

**LEGEND**

- PROPERTY LINE
- DC PROPOSED DEPRESSED CURB
- PROPOSED TACTILE WALKING SURFACE INDICATOR (TWSI)
- 98.40 PROPOSED ELEVATION
- 97.90(S) EXISTING ELEVATION
- 97.90(N) PROPOSED SWALE ELEVATION
- 97.90(W) PROPOSED TOP OF WALL ELEVATION
- 97.88(TC) PROPOSED BOTTOM OF WALL ELEVATION
- V&VB PROPOSED TOP OF CURB ELEVATION
- FDSC PROPOSED VALVE AND VALVE BOX
- H.P. PROPOSED BUILDING ENTRANCE
- PROPOSED HIGH POINT
- SWALE c/w SUBDRAIN AND DIRECTION OF FLOW
- TERRACING 3:1 SLOPE MAX (UNLESS OTHERWISE INDICATED)
- PROPOSED RETAINING WALL C/W GUARD RAIL
- SLOPE AND DIRECTION
- DIRECTION OF MAJOR OVERLAND FLOW
- PROPOSED LANDSCAPE DRAIN
- PROPOSED CATCHBASIN MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED LANDSCAPE TEE CATCH BASIN
- PROPOSED LANDSCAPE ELBOW CATCH BASIN
- PROPOSED TRENCH DRAIN
- 1:100 YEAR PONDING AREA AND ELEVATION
- 1:100 YEAR (+20%) PONDING AREA AND ELEVATION
- SAN MH ● PROPOSED SANITARY MANHOLE
- STM MH ○ PROPOSED STORM MANHOLE
- PROPOSED HYDRANT & VALVE
- PROPOSED VALVE AND VALVE BOX
- EXISTING VALVE & VALVE BOX
- EXISTING VALVE & LEAD
- SAN MH ● EXISTING SANITARY MANHOLE
- STM MH ○ EXISTING STORM MANHOLE
- CB □ EXISTING CATCHBASIN
- EXISTING DITCH CENTERLINE
- EXISTING UTILITY POLE
- EXISTING UTILITY POLE ANCHORS
- EXISTING STREETLIGHT

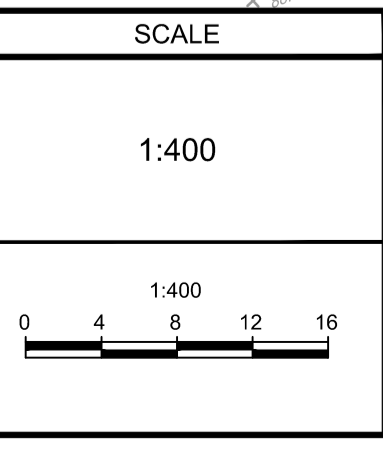
MATCH INTO EXISTING TOP OF BANK ELEVATIONS  
RAISE GRADE AT PROPERTY LINE TO MATCH TOP OF  
BANK ELEVATIONS AS NOTED ON THE APPROVED  
GRADING PLANS FOR THE NEIGHBORING DEALERSHIP  
LANDS (TYP)

SITE BENCHMARK  
CUT CROSS ON CONCRETE  
BASE OF LIGHT STANDARD  
ELEV = 90.57

**NOTE:**  
THE POSITION OF ALL POLE LINES, CONDUITS,  
WATERMANS, SEWERS AND OTHER  
UNDERGROUND AND OVERGROUND UTILITIES AND  
STRUCTURES IS NOT NECESSARILY SHOWN ON  
THE CONTRACT DRAWINGS, AND WHERE SHOWN,  
THE ACCURACY OF THE POSITION OF SUCH  
UTILITIES AND STRUCTURES IS NOT GUARANTEED.  
BEFORE STARTING WORK, DETERMINE THE EXACT  
LOCATION OF ALL SUCH UTILITIES AND  
STRUCTURES AND ASSUME ALL LIABILITY FOR  
DAMAGE TO THEM.

**NOT FOR  
CONSTRUCTION**

No.	REVISION	DATE	BY
2.	REVISED PER CITY COMMENTS	SEPT 15/2023	GJM
1	ISSUED FOR SITE PLAN APPLICATION	MAY 24/2023	GJM



DESIGN	ARM/CJF
CHECKED	ARM
DRAWN	ARM/CJF
CHECKED	ARM
APPROVED	GJM

**FOR REVIEW ONLY**

LICENSED PROFESSIONAL ENGINEER  
A. R. MESTWARP  
100201604  
PROVINCE OF ONTARIO

LICENSED PROFESSIONAL ENGINEER  
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**NOVATECH**  
Engineers, Planners & Landscape Architects  
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Ottawa, Ontario, Canada K2M 1P6

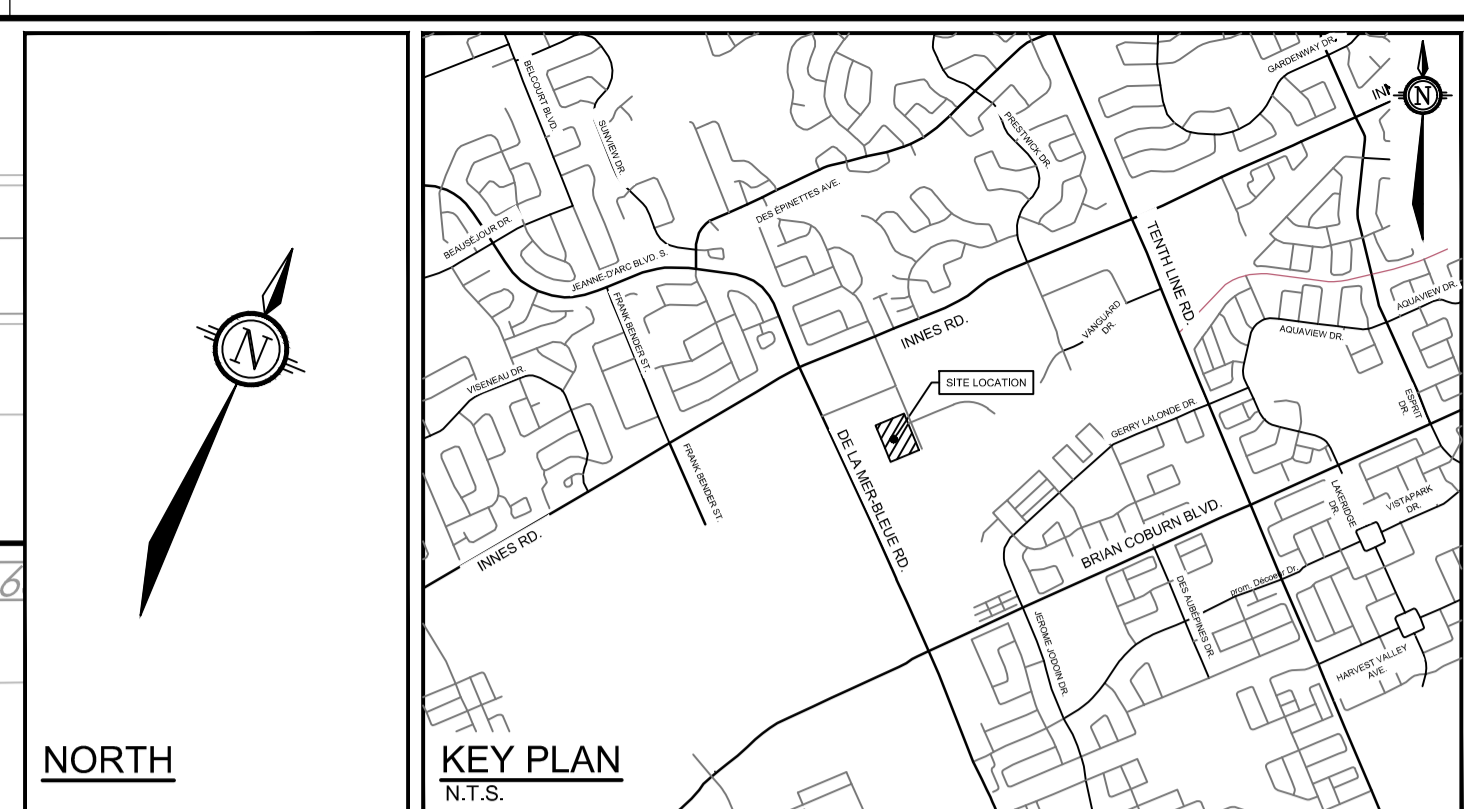
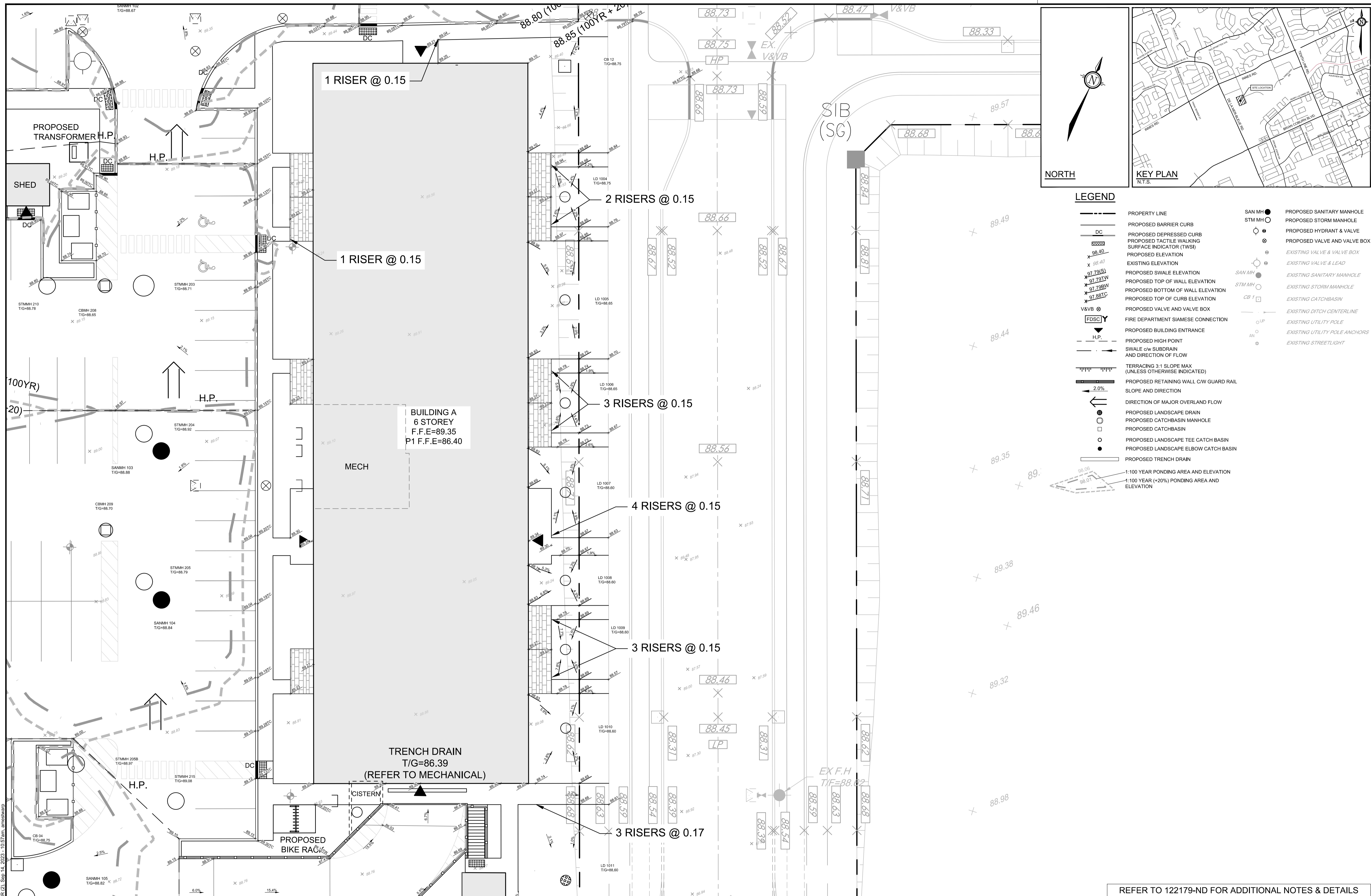
Telephone (613) 254-9643  
Facsimile (613) 254-5867  
Website www.novatech-eng.com

REFER TO 122179-ND FOR ADDITIONAL NOTES & DETAILS

LOCATION	4200 INNES ROAD, CITY OF OTTAWA TRINITY APARTMENTS
DRAWING NAME	GRADING PLAN
PROJECT No.	122179
REV	REV#2
DRAWING No.	122179-GR

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CITY FILE No. D07-12-23-0068



**LEGEND**

---	PROPERTY LINE	SAN MH ●	PROPOSED SANITARY MANHOLE
DC	PROPOSED BARRIER CURB	STM MH ○	PROPOSED STORM MANHOLE
-----	PROPOSED DEPRESSED CURB	○	PROPOSED HYDRANT & VALVE
-----	PROPOSED TACTILE WALKING SURFACE INDICATOR (TWSI)	⊗	PROPOSED VALVE AND VALVE BOX
-----	PROPOSED ELEVATION	⊕	EXISTING VALVE & VALVE BOX
-----	EXISTING ELEVATION	⊖	EXISTING VALVE & LEAD
-----	PROPOSED SWALE ELEVATION	○	EXISTING SANITARY MANHOLE
-----	PROPOSED TOP OF WALL ELEVATION	○	EXISTING STORM MANHOLE
-----	PROPOSED BOTTOM OF WALL ELEVATION	○	EXISTING CATCHBASIN
-----	PROPOSED TOP OF CURB ELEVATION	○	EXISTING DITCH CENTERLINE
-----	PROPOSED VALVE AND VALVE BOX	○	EXISTING UTILITY POLE
-----	FIRE DEPARTMENT SIAMSE CONNECTION	○	EXISTING UTILITY POLE ANCHORS
-----	PROPOSED BUILDING ENTRANCE	○	EXISTING STREETLIGHT
-----	PROPOSED HIGH POINT	○	
-----	SWALE c/w SUBDRAIN AND DIRECTION OF FLOW	○	
-----	TERRACING 3:1 SLOPE MAX (UNLESS OTHERWISE INDICATED)	○	
-----	PROPOSED RETAINING WALL C/W GUARD RAIL	○	
-----	SLOPE AND DIRECTION	○	
-----	DIRECTION OF MAJOR OVERLAND FLOW	○	
-----	PROPOSED LANDSCAPE DRAIN	○	
-----	PROPOSED CATCHBASIN MANHOLE	○	
-----	PROPOSED CATCHBASIN	○	
-----	PROPOSED LANDSCAPE TEE CATCH BASIN	○	
-----	PROPOSED LANDSCAPE ELBOW CATCH BASIN	○	
-----	PROPOSED TRENCH DRAIN	○	
-----	1:100 YEAR PONDING AREA AND ELEVATION	○	
-----	1:100 YEAR (+20%) PONDING AREA AND ELEVATION	○	

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No.	REVISION	DATE	BY
2.	REVISED PER CITY COMMENTS	SEPT 15/2023	GJM
1	ISSUED FOR SITE PLAN APPLICATION	MAY 24/2023	GJM

DESIGN	SCALE
ARM/CJF	
ARM	
ARM/CJF	
ARM	
GJM	

**FOR REVIEW ONLY**

**LICENSED PROFESSIONAL ENGINEER**  
 A.R. MESTWARP  
 100201604  
 Sept 15, 2023  
 PROVINCE OF ONTARIO

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LOCATION	4200 INNES ROAD, CITY OF OTTAWA TRINITY APARTMENTS
DRAWING NAME	GRADING PLAN - BUILDING A REAR GRADING
PROJECT No.	122179
REV	REV#2
DRAWING No.	122179-GR2

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CITY FILE No. D07-12-23-0068  
 PLAN No. 18993