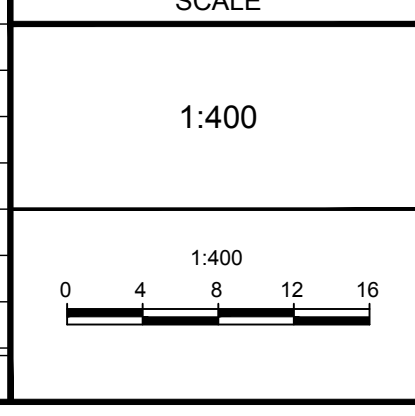


NOTE:
 THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH CIVIL PLANS 122151-NLD1&2, 122151-GP1&2 AND 122151-PR1

No.	REVISION	DATE	BY
6	RE-ISSUED FOR SITE PLAN APPROVAL	SEPT 15/23	DDB
5	ISSUED FOR SITE PLAN APPROVAL	AUG 4/23	DDB
4	ISSUED FOR BUILDING PERMIT	JUL 14/23	DDB
3	REVISED PER CITY COMMENTS	MAY 31/23	DDB
2	REVISED PER CITY COMMENTS	MAR 30/23	DDB
1	ISSUED FOR CITY OF OTTAWA REVIEW	DEC 16/22	DDB



FOR REVIEW ONLY	
DESIGN	SM / BM / DDB
CHECKED	DDB
DRAWN	SM
CHECKED	BM / DDB
APPROVED	DDB

NOVATECH
 Engineers, Planners & Landscape Architects
 Suite 200, 240 Michael Cowland Drive
 Ottawa, Ontario, Canada K2M 1P6
 Telephone: (613) 254-9643
 Facsimile: (613) 254-5867
 Website: www.novatech-eng.com

LOCATION
 CITY OF OTTAWA
 405 HUNTMAR DRIVE - WAREHOUSE DEVELOPMENT

DRAWING NAME
 GRADING PLAN

PROJECT NO.
 122151

REV #
 REV # 6

DRAWING NO.
 122151-GR1

D07-12-22-0186

THIS PLAN IS TO BE READ IN CONJUNCTION WITH CIVIL PLANS 122151-NLD1&2, 122151-GP1&2 AND 122151-PR1

MATCH INTO EXISTING ELEVATIONS ALONG THE NORTH PROPERTY LINE (MAXIMUM 3:1 SIDESLOPES)

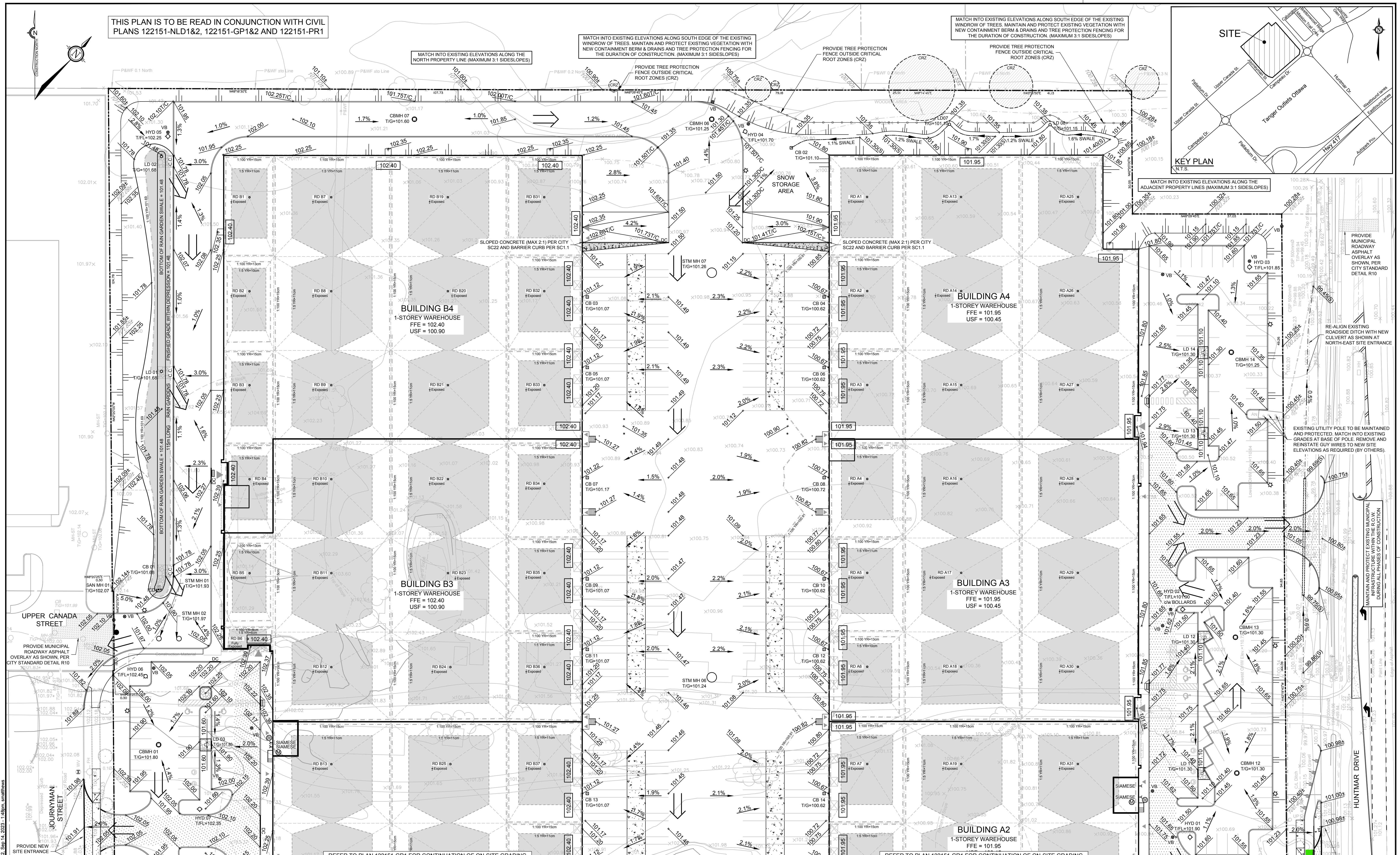
MATCH INTO EXISTING ELEVATIONS ALONG SOUTH EDGE OF THE EXISTING WINDROW OF TREES. MAINTAIN AND PROTECT EXISTING VEGETATION WITH NEW CONTAINMENT BERM & DRAINS AND TREE PROTECTION FENCING FOR THE DURATION OF CONSTRUCTION. (MAXIMUM 3:1 SIDESLOPES)

MATCH INTO EXISTING ELEVATIONS ALONG SOUTH EDGE OF THE EXISTING WINDROW OF TREES. MAINTAIN AND PROTECT EXISTING VEGETATION WITH NEW CONTAINMENT BERM & DRAINS AND TREE PROTECTION FENCING FOR THE DURATION OF CONSTRUCTION. (MAXIMUM 3:1 SIDESLOPES)

MATCH INTO EXISTING ELEVATIONS ALONG THE ADJACENT PROPERTY LINES (MAXIMUM 3:1 SIDESLOPES)

KEY PLAN

SITE



NOTE:
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No.	REVISION	DATE	BY
6	RE-ISSUED FOR SITE PLAN APPROVAL	SEPT 15/23	DOB
5	ISSUED FOR SITE PLAN APPROVAL	AUG 4/23	DOB
4	ISSUED FOR BUILDING PERMIT	JUL 14/23	DOB
3	REVISED PER CITY COMMENTS	MAY 31/23	DOB
2	REVISED PER CITY COMMENTS	MAR 30/23	DOB
1	ISSUED FOR CITY OF OTTAWA REVIEW	DEC 16/22	DOB

SCALE
1:400

DESIGN	SM / BM / DDB
CHECKED	DDB
DRAWN	SM
CHECKED	BM / DDB
APPROVED	DDB

FOR REVIEW ONLY

PROFESSIONAL ENGINEER
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LOCATION
CITY OF OTTAWA
405 HUNTMAR DRIVE - WAREHOUSE DEVELOPMENT

DRAWING NAME
GRADING PLAN

PROJECT No.
122151

REV #
REV # 6

DRAWING No.
122151-GR2

122151-GR2

#18906