



PROJECT INFORMATION			
Zoning By-law 2008-250 Consolidation R3K(163) AM10(199)	SITE AREA	0.488 ha.	4,881.7 sq. m. (52,540 sq. ft.)
ZONING	REQUIRED	PROVIDED	
BUILDING HEIGHT - AM10	30.0m	26 STOREYS / 88.0m	
BUILDING HEIGHT - R3K	10.0m	26 STOREYS / 88.0m	
GRADE (GEODETTIC ELEVATION - ASL)	(GEO. ELEV.) 99.20	(GEO. ELEV.) 99.20	
YARD SETBACK (ALL) - AM10	0.0m	SEE SCHEDULE	
FRONT YARD SETBACK - R3K	6.0m	SEE SCHEDULE	
INTERIOR YARD SETBACK - R3K - NORTH SIDE	3.0m	SEE SCHEDULE	
INTERIOR YARD SETBACK - R3K - SOUTH SIDE	1.4m	SEE SCHEDULE	
REAR YARD SETBACK - R3K	6.0m	SEE SCHEDULE	
AMENITY AREA - TOTAL PER UNIT - 6.0m ²	1,524m ²	2,679m ²	
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m ²	762m ²	854m ²	
VEHICLE PARKING - RESIDENTIAL AREA C (1.2 per unit)	187	187	
VEHICLE PARKING - VISITOR ONLY - AREA C (1.0 per unit)	51	51	
VEHICLE PARKING - COMMERCIAL RESTAURANT (1 per 100m ² of GFA)	67	67	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	127	134	
BICYCLE PARKING - COMMERCIAL - 1 PER 250m ² GFA	2	6	
BISE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m	

DRAWING NOTES	
1	PROPERTY LINE
2	PROPOSED ROAD / INTERSECTION WIDENING
3	CITY CURB & SIDEWALK TO BE DEPRESSED AND CONTINUOUS THROUGH DRIVEWAY
4	REPLACE EXISTING DEPRESSED CURB & SIDEWALK WITH NEW 2.1M WIDE SIDEWALK TO CITY STANDARDS
5	ASPHALT DRIVE WAY WITH 150 BARRIER CURBS
6	BICYCLE PARKING SPACE
7	EXISTING FIRE HYDRANT
8	SHORT TERM PARKING
9	OUTLINE OF UNDERGROUND PARKING LEVEL
10	EXISTING RETAINING WALL
11	AIR INTAKE / EXHAUST GRILL
12	EXISTING TREADED AREA TO REMAIN, CLEAN AND MAKE SAFE.
13	EXISTING FENCE CHAIN LINK / BOARD
14	EXISTING TREE TO BE REMOVED
15	CONCRETE RETAINING WALL WITH GUARD RAILING AS REQUIRED, HEIGHT VARIES
16	SOFT LANDSCAPING
17	OUTLINE OF BUILDING ABOVE
18	BALCONY ABOVE
19	EXISTING BUILDING TO BE REMOVED
20	NATURAL GAS EQUIPMENT
21	STORM WATER TANK (CISTERN) IN PARKING GARAGE
22	SIAMSESE CONNECTION
23	EXISTING CHAIN LINK FENCE TO BE REMOVED
24	EXISTING UTILITY STREET LIGHT / TRAFFIC POLE
25	EXISTING STONE WALL TO BE REFINISHED
26	6.0 METRE WIDE FIRE ROUTE
27	HARD SURFACE WALKWAY
28	RIVER STONE SPILLWAY
29	SEASONAL SNOW STORAGE
30	EXISTING UTILITY EQUIPMENT REMOVED AS REQUIRED
31	PODIUM LEVEL EXTERIOR AMENITY AREA
32	INTERIOR GARAGE ROOM
33	PROPOSED BUILDING SERVICES, SEE CIVIL
34	BIOSWALE, SEE CIVIL
35	PAD MOUNTED TRANSFORMER
36	REMOVE EXISTING UTILITY / LIGHT POLE
37	HARD SURFACE LEISURE AREA - POPS

PROJECT STATISTICS	
GROSS BUILDING - AREAS (CITY OF OTTAWA ZONING AREA)	
PARKING LEVEL	0.0 sq. m. / 0.0 sq. ft.
GROUND FLOOR	672.6 sq. m. / 7,240 sq. ft.
2nd to 4th FLOOR	3,108.2 sq. m. / 33,456 sq. ft.
5th to 22nd FLOOR	11,429.9 sq. m. / 123,330 sq. ft.
23rd FLOOR	508.1 sq. m. / 5,469 sq. ft.
24th to 26th FLOOR	1,644.4 sq. m. / 17,700 sq. ft.
MECHANICAL LEVEL	0.0 sq. m. / 0.0 sq. ft.
TOTAL AREA	17,243.0 sq. m. / 185,692 sq. ft.
TOWER FOOTPRINT	804.0 sq. m. / 8,654 sq. ft.

UNIT STATISTICS	
ONE BEDROOM UNIT	59
ONE BEDROOM + DEN UNIT	99
TWO BEDROOM UNIT	68
TWO BEDROOM + DEN UNIT	34
TOTAL	254
COMMERCIAL AREA	672.6 sq. m. / 7,240 sq. ft.

CAR PARKING	
REQUIRED BY ZONING BY-LAW	
RESIDENCE	- 0.7 PER UNIT
VISITOR	- 0.2 PER UNIT
COMMERCIAL	- 10 PER 100m ² GFA
TOTAL	296
PROVIDED	
RESIDENCE	- 0.7 PER UNIT
VISITOR	- 0.2 PER UNIT
COMMERCIAL	- 10 PER 100m ² GFA
TOTAL	248

BICYCLE PARKING	
REQUIRED	
RESIDENCE	- 0.5 PER UNIT
COMMERCIAL	- 1 PER 250m ² GFA
TOTAL	129
PROVIDED	
PARKING LEVEL	- 1.0 PER UNIT
EXTERIOR AT GRADE	10
TOTAL	140

LOT COVERAGE	
PAVED SURFACE	= 822.8 sq. m. / 12.8%
BUILDING FOOTPRINT	= 1,748.2 sq. m. / 35.8%
LANDSCAPE OPEN SPACE	= 2,309.7 sq. m. / 47.3%
POPS	= 200.0 sq. m. / 4.1%
TOTAL	= 4,881.7 sq. m. / 100.0%

AMENITY SPACE	
EXTERIOR AT GRADE PATIO	= 424.0 sq. m.
EXTERIOR NORTH LAWN	= 200.0 sq. m.
1st FLOOR AMENITY ROOM	= 230.0 sq. m.
PRIVATE TERRACE (2nd FLOOR)	= 300.0 sq. m.
PRIVATE TERRACE (5th FLOOR)	= 320.0 sq. m.
PRIVATE TERRACE (23rd FLOOR)	= 120.0 sq. m.
PRIVATE BALCONIES	= 1,085.0 sq. m.
TOTAL	= 2,679.0 sq. m.
TOTAL COMMUNAL	= 854.0 sq. m.
REQUIRED - 6.0M ² PER UNIT (254)	= 1,524.0 sq. m.
REQUIRED COMMUNAL @ 50%	= 762.0 sq. m.

SOLID WASTE	
GARBAGE	0.110 Y ² PER UNIT
RECYCLING - GMP	0.018 Y ² PER UNIT
RECYCLING - FIBRE	0.038 Y ² PER UNIT
ORGANICS	1 - 240 L BIN PER PER 50 UNITS

SITE PLAN SYMBOLS	
	CONCRETE UNIT PAVERS SURFACE
	CONCRETE WALK
	BIOSWALE - SEE CIVIL
	SOFT LANDSCAPING
	BIKE RACK
	TWO WAY VEHICLE CIRCULATION
	MAIN ENTRANCE
	COMMERCIAL DOOR / FIRE EXIT
	PROPERTY LINE
	CITY STREET LIGHTING

PROJECT DEVELOPER	
Bertone Development Corporation 1285 Rue Hodge, Saint-Laurent Quebec, H4N 2B6 Tel: (514) 745-1493 Email: dcoulter@bertone.ca	

CONSTRUCTION MANAGER	
Vuze Construction Street, City Quebec, H4N 2B6 Tel: (819) 664-4195 Email: mchenier@vuzeconstruction.com	

URBAN PLANNER
FoTenn Consultants Inc.
 223 McLeod Street
 Ottawa, ON Canada, K2P 0Z8
 Tel.: (613) 730-5709
 Fax: (613) 730-1136
 E-Mail: tremblay@fotenn.com
 E-Mail: freeman@fotenn.com

CIVIL ENGINEER
CIMA+ Engineering Ltd.
 240 Catherine Street, Suite 110
 Ottawa, ON, Canada K2P 2G8
 Tel.: (613) 860-2462
 Fax: (613) 860-1870
 E-Mail: Eric.Potvin@cima.ca

SURVEYOR
Farley, Smith & Denis Surveying Ltd.
 10-190 Colonnade Road
 Ottawa, Ontario K2E 7J5
 Office: 613 727-8226
 Fax: 613 727-1823
 Cell: 613 862-1287
 E-Mail: jleslie@bellnet.ca

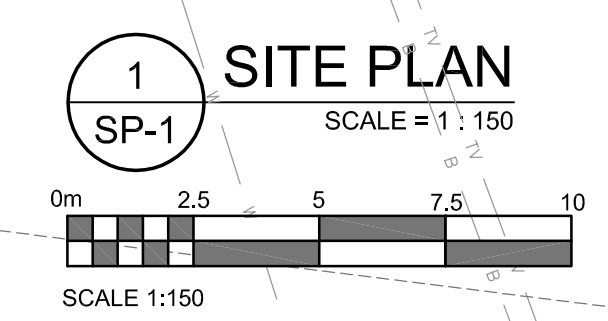
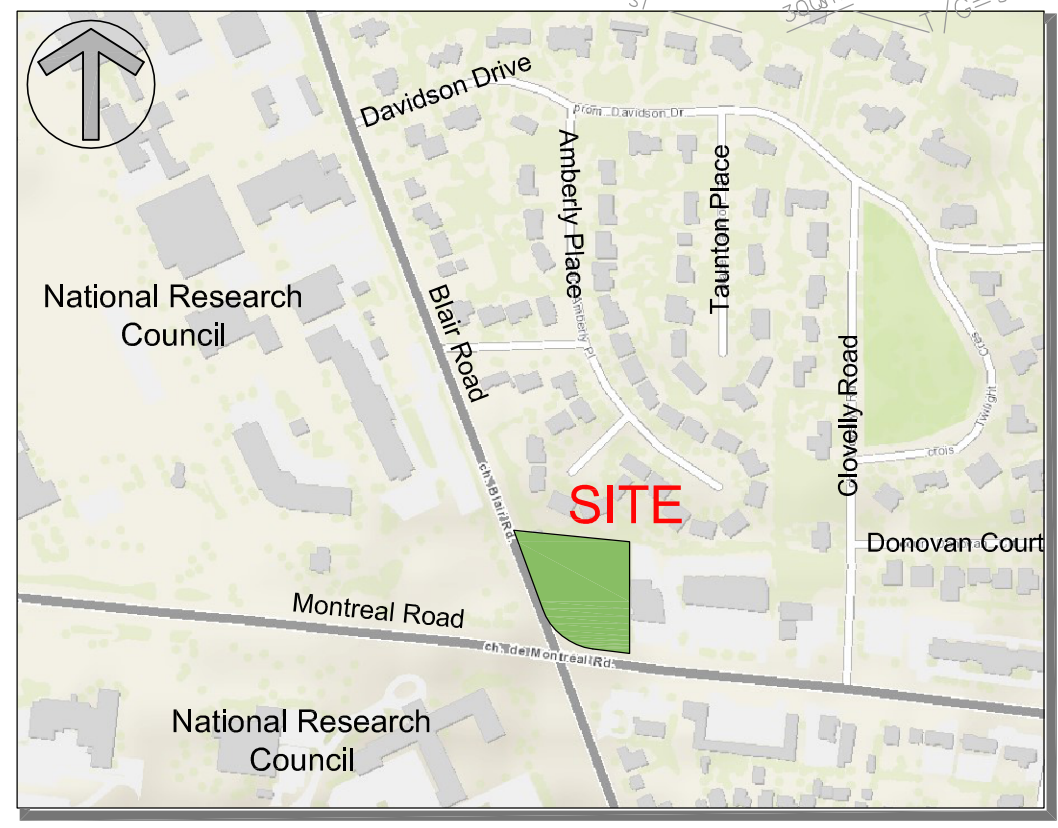
GEOTECHNICAL ENGINEER
paterson group
 154 Colonnade Road South
 Ottawa, Ontario
 K2E 7J5
 Tel: 613.226-7381
 Email: dgilbert@patersongroup.ca

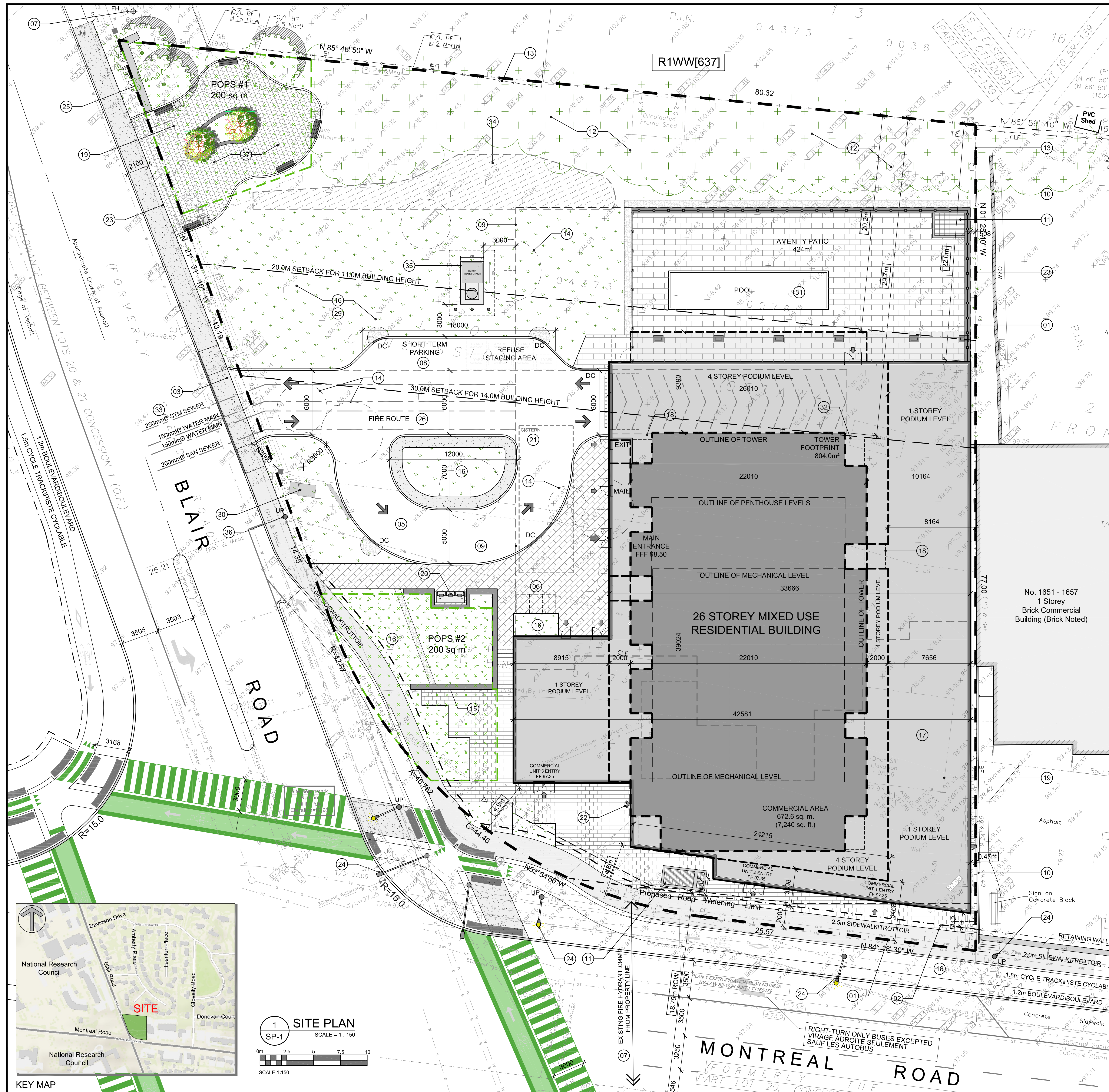
TRANSPORTATION ENGINEER
CGH Transportation Inc.
 6 Plaza Court
 Ottawa, ON K2H 7W1
 Tel: (343) 999-9117
 Cell: (613) 410-8243
 Email: John.Kingsley@CGHTransportation.com

LANDSCAPE ARCHITECT
Gino J. Aiello Landscape Architect
 110 Didsbury Road Unit 9,
 Ottawa, Ontario, K2E 0C2
 Tel: (613) 852-1343
 Email: gino@gjala.com

WIND / SOUND ENGINEER
Gradient Wind
 127 Walgreen Road,
 Ottawa, ON, Canada K0A 1L0
 Tel.: (613) 836-0934 ext. 116
 Cell: (613) 266-5273
 E-Mail: michael.lafortune@gradientwind.com

LEGAL DESCRIPTION
 TOPOGRAPHIC PLAN OF SURVEY OF
 PART OF LOT 20
 CONCESSION 1 (OTTAWA FRONT)
 GEOGRAPHIC TOWNSHIP OF GLOUCESTER
 CITY OF OTTAWA
 Prepared by Farley, Smith & Denis Surveying Ltd





PROJECT INFORMATION

Zoning By-law 2008-250 Consolidation R3K(163) AM10(2199)	SITE AREA	0.488 ha	4,881.7 sq. m. (52,540 sq. ft.)
ZONING	REQUIRED	PROVIDED	
BUILDING HEIGHT - AM10	30.0m	26 STOREYS / 88.0m	
BUILDING HEIGHT - R3K	10.0m	26 STOREYS / 88.0m	
GRADE (GEODETTIC ELEVATION - ASL)	(GEO. ELEV.) 99.20	(GEO. ELEV.) 99.20	
YARD SETBACK (ALL) - AM10	0.0m	SEE SCHEDULE	
FRONT YARD SETBACK - R3K	6.0m	SEE SCHEDULE	
INTERIOR YARD SETBACK - R3K - NORTH SIDE	3.0m	SEE SCHEDULE	
INTERIOR YARD SETBACK - R3K - SOUTH SIDE	1.4m	SEE SCHEDULE	
REAR YARD SETBACK - R3K	6.0m	SEE SCHEDULE	
AMENITY AREA - TOTAL PER UNIT - 6.0m²	1,524m²	2,679m²	
AMENITY AREA - 50% COMMUNAL PER UNIT - 3.0m²	762m²	854m²	
VEHICLE PARKING - RESIDENTIAL AREA C (1.2 per unit)	187	187	
VEHICLE PARKING - VISITOR ONLY - AREA C (0.2 per unit)	51	51	
VEHICLE PARKING - COMMERCIAL RESTAURANT (1 per 100m² of GFA)	67	134	
BICYCLE PARKING - RESIDENTIAL - 0.5 PER UNIT	127	134	
BICYCLE PARKING - COMMERCIAL - 1 PER 250m² GFA	2	6	
ASLE & DRIVEWAY MINIMUM / MAXIMUM WIDTH	6.0m / 6.7m	6.0m	

DRAWING NOTES

- PROPERTY LINE
- PROPOSED ROAD / INTERSECTION WIDENING
- CITY CURB & SIDEWALK TO BE DEPRESSED AND CONTINUOUS THROUGH DRIVEWAY
- REPLACE EXISTING DEPRESSED CURB & SIDEWALK WITH NEW 2.1M WIDE SIDEWALK TO CITY STANDARDS
- ASPHALT DRIVE WAY WITH 150 BARRIER CURBS
- BICYCLE PARKING SPACE
- EXISTING FIRE HYDRANT
- SHORT TERM PARKING
- OUTLINE OF UNDERGROUND PARKING LEVEL
- EXISTING RETAINING WALL
- AIR INTAKE / EXHAUST GRILL
- EXISTING TREADED AREA TO REMAIN, CLEAN AND MAKE SAFE.
- EXISTING FENCE CHAIN LINK / BOARD
- EXISTING TREE TO BE REMOVED
- CONCRETE RETAINING WALL WITH GUARD RAILING AS REQUIRED, HEIGHT VARIES
- SOFT LANDSCAPING
- OUTLINE OF BUILDING ABOVE
- BALCONY ABOVE
- EXISTING BUILDING TO BE REMOVED
- NATURAL GAS EQUIPMENT
- STORM WATER TANK (CISTERN) IN PARKING GARAGE
- SIAMSESE CONNECTION
- EXISTING CHAIN LINK FENCE TO BE REMOVED
- EXISTING UTILITY STREET LIGHT / TRAFFIC POLE
- EXISTING STONE WALL TO BE REBURFISHED
- 6.0 METRE WIDE FIRE ROUTE
- HARD SURFACE WALKWAY
- RIVER STONE SPILLWAY
- SEASONAL SNOW STORAGE
- EXISTING UTILITY EQUIPMENT REMOVED AS REQUIRED
- PODIUM LEVEL EXTERIOR AMENITY AREA
- INTERIOR GARAGE ROOM
- PROPOSED BUILDING SERVICES, SEE CIVIL
- BIOSWALE, SEE CIVIL
- PAD MOUNTED TRANSFORMER
- REMOVE EXISTING UTILITY / LIGHT POLE
- HARD SURFACE LEISURE AREA - POPS

PROJECT STATISTICS

GROSS BUILDING - AREAS

(CITY OF OTTAWA ZONING AREA)

PARKING LEVEL	0.0 sq. m.	0.0 sq. ft.
GROUND FLOOR	672.6 sq. m.	7,240 sq. ft.
2nd to 4th FLOOR	3 x 1,036.1 sq. m.	3,108.2 sq. ft.
5th to 22nd FLOOR	3 x 11,152 sq. ft.	33,456 sq. ft.
23rd FLOOR	18 x 635.0 sq. m.	11,429.9 sq. m.
24th to 26th FLOOR	18 x 635.0 sq. m.	123,330 sq. ft.
MECHANICAL LEVEL	508.1 sq. m.	5,489 sq. ft.
TOTAL AREA	3 x 598.1 sq. m.	1,844.4 sq. m.
TOWER FOOTPRINT	3 x 5,489 sq. ft.	17,700 sq. ft.
TOTAL AREA	17,243.0 sq. m.	185,692 sq. ft.
COMMERCIAL AREA	804.0 sq. m.	8,654 sq. ft.

UNIT STATISTICS

ONE BEDROOM UNIT	59	
ONE BEDROOM + DEN UNIT	93	
TWO BEDROOM UNIT	68	
TWO BEDROOM + DEN UNIT	34	
TOTAL	254	
COMMERCIAL AREA	672.6 sq. m.	7,240 sq. ft.

CAR PARKING

REQUIRED BY ZONING BY-LAW

RESIDENCE	- 0.7 PER UNIT	178
VISITOR	- 0.2 PER UNIT	51
COMMERCIAL RESTAURANT	- 10 PER 100m² GFA	67
TOTAL		296

PROVIDED

RESIDENCE	- 0.7 PER UNIT	178
VISITOR	- 0.2 PER UNIT	51
COMMERCIAL RESTAURANT	- 10 PER 100m² GFA	19
TOTAL		248

BICYCLE PARKING

REQUIRED

RESIDENCE	- 0.5 PER UNIT	127
COMMERCIAL RESTAURANT	- 1 PER 250m² GFA	2
TOTAL		129

PROVIDED

PARKING LEVEL	- 1.0 PER UNIT	130
EXTERIOR AT GRADE		10
TOTAL		140

LOT COVERAGE

PAVED SURFACE	= 822.8 sq. m.	12.8%
BUILDING FOOTPRINT	= 1,748.2 sq. m.	35.8%
LANDSCAPE OPEN SPACE	= 2,309.7 sq. m.	47.3%
POPS	= 200.0 sq. m.	4.1%
TOTAL	= 4,881.7 sq. m.	100.0%

AMENITY SPACE

EXTERIOR AT GRADE PATIO	= 424.0 sq. m.
EXTERIOR NORTH LAWN	= 200.0 sq. m.
1st FLOOR AMENITY ROOM	= 230.0 sq. m.
PRIVATE TERRACE (2nd FLOOR)	= 300.0 sq. m.
PRIVATE TERRACE (5th FLOOR)	= 320.0 sq. m.
PRIVATE TERRACE (23rd FLOOR)	= 120.0 sq. m.
PRIVATE BALCONIES	= 1,085.0 sq. m.
TOTAL	= 2,679.0 sq. m.
TOTAL COMMUNAL	= 854.0 sq. m.
REQUIRED - 6.0M² PER UNIT (254)	= 1,524.0 sq. m.
REQUIRED COMMUNAL @ 50%	= 762.0 sq. m.

SOLID WASTE

GARBAGE	0.110 Y² PER UNIT	28 Y²
RECYCLING - GMP	0.018 Y² PER UNIT	5 Y²
RECYCLING - FIBRE	0.038 Y² PER UNIT	10 Y²
ORGANICS	1 - 240 L BIN PER PER 50 UNITS	5

IT IS THE RESPONSIBILITY OF THE APPROPRIATE CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND TO REPORT ALL ERRORS AND/OR OMISSIONS TO THE ARCHITECT.

ALL CONTRACTORS MUST COMPLY WITH ALL PERTINENT CODES AND BY-LAWS. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION UNLESS SIGNED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. COPYRIGHT RESERVED.

NOTATION SYMBOLS:

INDICATES DRAWING NOTES, LISTED ON EACH SHEET.

INDICATES ASSEMBLY TYPE; REFER TO TYPICAL ASSEMBLIES SCHEDULED.

INDICATES WINDOW TYPE; REFER TO WINDOW ELEVATIONS AND DETAILS ON AR00 SERIES.

INDICATES DOOR TYPE; REFER TO DOOR SCHEDULE AND DETAILS ON AR00 SERIES.

DETAIL NUMBER

TITLE

DETAIL REFERENCE PAGE

DETAIL CROSS REFERENCE PAGE

REVISIONS:

REVISED FOR GENERAL UPDATES	Aug. 29, 23
REVISED UNIT COUNT	Feb. 14, 23
ISSUED FOR ROUND 1 SPC RESPONSE	Jan. 13, 23

ARCHITECT SEAL: **ONTARIO ASSOCIATION OF ARCHITECTS**

ARCHITECT: **rla/architecture**

SEAL DATE: STAMP DATE

BERTONE

ARCHITECT: **rla/architecture**

56 beech street, ottawa, ontario K1S 3J6
t. 613.724.9932 f. 613.724.1209 rla@architecture.ca

PROJECT TITLE:
741 BLAIR ROAD / 1649 MONTREAL ROAD

OTTAWA ONTARIO

SITE PLAN

PROPOSED STREET MODIFICATION

DRAWN: R.V. CHECKED: R.V.

SCALE: 1:150 SHEET No. **SP-2**

PROJECT No. 2037