

**APPROVED**  
By Adam Brown at 11:57 am, Aug 29, 2023

**ADAM BROWN**  
MANAGER, DEVELOPMENT REVIEW - RURAL  
PLANNING, REAL ESTATE & ECONOMIC DEVELOPMENT  
DEPARTMENT, CITY OF OTTAWA

- S1 DEPRESSED CURB, REFER TO CIVIL
- S2 NEW CONCRETE SIDEWALK
- S3 INTERLOCKING STONE WALKWAY
- S4 SOFT LANDSCAPE, REFER TO LANDSCAPE
- S5 RAISED PLANTER, REFER TO LANDSCAPE
- S6 GARDEN BED, REFER TO LANDSCAPE
- S7 LANDSCAPE WALL, REFER TO LANDSCAPE
- S8 SOFT LANDSCAPING OVER PARKADE ROOF
- S9 PATIO PAVERS OVER PARKADE ROOF
- S10 CONCRETE WALKWAY OVER PARKADE ROOF
- S11 LINE OF UNDERGROUND PARKING STRUCTURE
- S12 PRIVATE TERRACE
- S13 PERGOLA w/ PRIVACY SCREENING, REFER TO LANDSCAPE
- S14 CONCRETE RETAINING WALL, REFER TO STRUCTURE
- S15 LINE OF BALCONY ABOVE
- S16 EXISTING BUS STOP
- S17 CONCRETE STAIRS w/ METAL HANDRAIL
- S18 LINE OF BUILDING BELOW
- S19 GAS BBQ
- S20 FENCE, REFER TO LANDSCAPE
- S21 FENCE & GATE, REFER TO LANDSCAPE

- BUILDING ENTRANCE
- BUILDING EXIT
- FIRE HYDRANT
- UTILITY POLE
- NEW STREET LIGHT
- STREET LIGHT TO BE REMOVED
- BICYCLE PARKING



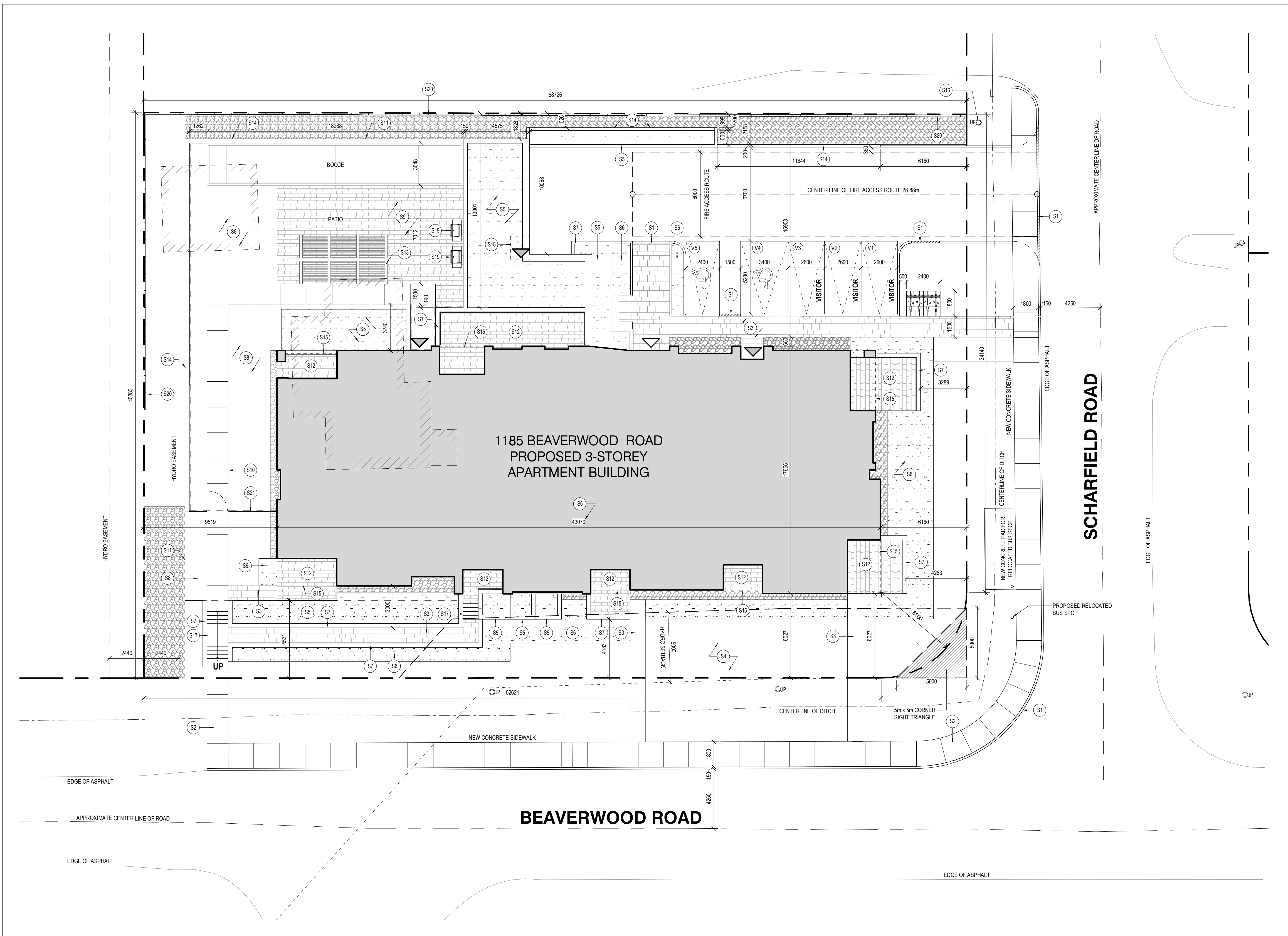
**GENERAL ARCHITECTURAL NOTES:**

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**4 SITE PLAN KEYNOTES**  
SP-1 SCALE: N.T.S.

**3 SITE PLAN SYMBOLES LEGEND**  
SP-1 SCALE: N.T.S.

**2 LOCATION PLAN**  
SP-1 SCALE: N.T.S.



**PROJECT & SITE STATISTICS**

General	
Owner	Nivo Holdings 255 Michael Cowpland Drive Ottawa ON K2M 0M5
Applicant	Novatech Engineering Consultants Limited 200-240 Michael Cowpland Drive Ottawa ON K2M 1P6
Address	1185 Beaverwood Road Manotick ON K4M 1L6
Survey Information	Part of Block C Registered Plan 771 City of Ottawa Plan 5R-3519 Part 1 & 2 PIN 04587 - 0025  Annis, O'Sullivan, Vollebek Ltd.
Lot Width	40.39m
Total Lot Area	2,359.5m <sup>2</sup>
Gross Floor Area (GFA)	1,789.6m <sup>2</sup>
Number of Proposed Residential Units	27

Zoning			
Zoning Mechanism	Existing Zoning [V1P]	Proposed Zoning [V3I]	Provided
Min. Lot Area	1,390m <sup>2</sup>	3,645m <sup>2</sup> [135m <sup>2</sup> / unit]	2,359.5m <sup>2</sup>
Min. Lot Width	30m	30m	40.39m
Min. Front Yard Setback	6m	9m	6.16m
Min. Rear Yard Setback	7.5m	9m	9.49m
Min. Interior Side Yard Setback	3m	6m	1.83m
Min. Corner Side Yard Setback	6m	9m	6m
Min. Landscape Area [%]	N/A	30%	50%
Max. Lot Coverage [%]	25%	30%	28%
Maximum Building Height	11m	11m	10.85m
Max. Density [Units / Hectare]	N/A	N/A	170 units / hectare

Parking			
Zoning Mechanism	Required	Provided	
Min. Parking Space Rates [Section 101]	Area D Rural - 1 parking space / unit	27	29
Visitor Parking [Section 102]	0.2 spaces / unit beyond 12 units	5	5
Bicycle Parking [Section 111] Table 111A(b)(i)	0.5 spaces / unit	14	17 + 4 visitor

Amenity Area			
Zoning Mechanism	Required	Provided	
Total Amenity Area [Table 137]	15m <sup>2</sup> / 8 Units, Plus 6m <sup>2</sup> / Unit Over 8	234m <sup>2</sup>	459m <sup>2</sup>
Communal Amenity Area	100% of Amenity Area Req'd for 1st 8 Units	120m <sup>2</sup>	324m <sup>2</sup>
Communal Amenity Soft Landscaping Area	80% of [120m <sup>2</sup> ]	96m <sup>2</sup>	120m <sup>2</sup>
Private Amenity Area	-	-	238m <sup>2</sup>

- 10 REISSUED FOR SPC 23-06-19
- 9 REISSUED FOR SPC & REZONING 22-12-22
- 8 ISSUED FOR COORDINATION 22-12-19
- 7 ISSUED FOR SPC & REZONING 22-07-15
- 6 ISSUED FOR COORDINATION 22-06-10
- 5 ISSUED FOR REVIEW 22-04-22
- 4 ISSUED FOR COORDINATION 22-04-19
- 3 ISSUED FOR COORDINATION 22-03-28
- 2 ISSUED FOR COORDINATION 22-03-04
- 1 ISSUED FOR COORDINATION 22-02-18

**ISSUE RECORD**



**1185 BEAVERWOOD**  
1185 Beaverwood Road  
Ottawa ON

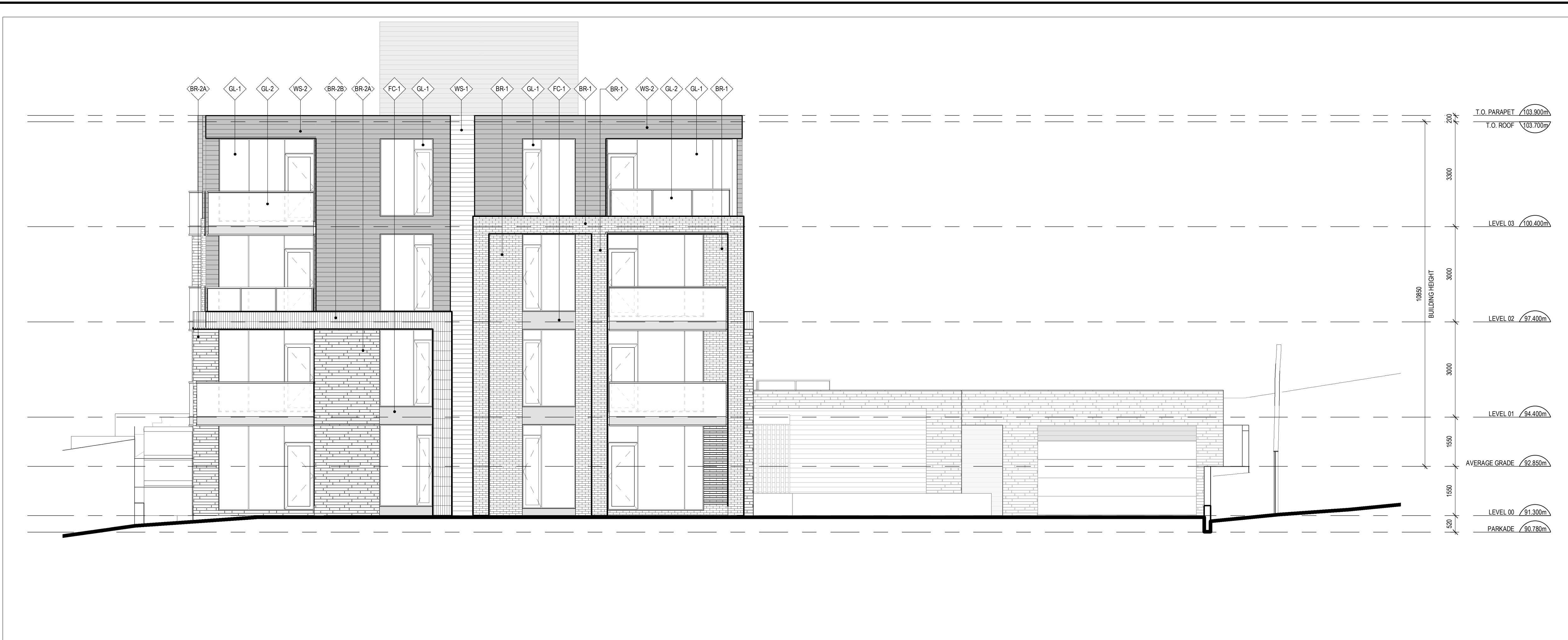
PROJ SCALE DRAWN REVIEWED  
2119 NOTED LP/JDH RMK

**SITE PLAN**

**SP-01**

**1 SITE PLAN**  
SP-01 SCALE: 1: 150

PLAN NO.: 18960



**CLADDING LEGEND:**

	BR-1	RED CLAY BRICK FORMAT: MODULAR BOND: RUNNING
	BR-2A	WHITE SILICATE BRICK FORMAT: RANDOM LENGTH BOND: RUNNING
	BR-2B	WHITE SILICATE BRICK FORMAT: RANDOM LENGTH BOND: SOLDIER
	WS-1	PRESSED WOOD SIDING NATURAL STAIN
	WS-2	PRESSED WOOD SIDING COLOUR: DARK GREY
	FC-1	FIBRE CEMENT PANEL COLOUR: DARK GREY
	GL-1	ALUMINUM WINDOW SYSTEM FRAME: DARK GREY GLASS: CLEAR
	GL-2	ALUMINUM GUARD SYSTEM FRAME: DARK GREY GLASS PANELS: CLEAR

**CLADDING LEGEND**  
SCALE: 1 : 75

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2 EAST ELEVATION  
A200 SCALE: 1 : 75



5	REISSUED FOR SPC	23-06-19
4	REISSUED FOR SPC & REZONING	22-12-22
3	SPC COMMENTS	22-11-28
2	ISSUED FOR SPC & REZONING	22-07-15
1	ISSUED FOR REVIEW	22-04-22

**ISSUE RECORD**



**project1 studio**  
Project1 Studio Incorporated  
[613.884.9339] | mail@project1studio.ca

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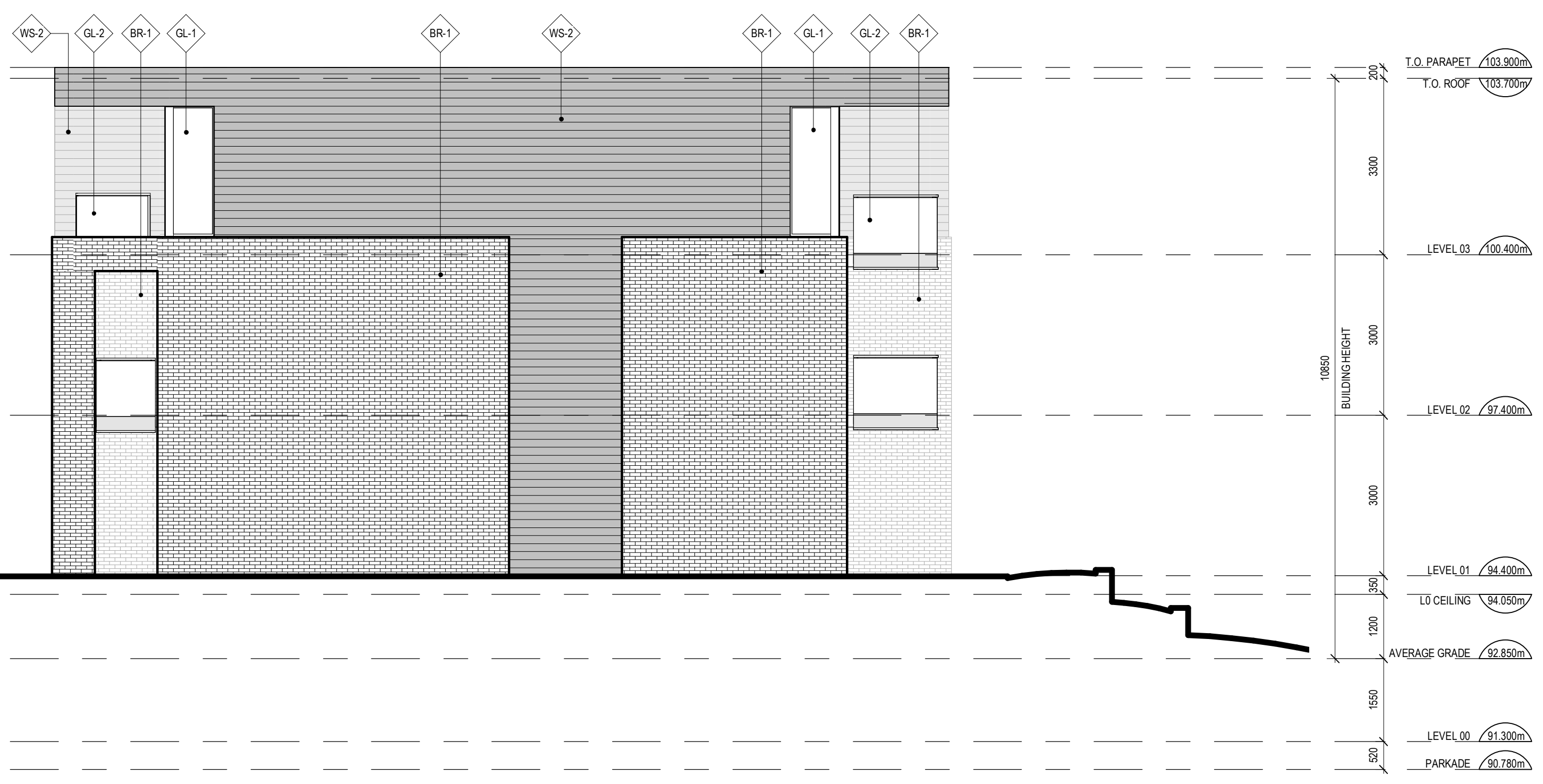
PROJ	SCALE	DRAWN	REVIEWED
2119	NOTED	LP/JDH	RMK

**NORTH & EAST ELEVATIONS**

1 NORTH ELEVATION  
A200 SCALE: 1 : 75

**A200**

PLAN NO.: 18960



**CLADDING LEGEND:**

- BR-1 RED CLAY BRICK  
FORMAT: MODULAR  
BOND: RUNNING
- BR-2A WHITE SILICATE BRICK  
FORMAT: RANDOM LENGTH  
BOND: RUNNING
- BR-2B WHITE SILICATE BRICK  
FORMAT: RANDOM LENGTH  
BOND: SOLDIER
- WS-1 PRESSED WOOD SIDING  
NATURAL STAIN
- WS-2 PRESSED WOOD SIDING  
COLOUR: DARK GREY
- FC-1 FIBRE CEMENT PANEL  
COLOUR: DARK GREY
- GL-1 ALUMINUM WINDOW SYSTEM  
FRAME: DARK GREY  
GLASS: CLEAR
- GL-2 ALUMINUM GUARD SYSTEM  
FRAME: DARK GREY  
GLASS PANELS: CLEAR

**CLADDING LEGEND**  
SCALE: 1:75

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2 WEST ELEVATION  
A201 SCALE: 1:75



1 SOUTH ELEVATION  
A201 SCALE: 1:75

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**SOUTH & WEST ELEVATIONS**

**A201**

PLAN NO.: 18960