330</b>
<b>Parking</b>	<b>Required</b>	<b>Provided</b>	
City of Ottawa Parking Requirements (Part 4, Sections 100-114) Provide 1.4 Parking Spaces per 100m2 of GFA	1307	1050	
(Total GFA/100 SQm)*1.4 Parking Spaces		71	2151
<b>Accessible Parking</b>	<b>Required</b>	<b>Provided</b>	<b>Totals</b>
11+1% of total = 11+13 = 24			
Type A	12	12	24
Type B	12	40	54
Type C	-	42	48
<b>Notes</b>	Type C Spots are a CHEO Requirement for Parents & Caregivers with Children & Youth with disabilities and are NOT REQUIRED per Ottawa Accessible Design Standards (ADS) Total Parking spaces provided excluding CHEO requirement of Type C spots <b>2103</b>		

City of Ottawa File No. D07-12-22-0170  
City of Ottawa Plan No. 18912  
Property Boundary by:  
Annis, O'Sullivan, Vollebakk LTD.  
14 Concourse Gate, Suite 500 Nepean, Ont. K2E 7S6



KEYPLAN

5 2023-09-18 RE-ISSUED FOR SPC SUBMISSION  
4 2023-08-16 ISSUED FOR 10% CD SUBMISSION  
3 2023-08-16 ISSUED FOR PERMIT - FOUNDATIONS  
2 2023-08-16 ISSUED FOR SPC SUBMISSION  
1 2023-07-31 ISSUED FOR SPC TO SUBMISSION  
0 2023-04-20 ISSUED FOR TECHNICAL SUBMISSION

DATE: \_\_\_\_\_ REVISION: \_\_\_\_\_

ONARIO ASSOCIATION OF ARCHITECTS  
JASON CHANG  
LICENCE 1832

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

1Door4Care: CHEO Integrated Treatment Centre: Parking Garage

401 Smyth Road, Ottawa ON

**SITE PLAN**

scale: As Indicated  
drawn by: NVJ  
reviewed by: JCH/VD  
job number: 2021-0801-19  
plot date: 2023-09-18  
drawing number: **AP0601**