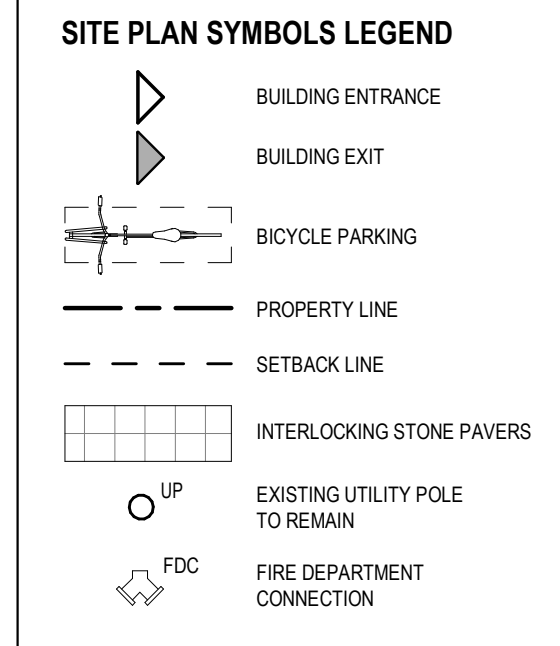


SURVEYOR'S REAL PROPERTY REPORT  
PART 1 - PLAN OF SURVEY  
REGISTERED PLAN 217  
(GEOGRAPHIC TOWNSHIP OF GLOUCESTER)  
CITY OF OTTAWA  
STANTEC GEOMATICS LTD.

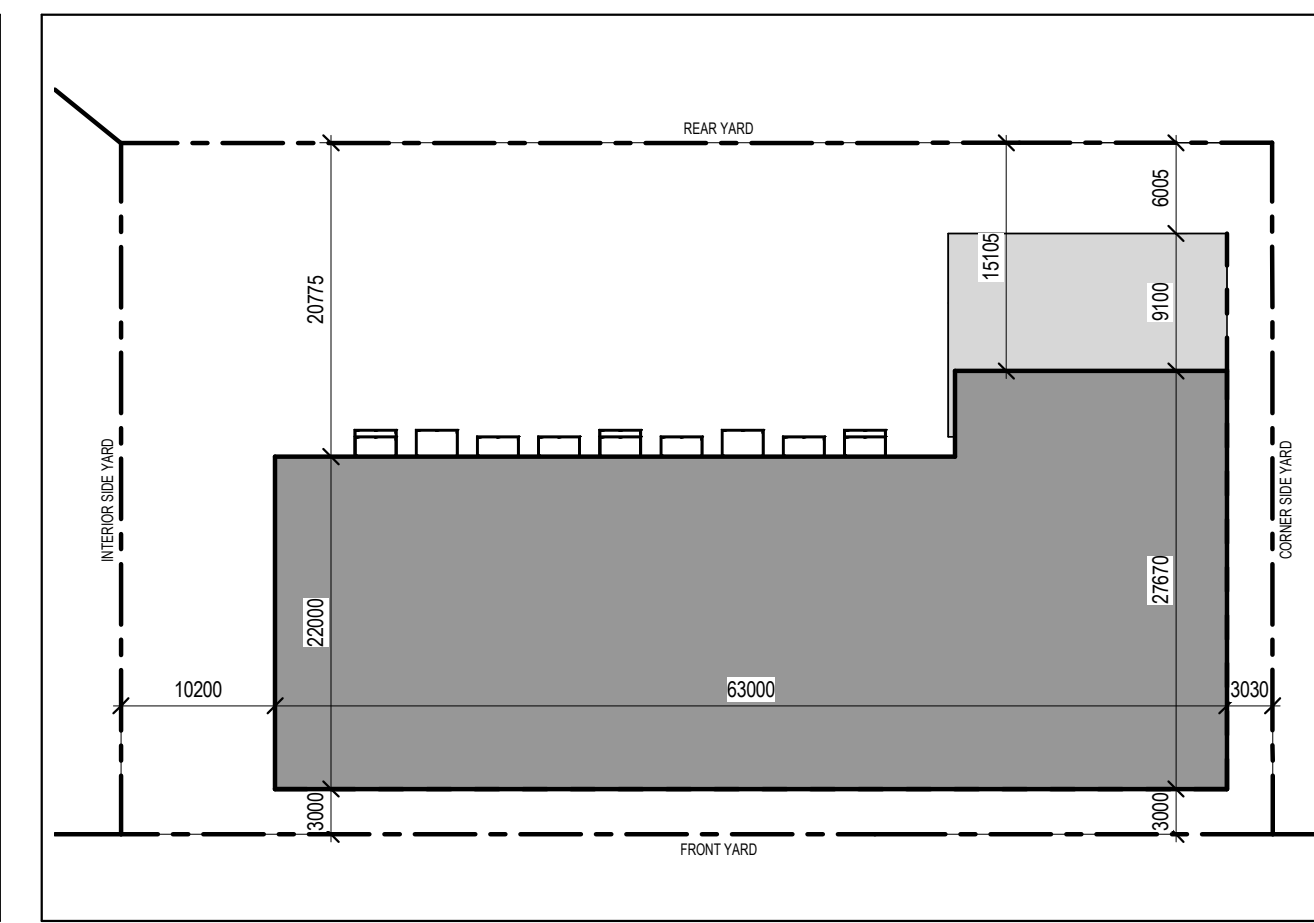
**SURVEY INFO**  
SCALE: 1 : 100



**4 LOCATION PLAN**  
SCALE: N.T.S.

- KEYNOTE LEGEND**
- ASPHALT
  - RAISED PLANTER
  - EXISTING CONCRETE SIDEWALK
  - FIRE DEPARTMENT CONNECTION
  - RETAINING WALL WITH PAINTED STEEL GUARDS
  - CONCRETE WALKWAY
  - INTERLOCKING STONE PAVERS
  - SOFT LANDSCAPING
  - DEPRESSED CURB
  - TERRACED PLANTER
  - CONCRETE RAMP WITH HERRINGBONE & SNOW MELTING
  - EV CAR CHARGING STATION
  - CURB TRANSITION

**3 KEYNOTE LEGEND**  
SCALE: N.T.S.

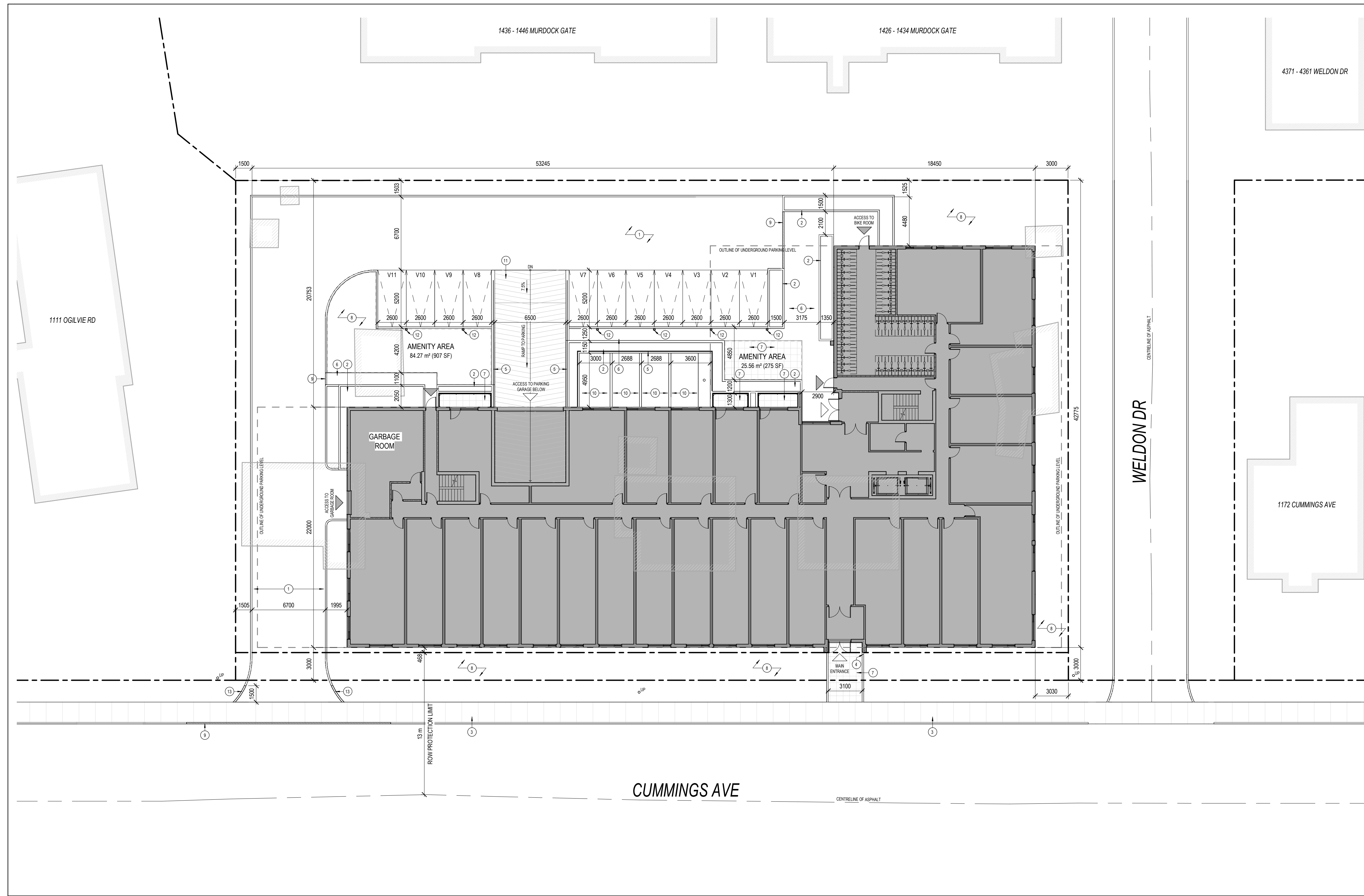


**2 ZONING SETBACK SCHEDULE**  
SCALE: 1 : 500

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KEY PLAN



**1 SITE PLAN**  
SCALE: 1 : 200

**Site Statistics**

Current Zoning Designation:	T01 (Transit Oriented Development Zone)
Lot Width:	76.2m
Total Lot Area:	3487.7m <sup>2</sup>
Average Existing Grade:	71.27m
Gross Floor Area:	11484.6m <sup>2</sup>
Floor Space Index:	3.29
Proposed Unit Count:	188 Residential Units

**Proposed Development - 6 Storey Mid-Rise Apartment Building**

Zoning Mechanism	Required	Provided
Minimum Lot Width Table 195(5)	No Minimum	76.2m
Minimum Lot Area Table 195(5)	No Minimum	3487.7m <sup>2</sup>
Min. Front Yard Setback Table 195(5)(i)	2m	3m
Corner Side Yard Setback Table 195(5)(j)	3m	3m
Min. Interior Side Yard Setback Table 195(5)(k)	No Minimum	1.5m
Min. Rear Yard Setback Table 195(5)(l)	6m	6m
Maximum Building Height Table 195(5)(m)	20m	18.3m
Min. Residential Units per Hectare Section 196(14)(g)(i)	52 Units / hectare	188 Units
Parking Space Rates 101(3)(Area X) 101(6)(c)(i)	81 Spaces No Parking for 12 units, then 0.5 / unit 10% reduction for Below Grade Parking	38 Resident Spaces (56 Total Spaces, 18 visitor)
Minimum Visitor Parking Rates 102(2)(Area X) Table 102	18 Spaces No Parking for 12 units, then 0.1 / unit	18 Spaces (11 at grade + 7 underground)
Bicycle Parking Rates 111(1)	84 Spaces 0.5 spaces / unit for 188 units Min. 50% at Grade	184 Spaces (64 at grade + 90 underground)
Outdoor Communal Space at Grade Section 195(8)	69.75m <sup>2</sup> (2% of total lot area)	82.41m <sup>2</sup>
Total Amenity Area Table 137(4)(ii)	1128m <sup>2</sup> 6m <sup>2</sup> / unit for 188 units	1325.34m <sup>2</sup>
Communal Amenity Area	564m <sup>2</sup> Min. 50% of Total Amenity Area	1097.74m <sup>2</sup>

**4 SITE & PROJECT STATISTICS**  
SCALE: 1 : 1

**UNIT COUNT**

NAME	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	TOTAL COUNT	PERCENTAGE
1-BEDROOM	17	17	17	17	17	17	102	54%
1-BEDROOM + DEN	1	1	1	1	1	1	6	3%
2-BEDROOM	2	5	5	5	3	3	23	12%
STUDIO	7	10	10	10	10	10	57	30%
TOTAL	27	33	33	33	31	31	188	100%

**AMENITY AREAS (COMMUNAL)**

LEVEL	NAME	AREA	AREA (SF)
LEVEL P1	INDOOR AMENITY	333.91 m <sup>2</sup>	3594 SF
AVG. GRADE	AMENITY AREA	109.83 m <sup>2</sup>	1182 SF
LEVEL 05	AMENITY - LEVEL 05 TERRACE	78.88 m <sup>2</sup>	847 SF
T.O. ROOF	AMENITY - ROOFTOP TERRACE	575.32 m <sup>2</sup>	6193 SF
TOTAL		1097.74 m <sup>2</sup>	11816 SF

**LEASABLE FLOOR AREA**

LEVEL	AREA	AREA (SF)
LEVEL 01	1185.96 m <sup>2</sup>	12766 SF
LEVEL 02	1486.98 m <sup>2</sup>	16006 SF
LEVEL 03	1474.52 m <sup>2</sup>	15872 SF
LEVEL 04	1462.67 m <sup>2</sup>	15744 SF
LEVEL 05	1293.62 m <sup>2</sup>	13924 SF
LEVEL 06	1293.21 m <sup>2</sup>	13920 SF
TOTAL	8196.96 m <sup>2</sup>	88231 SF

**AMENITY AREAS (PRIVATE)**

LEVEL	AREA	AREA (SF)
LEVEL 01	15.34 m <sup>2</sup>	165 SF
LEVEL 02	37.12 m <sup>2</sup>	400 SF
LEVEL 03	41.71 m <sup>2</sup>	449 SF
LEVEL 04	40.54 m <sup>2</sup>	436 SF
LEVEL 05	67.28 m <sup>2</sup>	721 SF
LEVEL 06	35.61 m <sup>2</sup>	383 SF
TOTAL	227.60 m <sup>2</sup>	2450 SF

**GROSS FLOOR AREA**

LEVEL	AREA	AREA (SF)
LEVEL P1	2094.06 m <sup>2</sup>	22540 SF
LEVEL 01	1646.89 m <sup>2</sup>	17727 SF
LEVEL 02	1633.74 m <sup>2</sup>	17585 SF
LEVEL 03	1621.28 m <sup>2</sup>	17461 SF
LEVEL 04	1609.42 m <sup>2</sup>	17324 SF
LEVEL 05	1438.99 m <sup>2</sup>	15489 SF
LEVEL 06	1433.41 m <sup>2</sup>	15429 SF
TOTAL	11477.77 m <sup>2</sup>	123546 SF

**PARKING SCH. (BICYCLE)**

LEVEL	COUNT
LEVEL P1	90
LEVEL 01	94
TOTAL	184

**PARKING SCH. (VEHICLE)**

LEVEL	COUNT
LEVEL P1	45
AVG. GRADE	11
TOTAL	56

- ISSUE RECORD**
- |                                  |            |
|----------------------------------|------------|
| 5 REISSUED FOR SITE PLAN CONTROL | 2023-08-22 |
| 4 ISSUED FOR SITE PLAN CONTROL   | 2023-04-12 |
| 3 ISSUED FOR COORDINATION        | 2023-03-31 |
| 2 ISSUED FOR COORDINATION        | 2023-03-15 |
| 1 ISSUED FOR COORDINATION        | 2023-03-02 |



**1184 CUMMINGS**  
1184 Cummings Avenue  
Gloucester, ON

PROJ SCALE DRAWN REVIEWED  
**2231 NOTED BH RK**

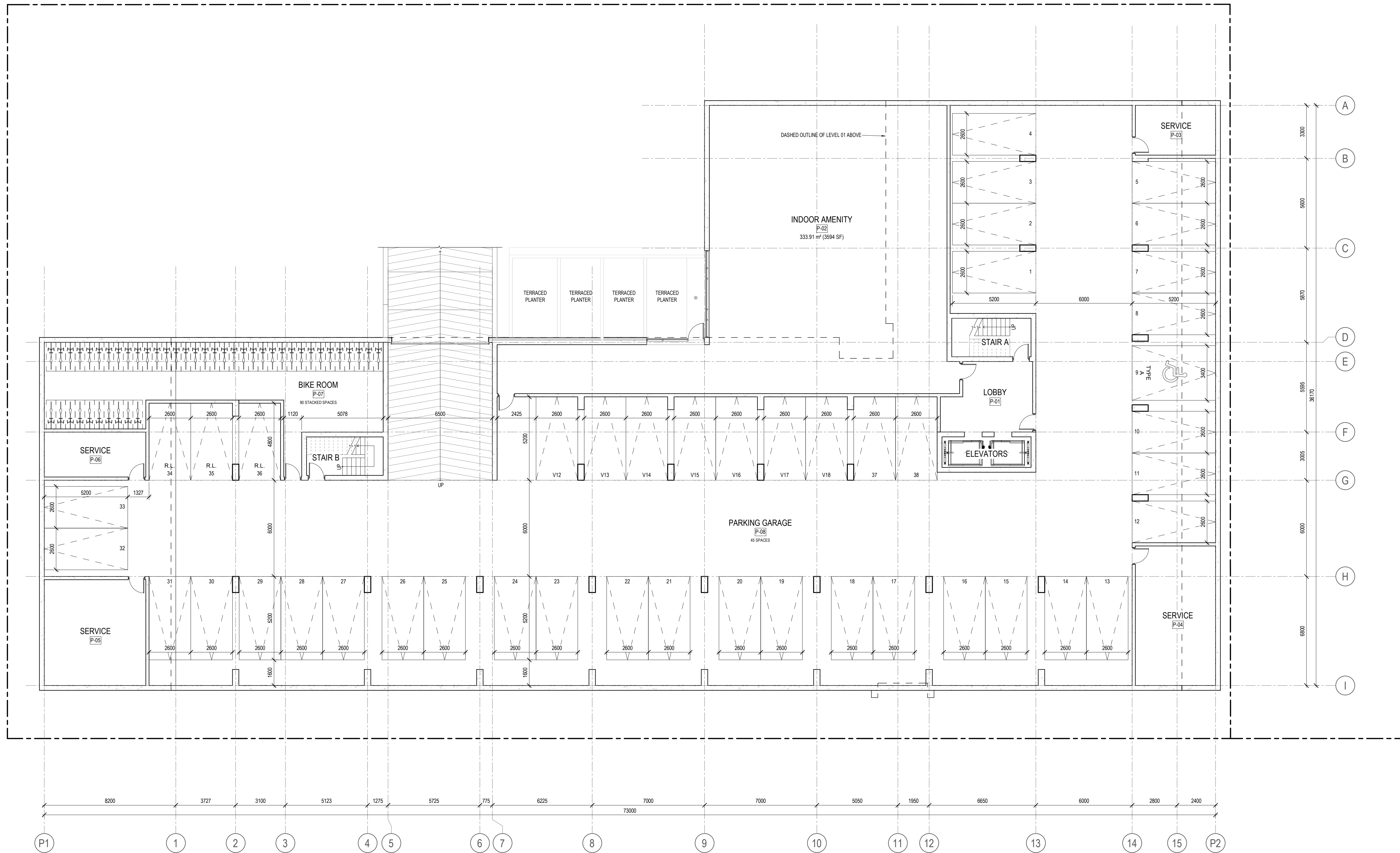
**SITE PLAN**

**SP-01**

NOTE  
FOR INFORMATION ONLY

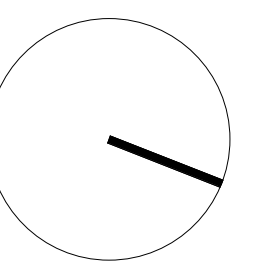
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KEY PLAN



- |   |                              |            |
|---|------------------------------|------------|
| 5 | ISSUED FOR SITE PLAN CONTROL | 2023-08-22 |
| 4 | ISSUED FOR SITE PLAN CONTROL | 2023-04-12 |
| 1 | ISSUED FOR COORDINATION      | 2023-03-02 |

ISSUE RECORD



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PROJ	SCALE	DRAWN	REVIEWED
2231	1 : 125	BH	RK

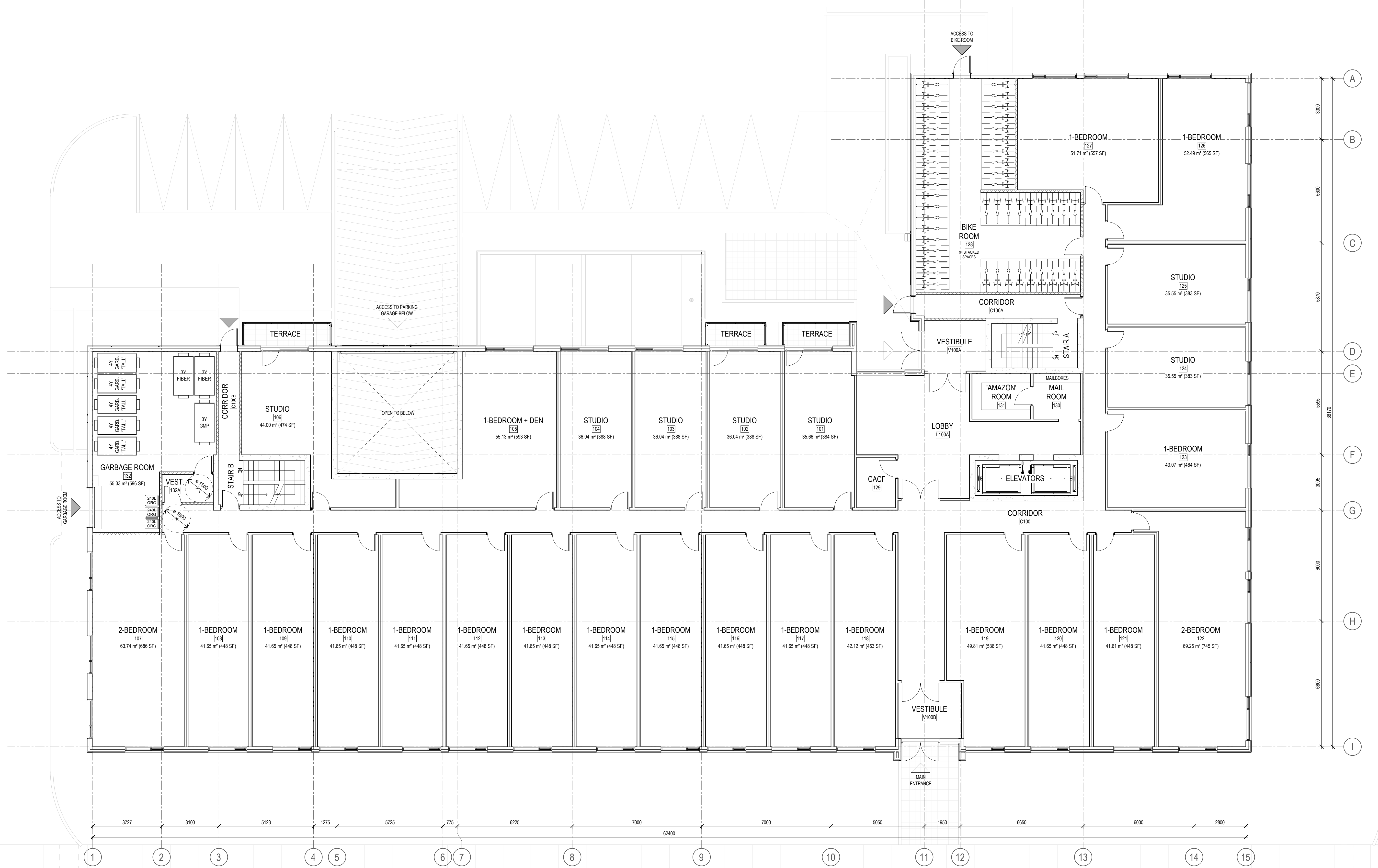
FLOOR PLAN - LEVEL P1

**A100**

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KEY PLAN



ISSUE RECORD	DESCRIPTION	DATE
5	REISSUED FOR SITE PLAN CONTROL	2023-08-22
4	ISSUED FOR SITE PLAN CONTROL	2023-04-12
1	ISSUED FOR COORDINATION	2023-03-02



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PROJ	SCALE	DRAWN	REVIEWED
2231	1 : 100	BH	RK

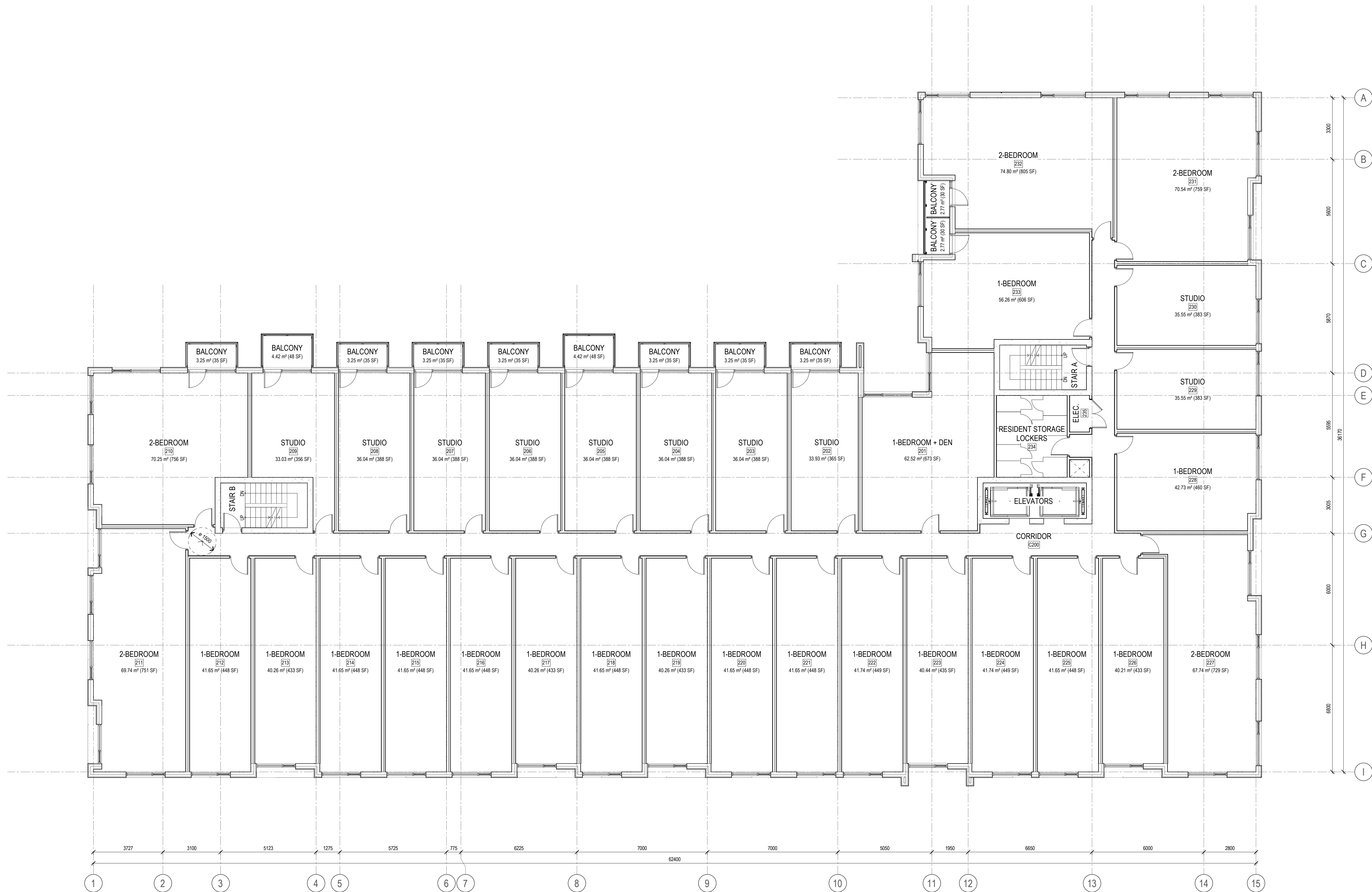
FLOOR PLAN - LEVEL 01

**A101**

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KEY PLAN



- ISSUE RECORD
- |   |                              |            |
|---|------------------------------|------------|
| 5 | ISSUED FOR SITE PLAN CONTROL | 2023-08-22 |
| 4 | ISSUED FOR SITE PLAN CONTROL | 2023-04-12 |
| 1 | ISSUED FOR COORDINATION      | 2023-03-02 |

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PROJ	SCALE	DRAWN	REVIEWED
2231	1 : 100	BH	RK

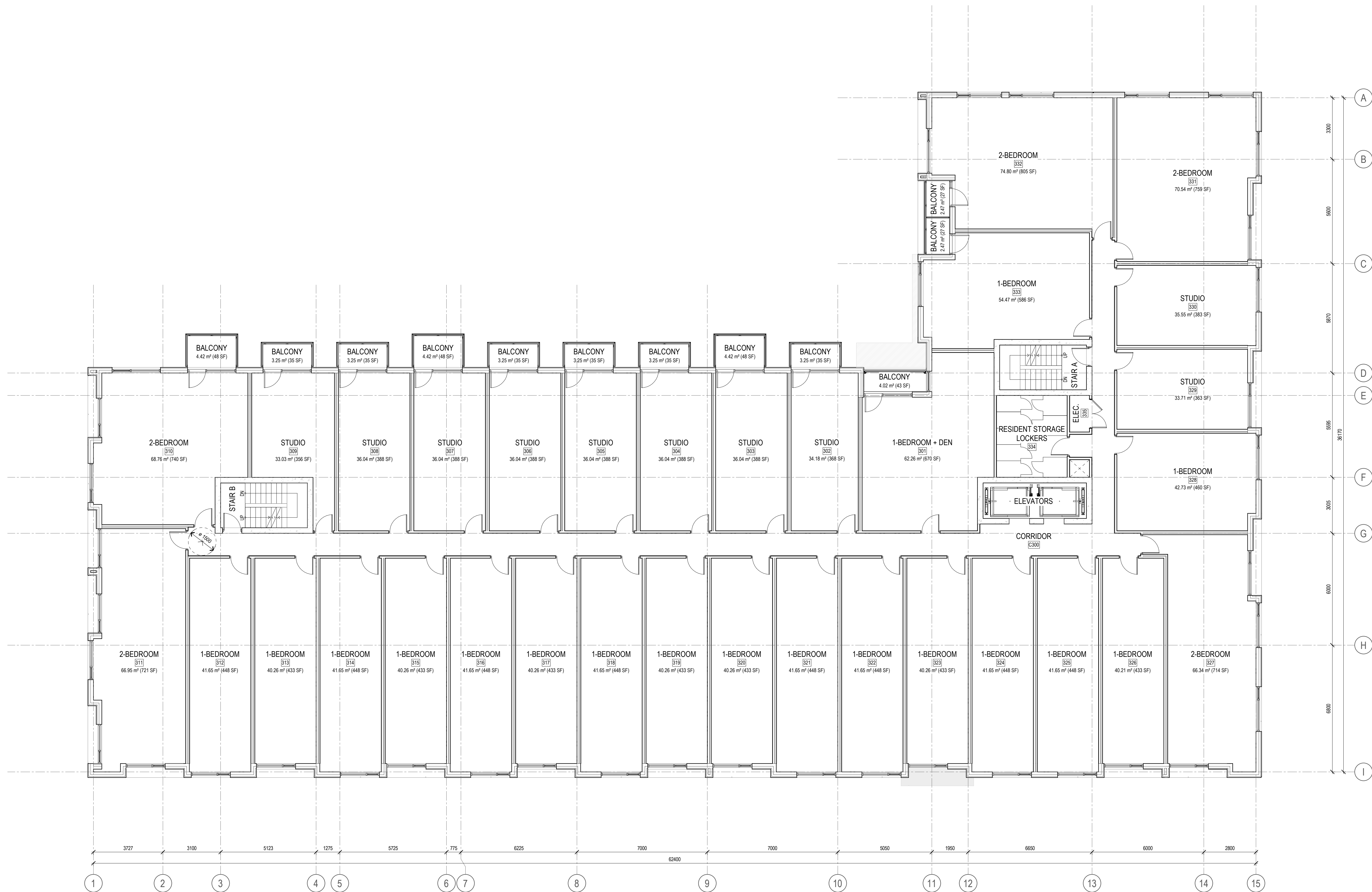
FLOOR PLAN - LEVEL 02

**A102**

NOTE  
FOR INFORMATION ONLY

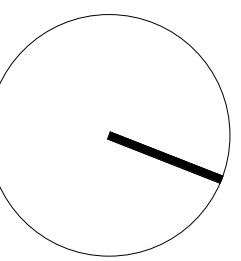
- GENERAL ARCHITECTURAL NOTES:
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KEY PLAN



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1	ISSUED FOR COORDINATION	2023-03-02

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PROJ	SCALE	DRAWN	REVIEWED
2231	1 : 100	BH	RK

FLOOR PLAN - LEVEL 03

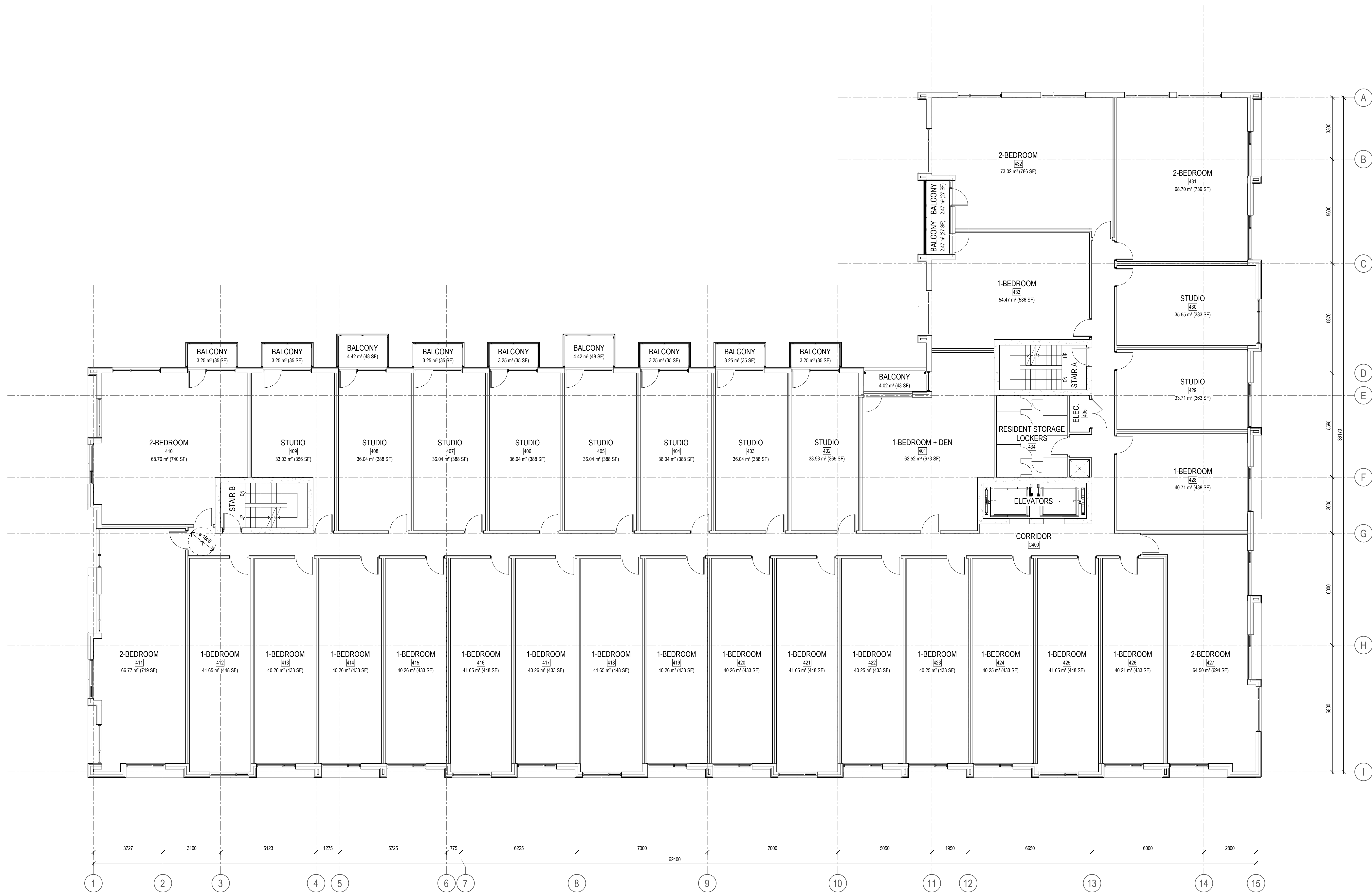
**A103**



NOTE  
FOR INFORMATION ONLY

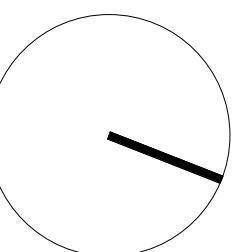
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KEY PLAN



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PROJ	SCALE	DRAWN	REVIEWED
2231	1 : 100	BH	RK

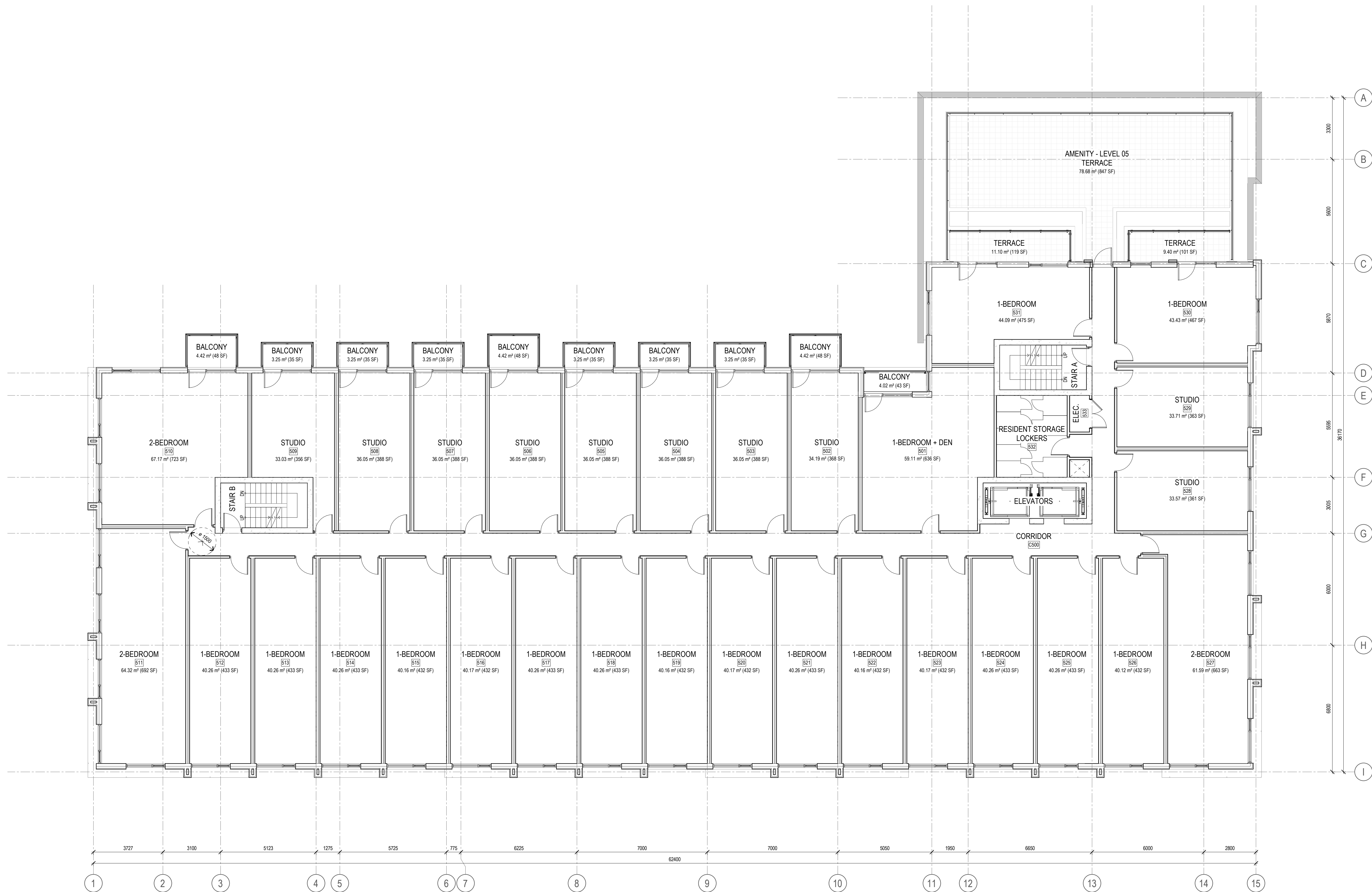
FLOOR PLAN - LEVEL 04

**A104**

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KEY PLAN



- 5 ISSUED FOR SITE PLAN CONTROL 2023-08-22  
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1 ISSUED FOR COORDINATION 2023-03-02

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PROJ 2231 SCALE 1:100 DRAWN BH REVIEWED RK

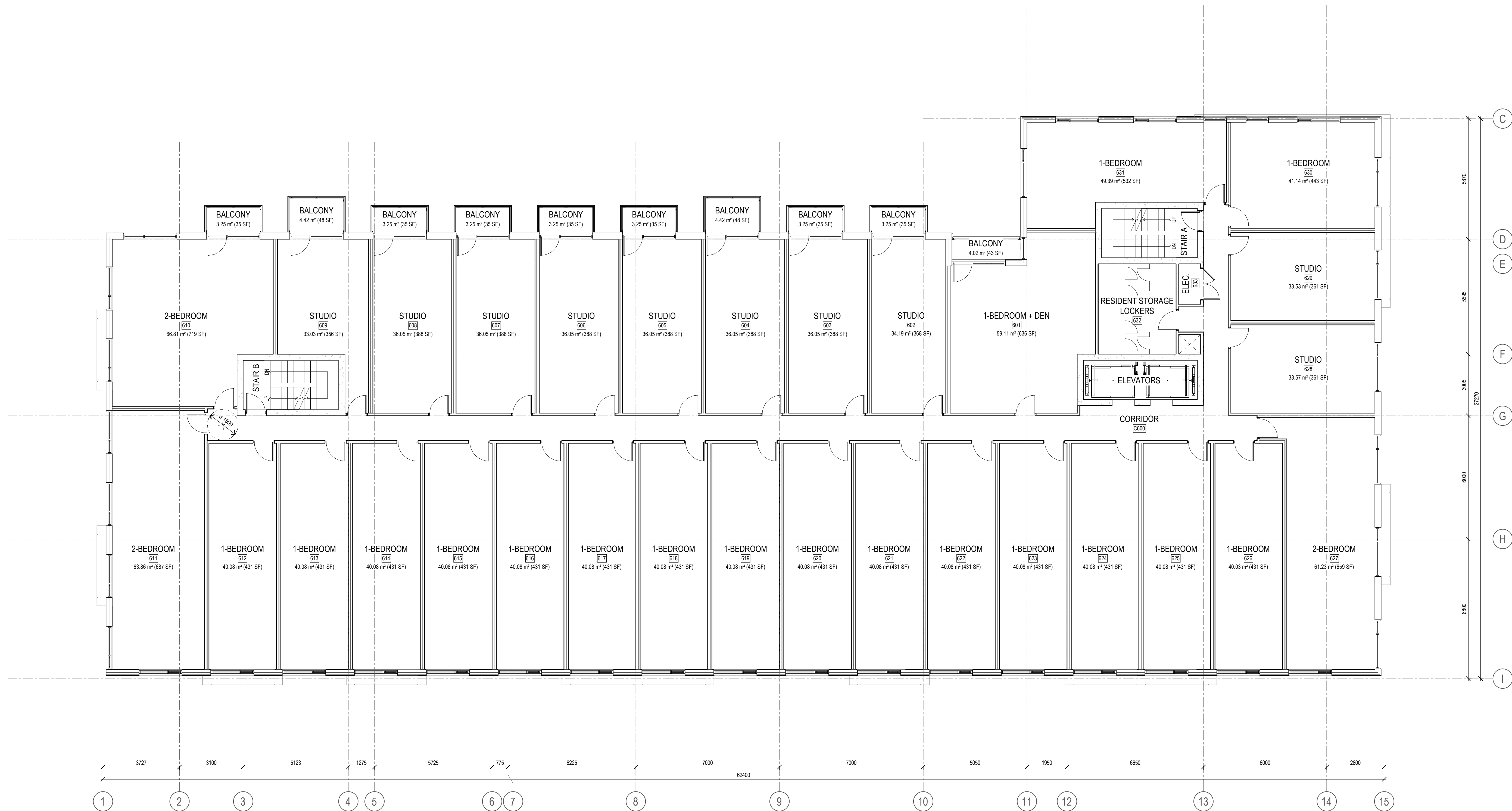
FLOOR PLAN - LEVEL 05

**A105**

NOTE  
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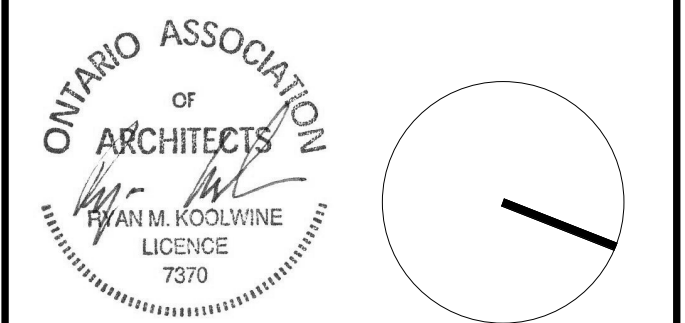
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KEY PLAN



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1	ISSUED FOR COORDINATION	2023-03-02

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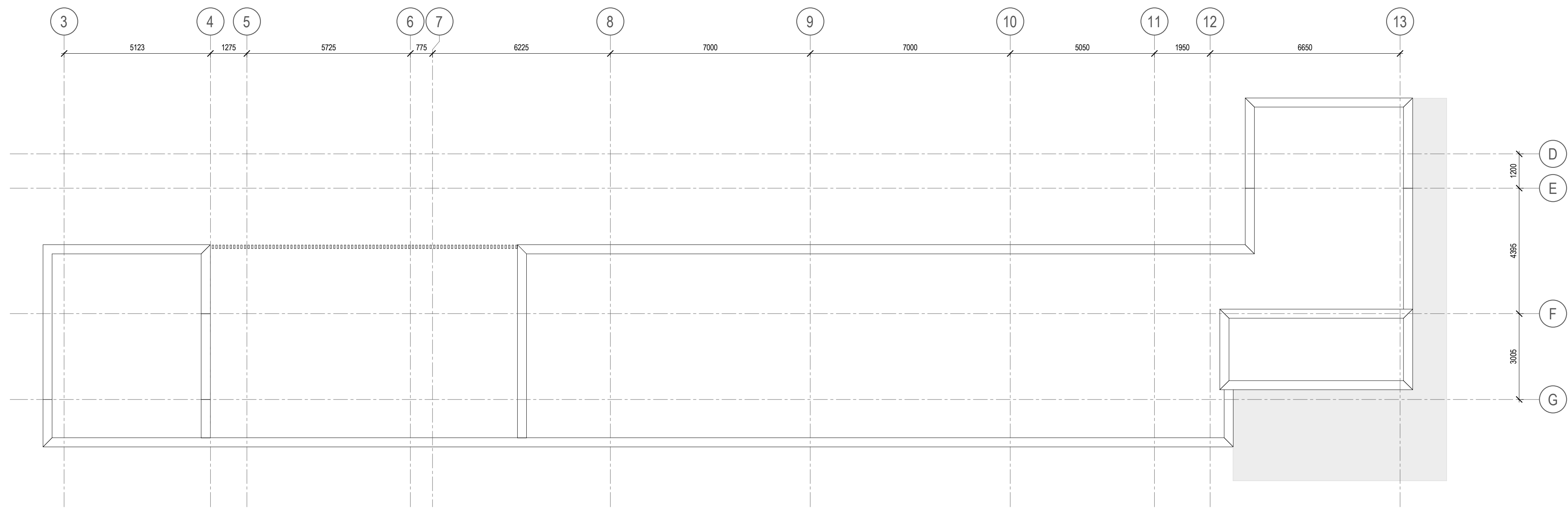
1184 Cummings Avenue  
Gloucester, ON

PROJ	SCALE	DRAWN	REVIEWED
2231	1 : 100	BH	RK

FLOOR PLAN - LEVEL 06

**A106**



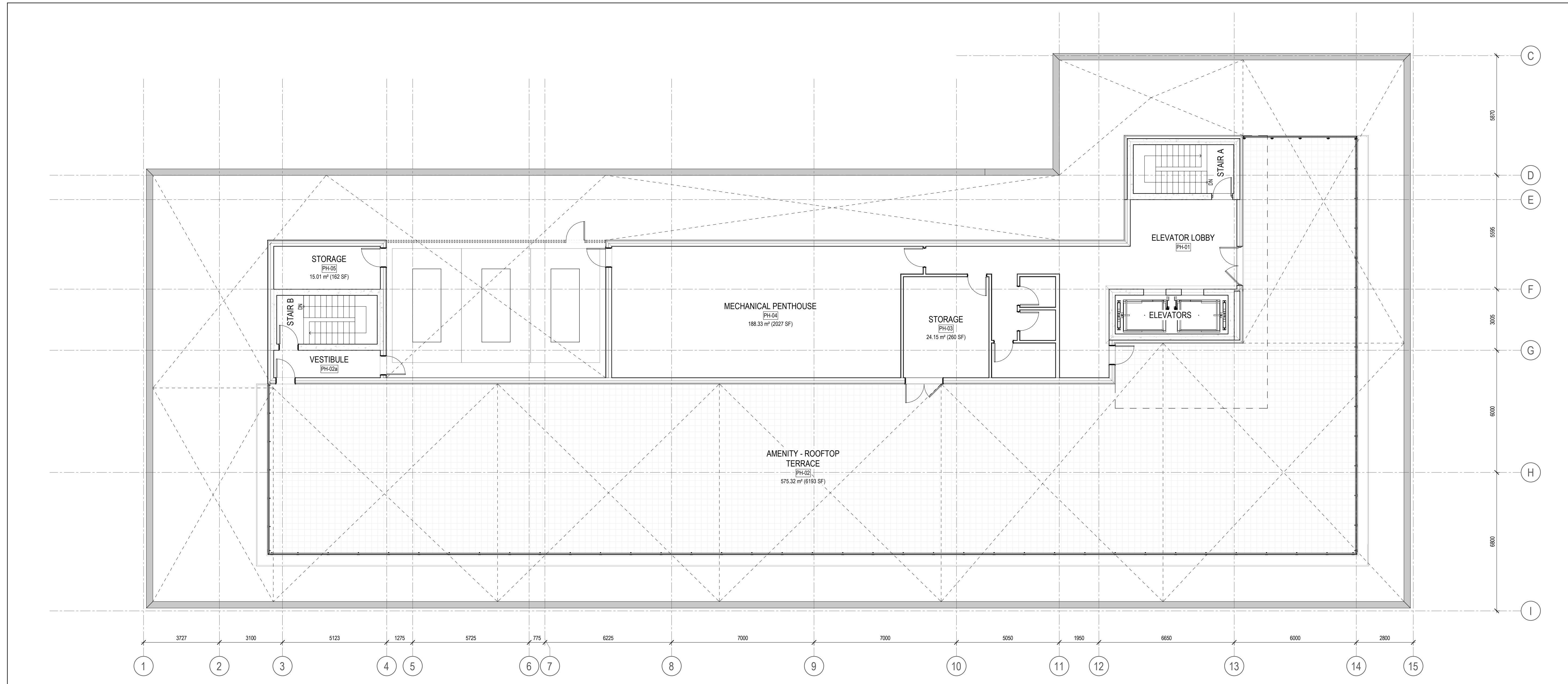


NOTE  
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KEY PLAN

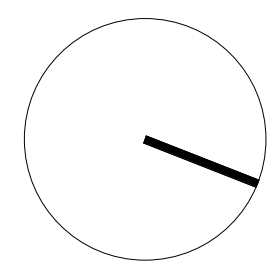
2 T.O. PENTHOUSE ROOF  
A107 SCALE: 1 : 100



1 ROOF PLAN  
A107 SCALE: 1 : 100

- ISSUE RECORD
- |   |                                |            |
|---|--------------------------------|------------|
| 5 | REISSUED FOR SITE PLAN CONTROL | 2023-08-22 |
| 4 | ISSUED FOR SITE PLAN CONTROL   | 2023-04-12 |
| 1 | ISSUED FOR COORDINATION        | 2023-03-02 |

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PROJ	SCALE	DRAWN	REVIEWED
2231	NOTED	BH	RK

ROOF PLANS

**A107**



1 SOUTH ELEVATION  
A201 SCALE: 1:100



2 EAST ELEVATION  
A201 SCALE: 1:100

**CLADDING LEGEND:**

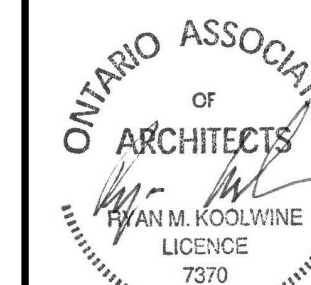
AL-1	ALUMINUM PANEL BLACK
AL-2	ALUMINUM PANEL COPPER
AL-3	ALUMINUM PANEL LIGHT GREY
AL-4	ALUMINUM LOUVRES LIGHT GREY
WS-1	WOOD SIDING CEDAR WOODGRAIN
GL-1	ALUMINUM AND GLASS RAILING
GL-2	FRITTED ALUMINUM PANEL COPPER FINISH

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- |   |                              |            |
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| 5 | ISSUED FOR SITE PLAN CONTROL | 2023-08-22 |
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| 1 | ISSUED FOR COORDINATION      | 2023-03-02 |

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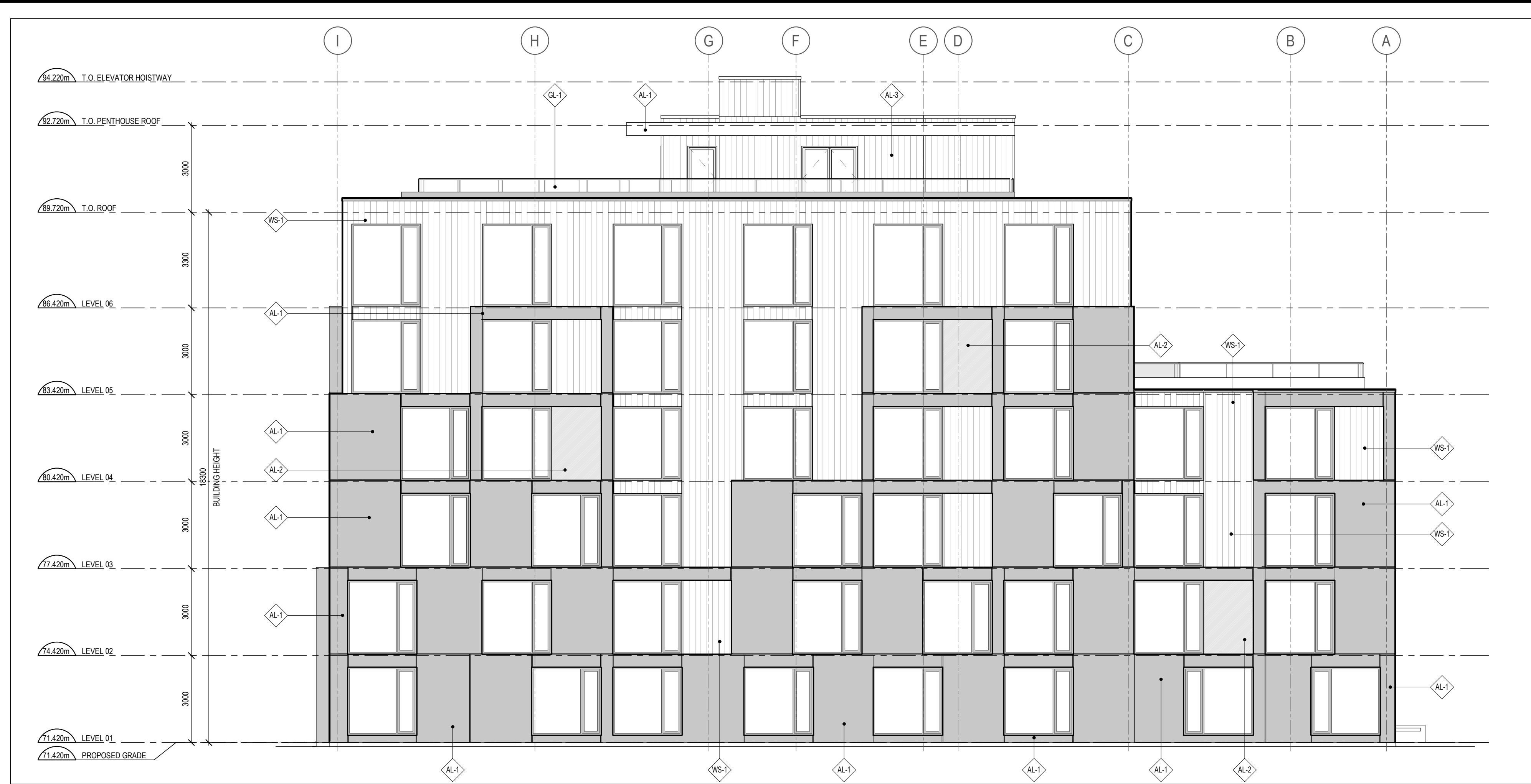
1184 CUMMINGS

1184 Cummings Avenue  
Gloucester, ON

PROJ	SCALE	DRAWN	REVIEWED
2231	NOTED	BH	RK

SOUTH AND EAST ELEVATIONS

**A201**



1 NORTH ELEVATION  
A202 SCALE: 1 : 100



2 WEST ELEVATION  
A202 SCALE: 1 : 100

**CLADDING LEGEND:**

[Symbol]	AL-1	ALUMINUM PANEL BLACK
[Symbol]	AL-2	ALUMINUM PANEL COPPER
[Symbol]	AL-3	ALUMINUM PANEL LIGHT GREY
[Symbol]	AL-4	ALUMINUM LOUVRES LIGHT GREY
[Symbol]	WS-1	WOOD SIDING CEDAR WOODGRAIN
[Symbol]	GL-1	ALUMINUM AND GLASS RAILING
[Symbol]	GL-2	FRITTED ALUMINUM PANEL COPPER FINISH

- GENERAL ARCHITECTURAL NOTES:**
- This drawing is the property of the Architect and may not be reproduced or used without the expressed consent of the Architect.
  - Drawings are not to be scaled. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.
  - Upon notice in writing, the Architect will provide written clarification or supplementary information regarding the intent of the Contract Documents.
  - The Architectural Drawings are to be read in conjunction with all other Contract Documents including Project Manuals and the Structural, Mechanical and Electrical Drawings.
  - Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.
  - These documents are not to be used for construction unless specifically noted for such purpose.

KEY PLAN

- |   |                                |            |
|---|--------------------------------|------------|
| 5 | REISSUED FOR SITE PLAN CONTROL | 2023-08-22 |
| 4 | ISSUED FOR SITE PLAN CONTROL   | 2023-04-12 |
| 1 | ISSUED FOR COORDINATION        | 2023-03-02 |

ISSUE RECORD



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PROJ	SCALE	DRAWN	REVIEWED
2231	NOTED	BH	RK

**NORTH AND WEST ELEVATIONS**

**A202**