



1 LOCATION PLAN  
A010 N.T.S.

LEGAL DESCRIPTION:  
 PARCELS WW-8 AND WW-11 ON SEC 4M-152  
 PART OF BLOCK WW ON REGISTERED PLAN 4M-152  
 PARTS 1 AND 3 ON PLAN 4R-6609, FORMER CITY OF GLOUCESTER, NOW IN CITY OF OTTAWA  
 AS PREPARED BY STANTEC GEOMATICS LTD., 29 MARCH 2022

**Project Zoning Review/Statistics**

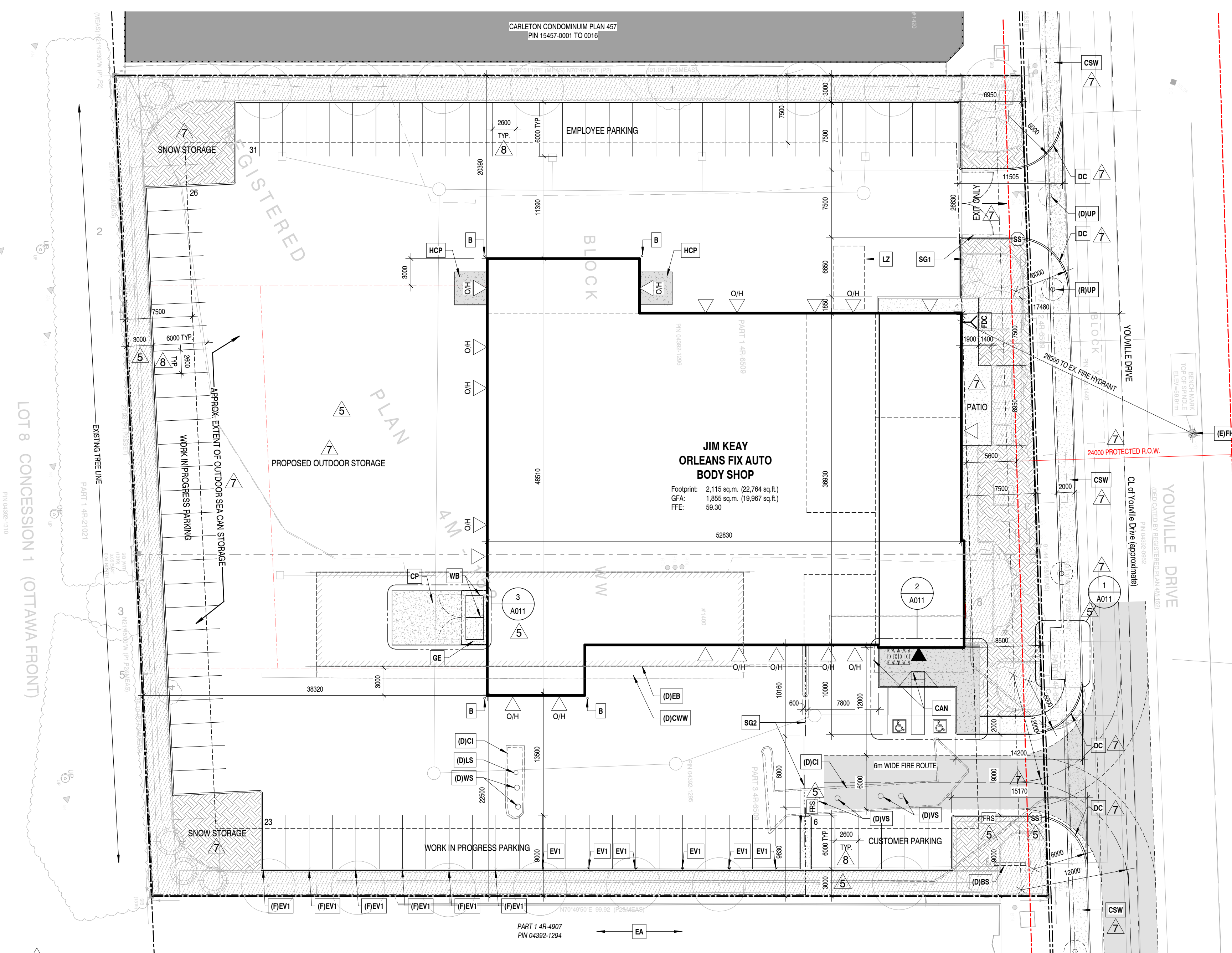
Municipality: City of Ottawa  
 Municipal Address: 1400-1410 Youville Drive  
 Registered Owner: Jim Keay  
 Lot Area: 9,188 sq.m. (98,894 sq.ft. (2.27 acres))  
 Zoning By-law: 2008-250  
 Zone: B (IL2[XXXX] H(14) - Light Industrial  
 Proposed Use: Automobile Body Shop & Automobile Service Station

Building Areas	Gross (out-to-out)	
	Sq.m.	Sq.ft
<b>Proposed Development</b>		
Ground Floor, Offices	291	3,130
Ground Floor, Body & Service Shop	1,596	17,177
Ground Floor, Parts	228	2,457
<b>Total</b>	<b>2,115</b>	<b>22,764</b>

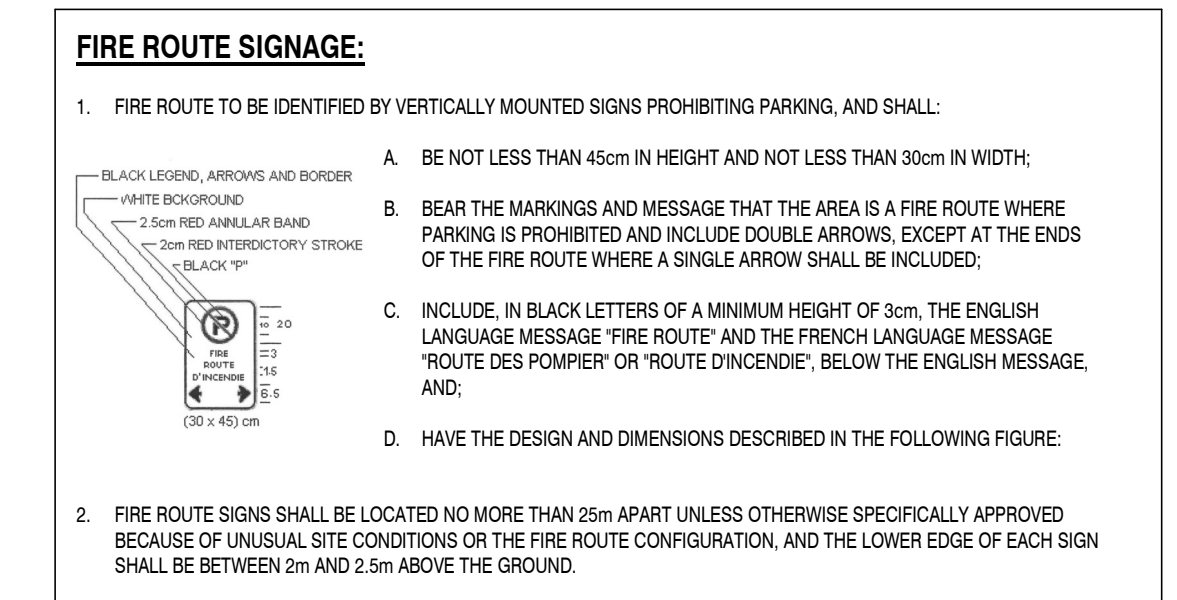
Development Standards	Required	Provided
	Minimum Lot Area	2,000 sq.m.
Minimum Lot Width	No min.	91.3m
Minimum Required Yard		
Front Yard (min.)	7.5m	7.5m
Interior Side Yard (min.)	7.5m	20.39m
Rear Yard (min.)	7.5m	38.32m
Maximum Building Height	14m	8.01m
Maximum Lot Coverage	65%	22%
Maximum Floor Space Index	2	±0.2
Minimum Width of Landscaped Area		
Abutting a street	3m	6.95m
All other cases	No min.	3m

**Parking, Loading, Queuing**

Existing Parking	Required:	Provided:
Parking Spaces (Minimum 2.6m x 5.2m)		
Offices (2.4 spaces / 100 sq.m.)	7 Area C of Schedule 1A	30
Body Shop & Service Station (3 spaces per Service Bay @ 13 Service Bays)	39	56
Accessible Parking Section 111 of By-law 2017-301	2	2
1x Type A & 1x Type B		
Loading Spaces (3.5m x 9m)	1	1
Bicycle Parking (Offices: 1 space / 250 sq.m.; All other: 1 space / 1,500 sq.m.)	2	4
1x for Offices; 1x for Body Shop/Service Station		
3x for Offices; 1x for Body Shop/Service Station		



2 SITE PLAN  
A010 1:300  
 GENERAL NOTES:  
 1. ALL ARCHITECTURAL SITE PLAN DRAWINGS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE, CIVIL AND ELECTRICAL SITE PLAN DRAWINGS.  
 SCALE: 0 1.5 3 6 9 12 15 18 21 24 27 30 METRES



**SITE PLAN SYMBOLS**

ICON	DESCRIPTION
[Solid Grey]	Existing Buildings
[Dashed Grey]	Existing Buildings to be Demolished
[Dotted Grey]	Proposed Buildings
[Thin Dashed Line]	Property Lines
[Thick Dashed Line]	Shared Property Lines
[Dashed Line with Arrow]	Setback Lines
[Dashed Line with Arrow]	Landscape Buffer
[Dashed Line with Arrow]	Overhead Wires
[Dashed Line with Arrow]	Fence
[Dashed Line with Arrow]	Existing Concrete Curb
[Dashed Line with Arrow]	Existing Concrete Curb to be Demolished
[Dashed Line with Arrow]	Proposed Concrete Curb
[Dashed Line with Arrow]	Depressed Concrete Curb
[Dashed Line with Arrow]	Proposed Concrete Sidewalk
[Dashed Line with Arrow]	Proposed Landscape Area
[Circle with X]	Stop Sign
[Wheelchair]	Barrier Free Parking Space
[Triangle]	Principal Entrance Door
[Inverted Triangle]	Exterior Door (OH indicates Overhead Door)
[Circle with X]	Exterior 6m Wide Fire Route (12m centerline radius on all turns, TYP.)

**SITE PLAN NOTES**

NOTE#	NOTE
(D)BS	Existing Signage to be Demolished - Project/Construction Manager to coordinate.
(D)CI	Existing Concrete Island to be Demolished
(D)CWW	Existing Concrete Walkway to be Demolished
(D)EB	Existing Building to be Demolished
(D)LS	Existing Light Standard to be Demolished
(D)UP	Existing Utility Pole, to be relocated. Refer also to Civil.
(D)VS	Existing Vacuum Station to be Demolished - refer to Electrical
(D)WS	Existing Windshield Wash Station to be Demolished - refer to Electrical
(E)FH	Existing Fire Hydrant to remain.
(F)EV1	Future Electric Vehicle Charging Station
(R)UP	Proposed relocation of Existing Utility Pole. Refer also to Civil.
B	Bollard
CAN	Outline of Carport/Canopy above
CP	Concrete Pad - refer to Structural
CSW	Concrete Sidewalk
DC	Depressed Curb
EA	Existing Asphalt
EV1	Electric Vehicle Charging Station: post-mounted level 2 dual-charging station by Owner
GE	Prefinished Metal Panel on Galvanized Steel framing
HCP	12'-0" x 12'-0" Concrete Pad c/w In-slab Heating - refer to Mechanical & Structural
LZ	Loading Zone, 3.5m W x 7.0m L
SG1	Steel post & chain linked swinging gate, c/w locking mechanism
SG2	Steel post & chain linked sliding gate, c/w locking mechanism
WB	Waste Bins, by Owner

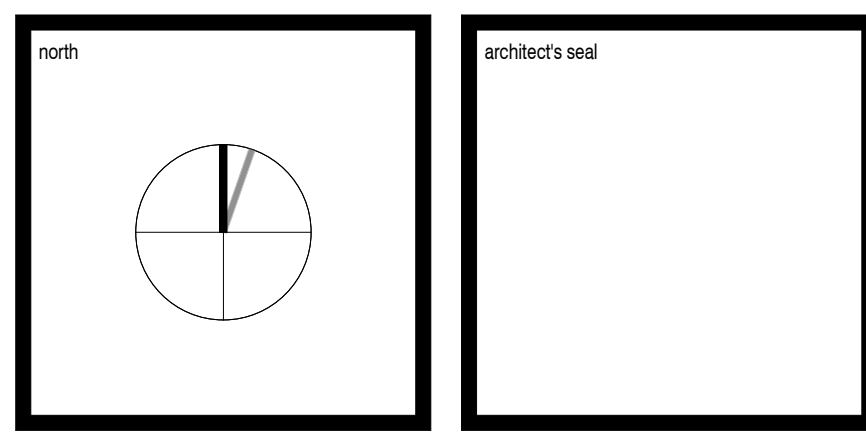
**REVISIONS**

No.	DATE	DESCRIPTION
0	05 July 2022	Issued for Coordination
1	12 August 2022	Issued for Coordination
2	16 August 2022	Issued for Site Plan Control
3	15 September 2022	Issued for PCA/Consultant Coordination
4	23 December 2022	Issued for Coordination
5	25 January 2023	Response to Planning Comments
6	20 March 2023	Issued for Permit
7	20 April 2023	Response to Planning Comments
8	12 June 2023	Response to Planning Comments

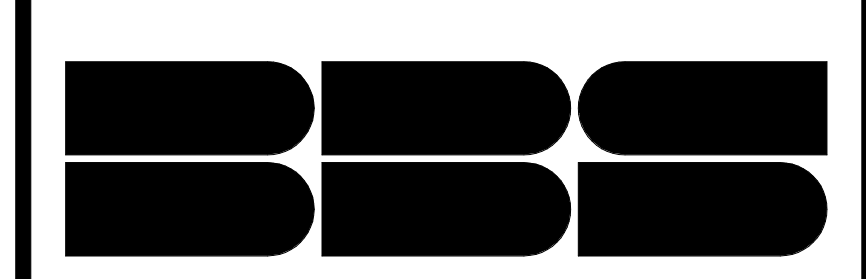
*G. Wildman*  
**GERALDINE WILDMAN**  
 ACTING MANAGER, DEVELOPMENT REVIEW, EAST PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT DEPARTMENT, CITY OF OTTAWA

**APPROVED**  
 By Geraldine Wildman at 6:54 pm, Sep 05, 2023

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and / or omissions to the Architect. All contractors must comply with all permit codes and by-laws. Do not scale drawings. This drawing may not be used for construction until signed by KWC Architects Inc. and shall not be used without the Architect's consent.



383 Parkdale Avenue, Suite 201  
 Ottawa, Ontario, Canada, K1Y 4R4  
**KWC ARCHITECTS INC.**  
 Phone: 613 238-2217  
 Fax: 613 238-6595  
 E-Mail: kwc@kwc-arch.com



**BUILDING A REPUTATION ON EXCELLENCE**  
**BBS CONSTRUCTION (ONTARIO) LTD.**  
 1805 WOODWARD DRIVE,  
 OTTAWA, ON. K2C 0P9 CANADA  
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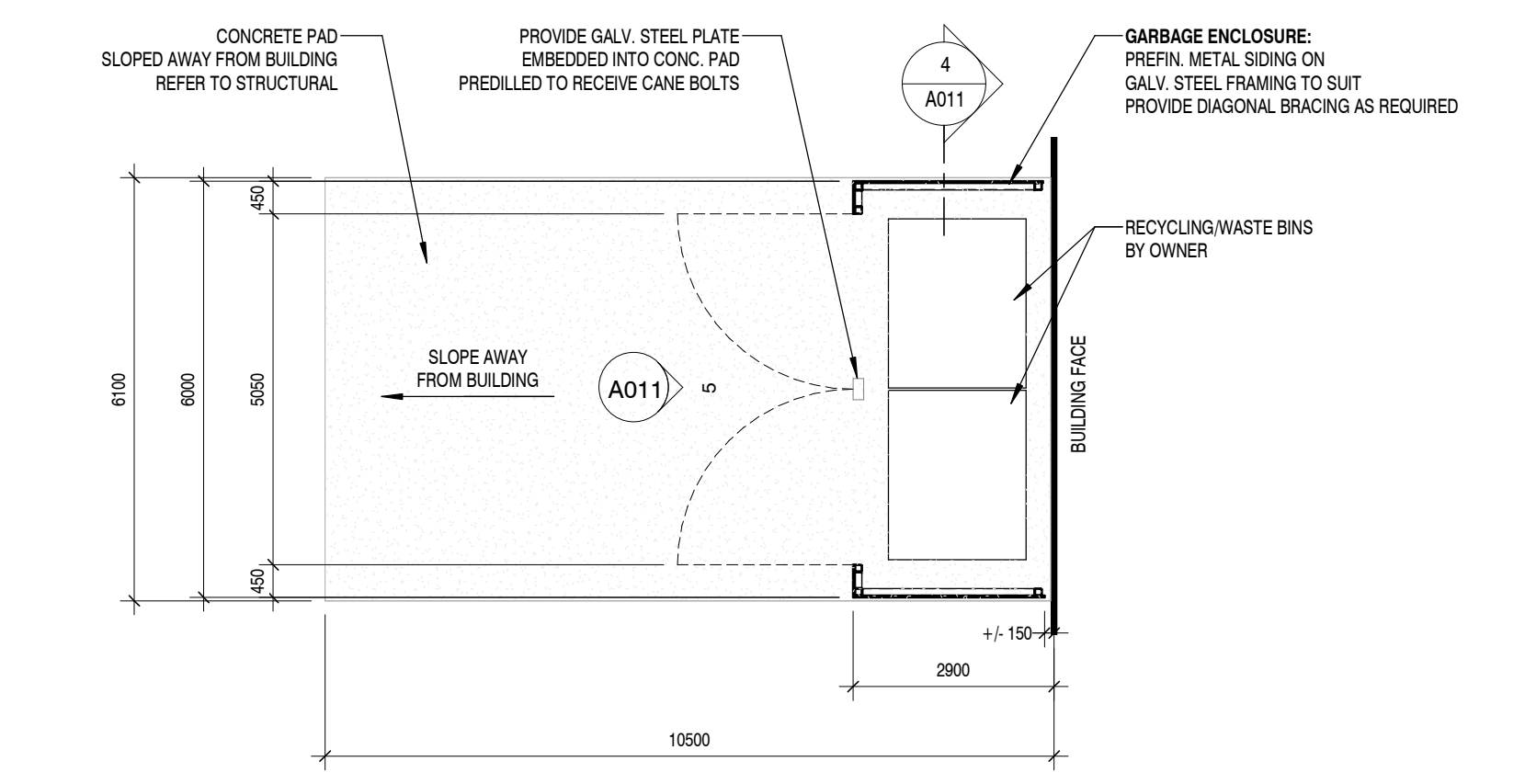
owner **JIM KEAY**

project **'FIX AUTO' ORLEANS - AUTOMOBILE BODY SHOP**

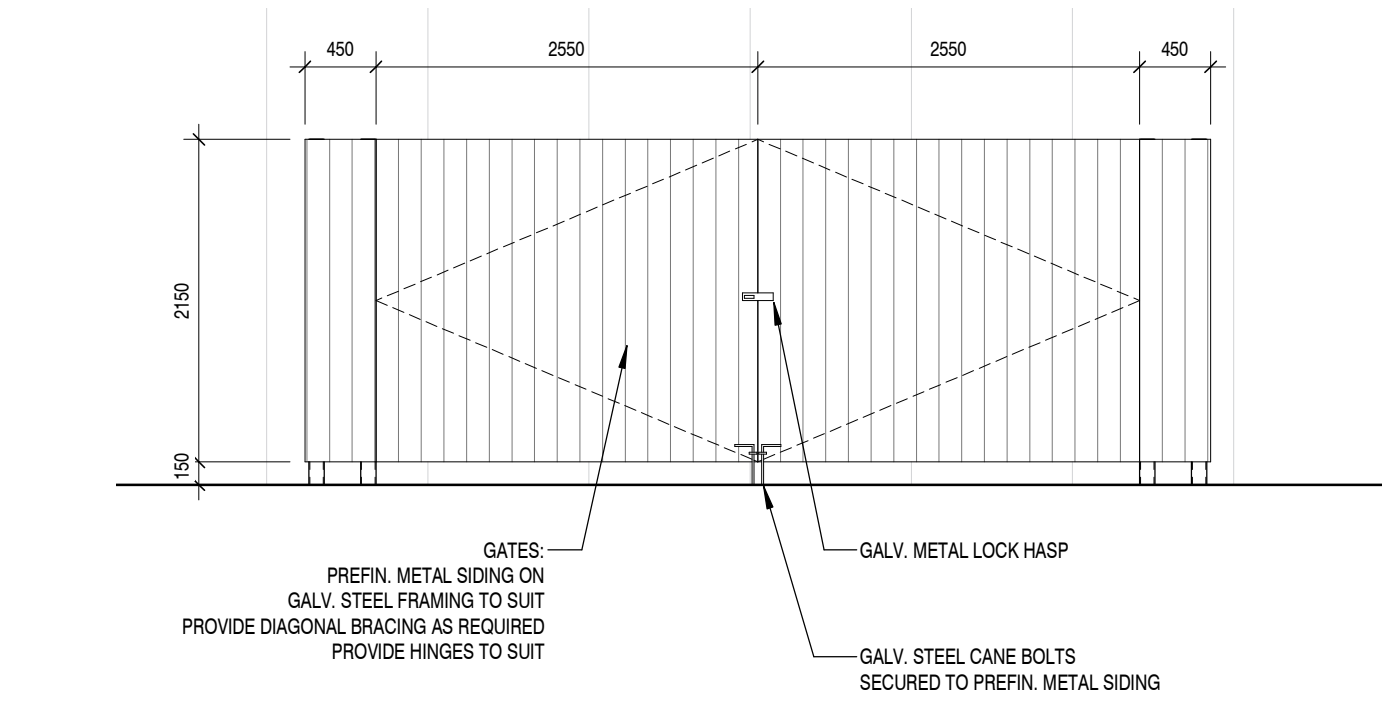
drawing title **SITE PLAN**

project no.	2255	drawing no.	A010
scale	As Indicated		
drawn by	TC		
date	2023 JAN 31		

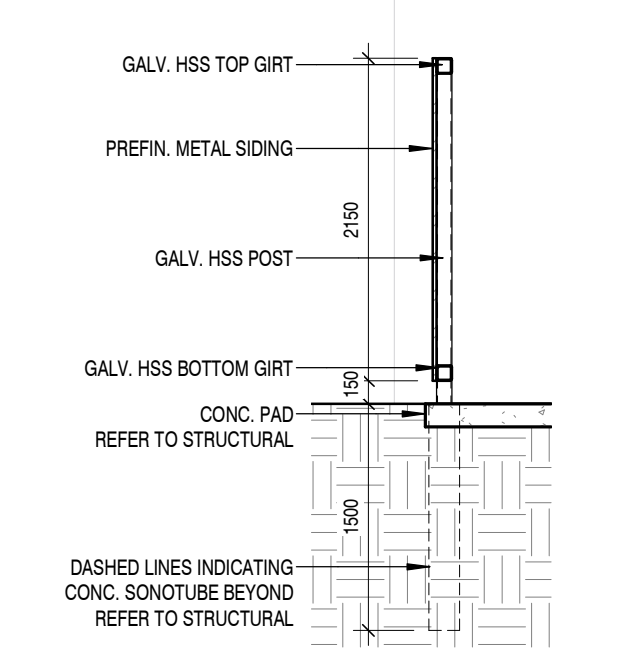




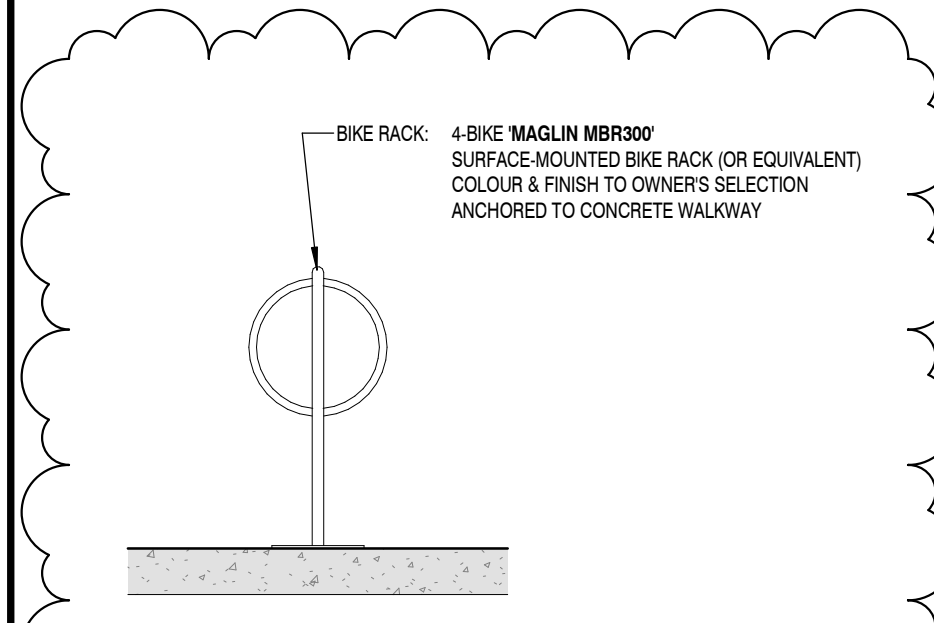
3 PLAN DETAIL - GARBAGE ENCLOSURE  
A011 1:100



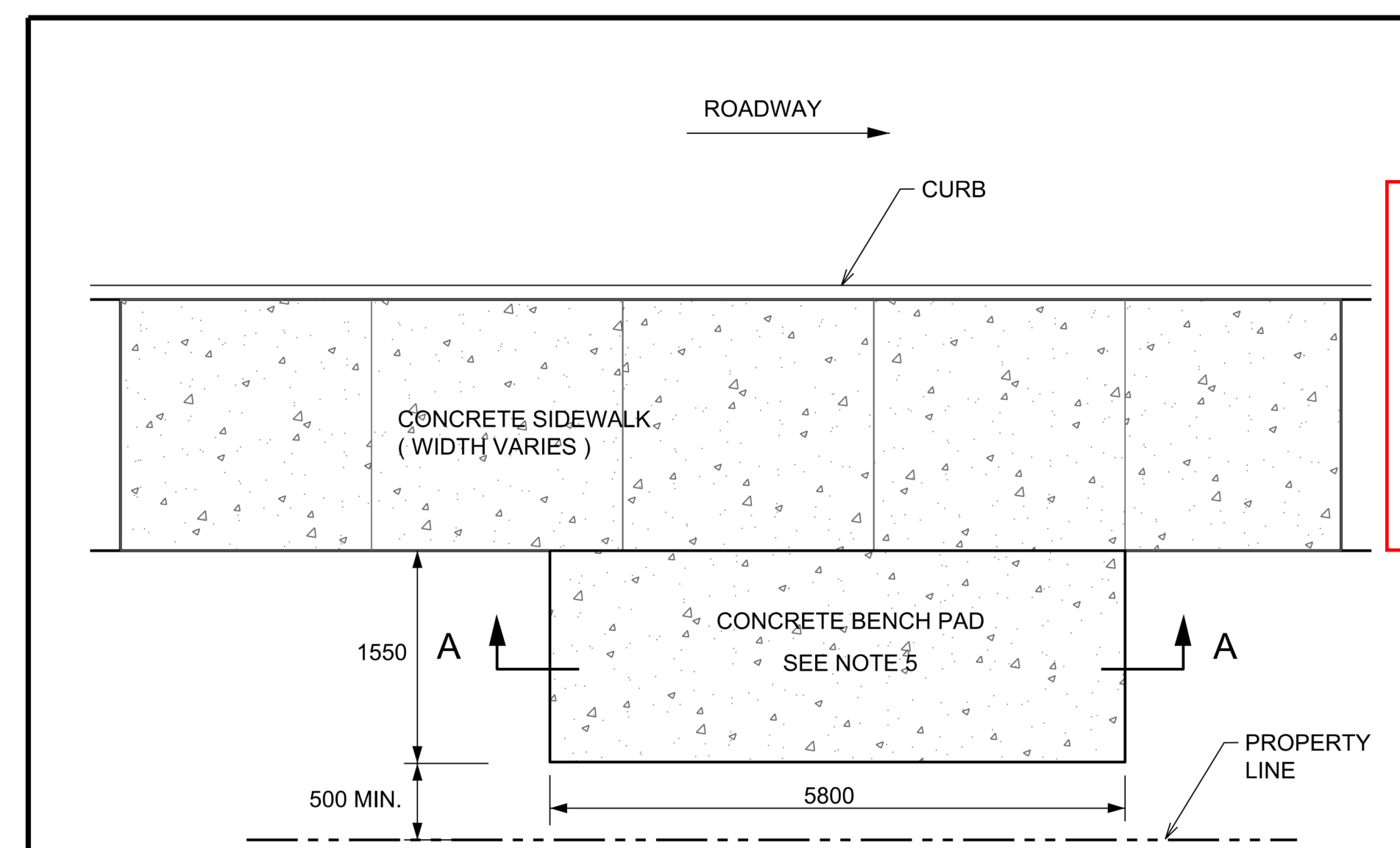
5 ELEVATION DETAIL - GARBAGE ENCLOSURE  
A011 1:50



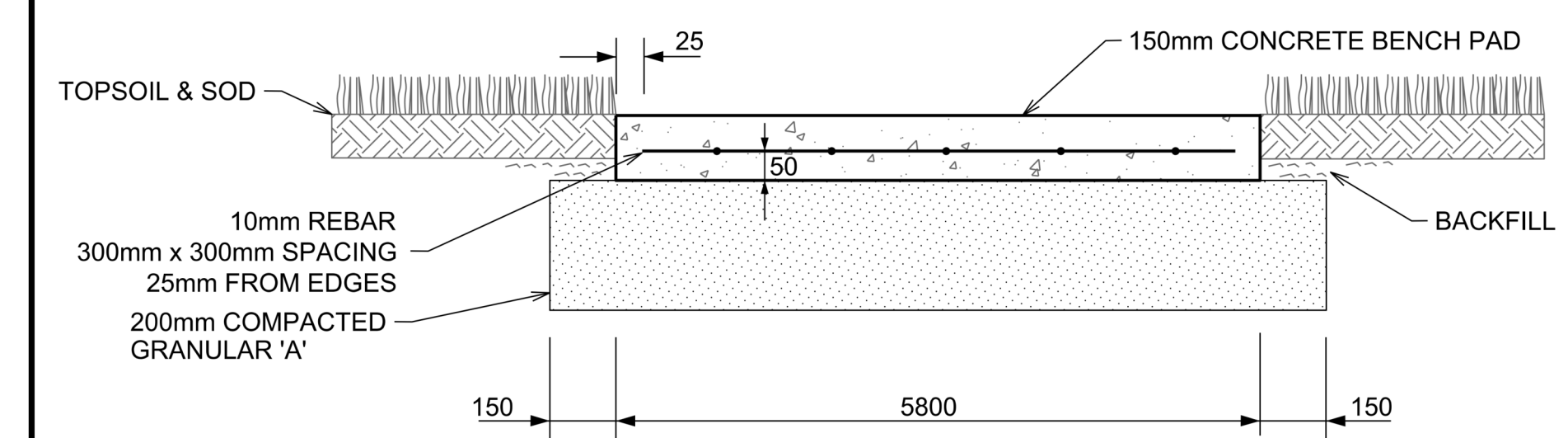
4 ELEVATION & SECTION - GARBAGE ENCLOSURE  
A011 1:50



6 ELEVATION DETAIL - BIKE RACK  
A011 1:25



PLAN



SECTION A-A

1. CONCRETE PADS TO BE IN ACCORDANCE WITH OPSS AND CITY OF OTTAWA STANDARDS.
2. ALL PADS TO BE SLOPED 2% MAX. TOWARDS THE ROAD UNLESS OTHERWISE DIRECTED BY THE CONTRACT ADMINISTRATOR.
3. THE SURFACE ELEVATION OF THE PAD MUST BE FLUSH TO THE SURFACE ELEVATION OF ADJACENT GRADE (SIDEWALK OR BOULEVARD).
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SHOWN.
5. FINISH TO MATCH SIDEWALK.

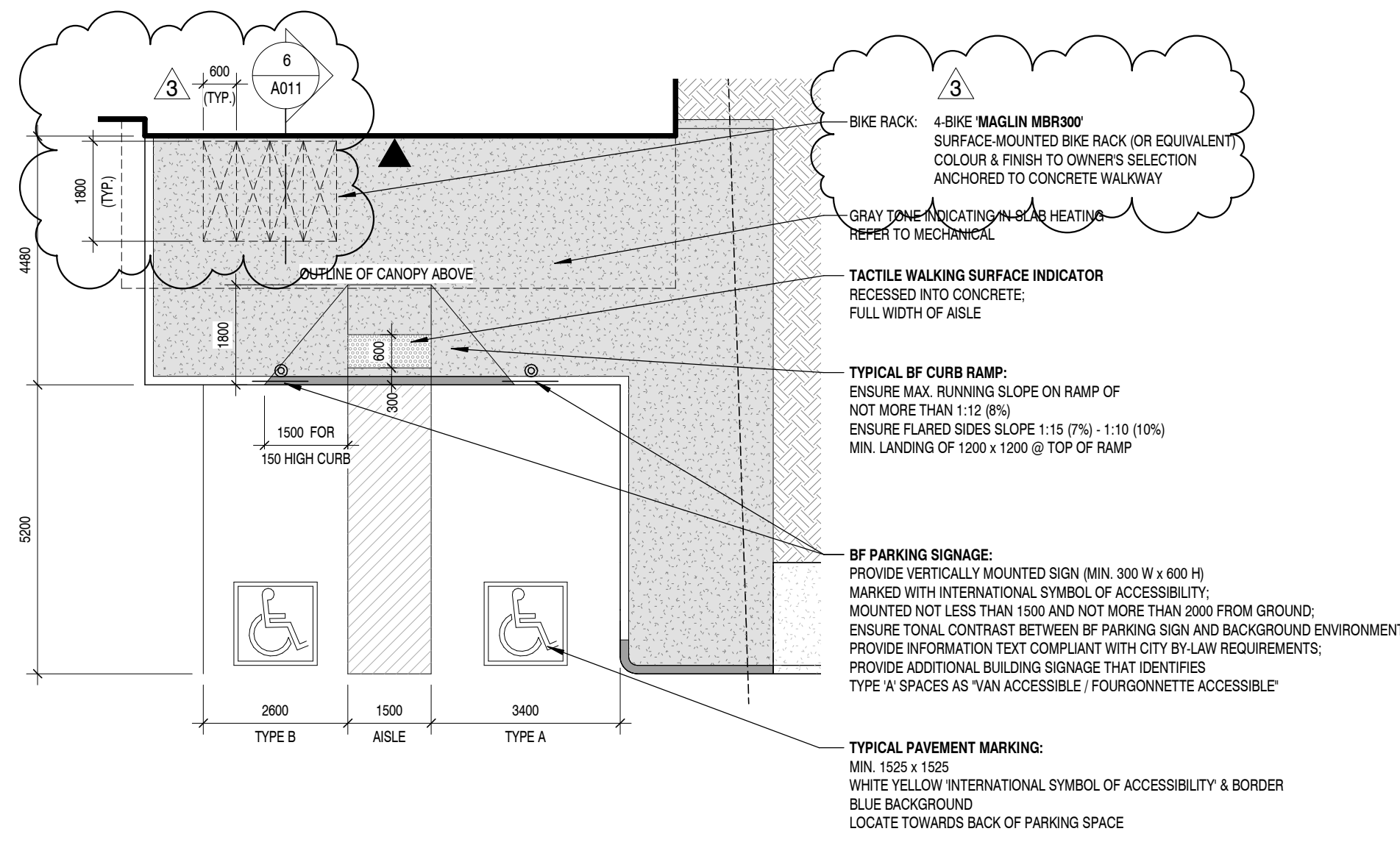
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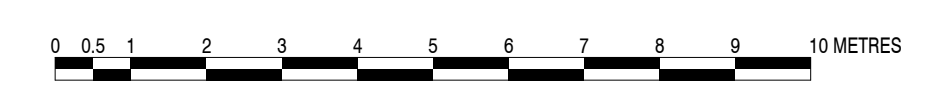
CONCRETE BENCH PAD ADJACENT TO SIDEWALK

DATE:	MARCH 2016
REV. DATE:	
DWG. No.:	SC11.2

2 SC11.3 BUS STOP DETAIL  
A011 1/4" = 1'-0"



2 PLAN DETAIL - ACCESSIBLE PARKING LAYOUT  
A011 1:100



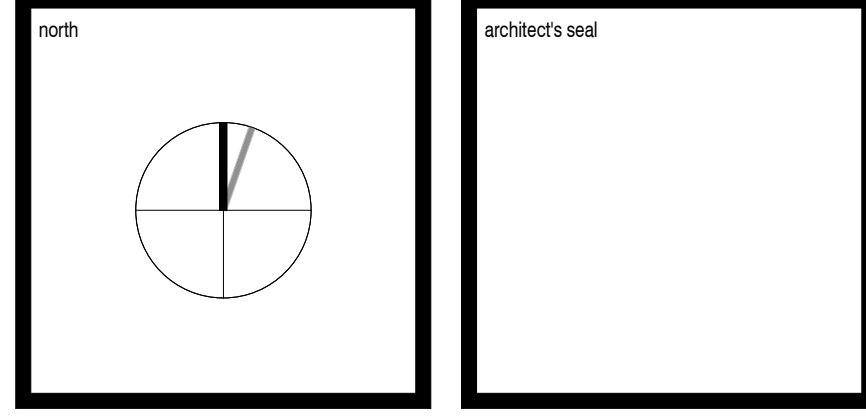
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owner: **JIM KEAY**

project: **'FIX AUTO' ORLEANS - AUTOMOBILE BODY SHOP**

drawing title: **SITE DETAILS**

project no.	2255	drawing no.	A011
scale	As indicated	drawn by	TC
date	2023 JAN 31		