

LEGEND

DESCRIPTION

EXISTING

PROPOSED

Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists various infrastructure elements like STORM SEWER, SANITARY SEWER, WATER MAIN, etc., with their respective symbols and line styles.

Table for SURFACE PONDING VOLUME NO. and APPROXIMATE STORAGE VOLUME. Includes symbols for SP-10 and SP-10.0m³.

Table for PERIMETER OF STORM DRAINAGE SUBCATCHMENT AREA. Includes a symbol for the perimeter.

Table for AREA NO. and AREA IN HECTARES. Includes a symbol for area measurement.

Table for RUNOFF COEFFICIENT. Includes a symbol for runoff coefficient.

GENERAL NOTES:

- List of 25 general notes covering construction standards, utility locations, safety, and site requirements.

SANITARY SEWER NOTES

- List of 15 sanitary sewer notes detailing installation, bedding, and material specifications.

STORM SEWER NOTES

- List of 10 storm sewer notes detailing construction, bedding, and material requirements.

- List of 25 watermain notes covering materials, installation, bedding, and testing procedures.

WATERMAIN NOTES

- List of 18 watermain notes detailing trenching, bedding, and installation standards.

ROADWAY SPECIFICATIONS

- List of 9 roadway specifications covering soil, curbs, subdrains, and pavement requirements.

GENERAL NOTES FOR GRADING

- List of 5 general notes for grading covering responsibility, surface preparation, and slope requirements.

Vertical text on the left margin containing project metadata and dates.

CAUTION THE POSITION OF ALL POLE LINES, CONDUITS, WATERMANS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

Table with 4 columns: REV, REVISION DESCRIPTION, DATE, BY. Contains revision history for the drawing.

Table with 4 columns: SCALE, DESIGNED BY, REVIEWED BY, CLIENT. Contains project identification and design information.

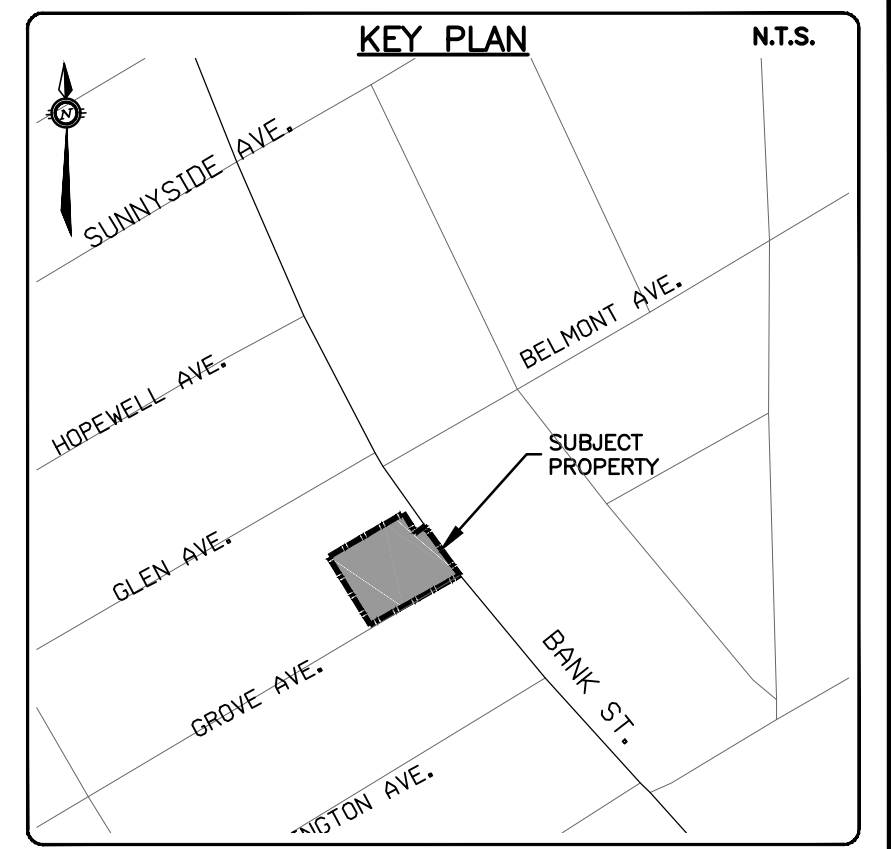


Client information for AMBASSADOR REALTY INC., 185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2.

Table with 2 columns: BASE PLAN, PROJECT. Lists various project details and dates.

Project title: 1166 BANK STREET OTTAWA, ONTARIO. NOTES AND LEGEND SHEET. C000.

Table with 2 columns: PROJECT No., DRAWING No. Contains project and drawing identifiers.



EXISTING WATERMAIN TO BE BLANKED AT MAIN BY CITY OF OTTAWA FORCES. EXCAVATION, BACKFILL AND REINSTATEMENT BY CONTRACTOR.

EXISTING SERVICES TO BE REMOVED AND CAPPED AT THE MAIN TO THE SATISFACTION OF THE CITY'S SEWER OPERATIONS

EXISTING SERVING TO BUILDING TO BE REMOVED. EXISTING BUILDING AND FOUNDATION TO BE REMOVED FROM THE SITE. BUILDING DEMOLITION SHALL BE COMPLETED IN CONSULTATION WITH GEOTECHNICAL ENGINEER.

EXISTING ASPHALT PARKING LOT TO BE DEMOLISHED

EXISTING CURB AND/OR SIDEWALK TO BE REMOVED.

GROVE AVENUE

BANK STREET

EXISTING CURB TO BE REMOVED AND REPLACED WITH BARRIER CURB AND SIDEWALK AS PER CITY STND. SC2. REFER TO EXP GRADING PLAN C200.

NOTES:

1. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE UNTIL SUCH TIME AS THE SERVICE PROVIDER HAS CONFIRMED IN WRITING THE SERVICE IS ABANDONED AND CAN BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES PRIOR TO COMMENCING CONSTRUCTION. ALL DIMENSIONS SHALL BE CHECKED AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES, INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS. DO NOT CONTINUE CONSTRUCTION IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.
3. FOR ADDITIONAL PROJECT NOTES REFER TO DRAWING C001.

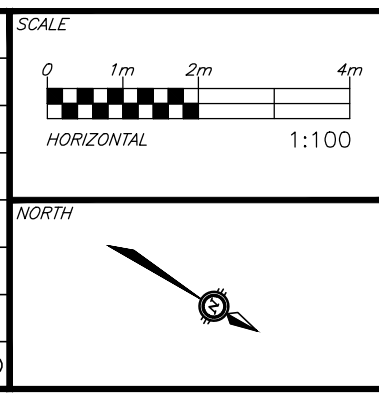
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 User: M.A. Ansari
 Date: 2023-08-01 14:44
 Plot Date: 2023-08-01 14:44
 Plot Scale: 1:100
 Plot Size: 11.00 x 16.00
 Plot Path: \\exp\projects\1166 Bank St\1166 Bank St.dwg

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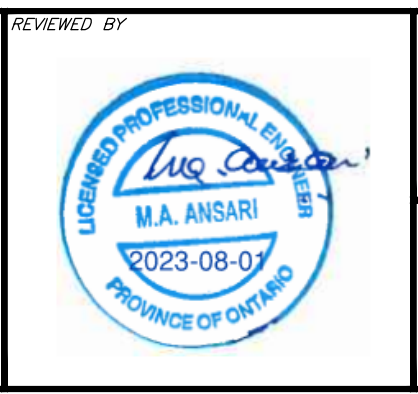
JOB BENCH MARK JBM ▲
 TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

TOPOGRAPHIC INFORMATION
 LOT 81, PART OF LOTS 80 & 82, REGISTERED PLAN 109930, CITY OF OTTAWA.
 TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
 SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH



DESIGNED BY: M.A. ANSARI
 2023-08-01
 LICENSED PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO



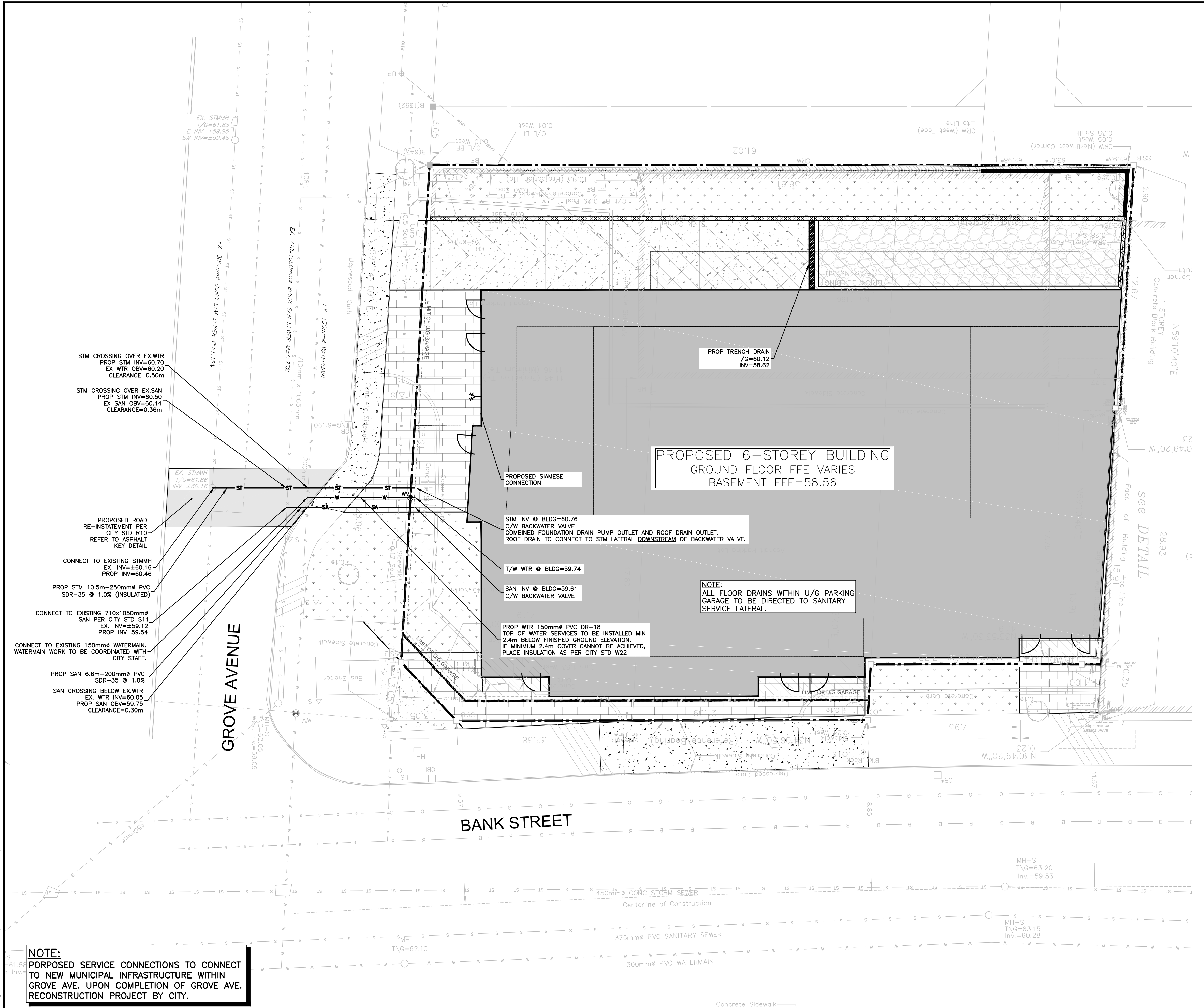
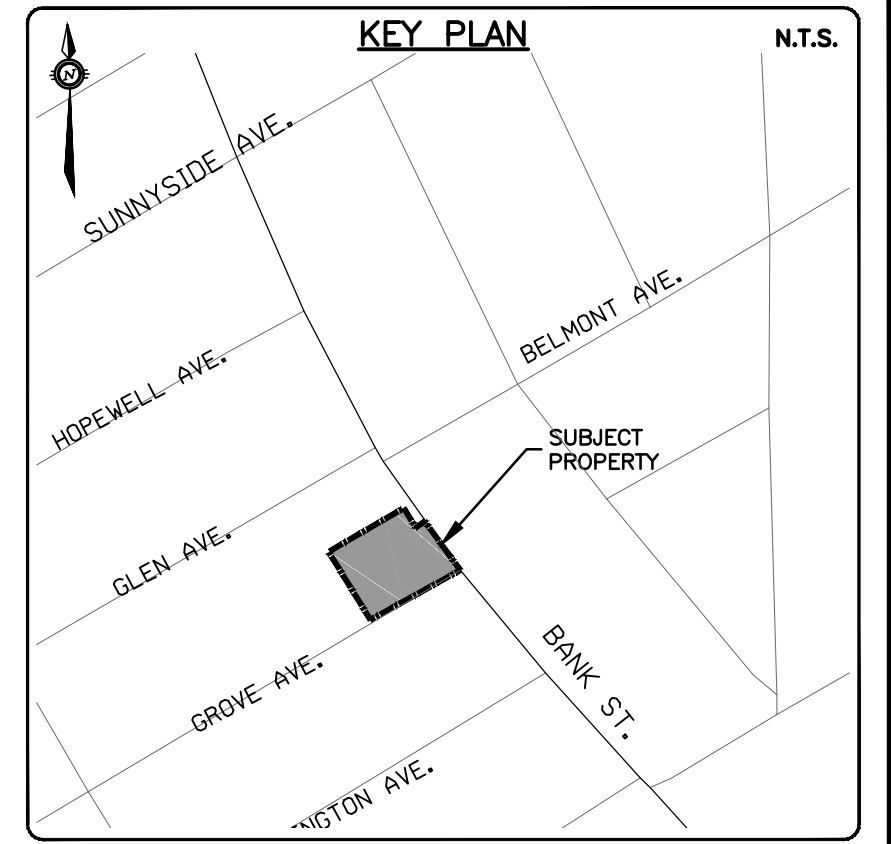
CLIENT: **AMBASSADOR REALTY INC.**
 185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

exp. SERVICES INC.
 2500 Queen Street East, Unit 100
 Ottawa, ON K1M 1R6
 Canada
 www.exp.ca
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 • INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

BASE PLAN	PROJECT
AS	1166 BANK STREET
DESIGN	OTT-22018175-AD
AS	SURVEY
CHECKED	ADV
KH	DATE
CAD	JANUARY 2023
AS	DRAWING No.
PROJECT MANAGER	C001
KH	
APPROVED	
AA	

EXISTING CONDITIONS AND REMOVALS PLAN

PROJECT No. OTT-22018175-AD
 SURVEY ADV
 DATE JANUARY 2023
 DRAWING No. C001



PROPOSED 6-STORY BUILDING
GROUND FLOOR FFE VARIES
BASEMENT FFE=58.56

NOTE:
ALL FLOOR DRAINS WITHIN U/G PARKING
GARAGE TO BE DIRECTED TO SANITARY
SERVICE LATERAL.

STM CROSSING OVER EX.WTR
PROP STM INV=60.70
EX WTR OBV=60.20
CLEARANCE=0.50m

STM CROSSING OVER EX.SAN
PROP STM INV=60.50
EX SAN OBV=60.14
CLEARANCE=0.36m

PROPOSED ROAD
RE-STATEMENT PER
CITY STD R10
REFER TO ASPHALT
KEY DETAIL

CONNECT TO EXISTING STMHH
EX INV=±60.16
PROP INV=60.46

PROP STM 10.5m-250mm \varnothing PVC
SDR-35 @ 1.0% (INSULATED)

CONNECT TO EXISTING 710x1050mm \varnothing
SAN PER CITY STD S11
EX INV=±59.12
PROP INV=59.54

CONNECT TO EXISTING 150mm \varnothing WATERMAIN.
WATERMAIN WORK TO BE COORDINATED WITH
CITY STAFF.

PROP SAN 6.6m-200mm \varnothing PVC
SDR-35 @ 1.0%

SAN CROSSING BELOW EX.WTR
EX WTR INV=60.05
PROP SAN OBV=59.75
CLEARANCE=0.30m

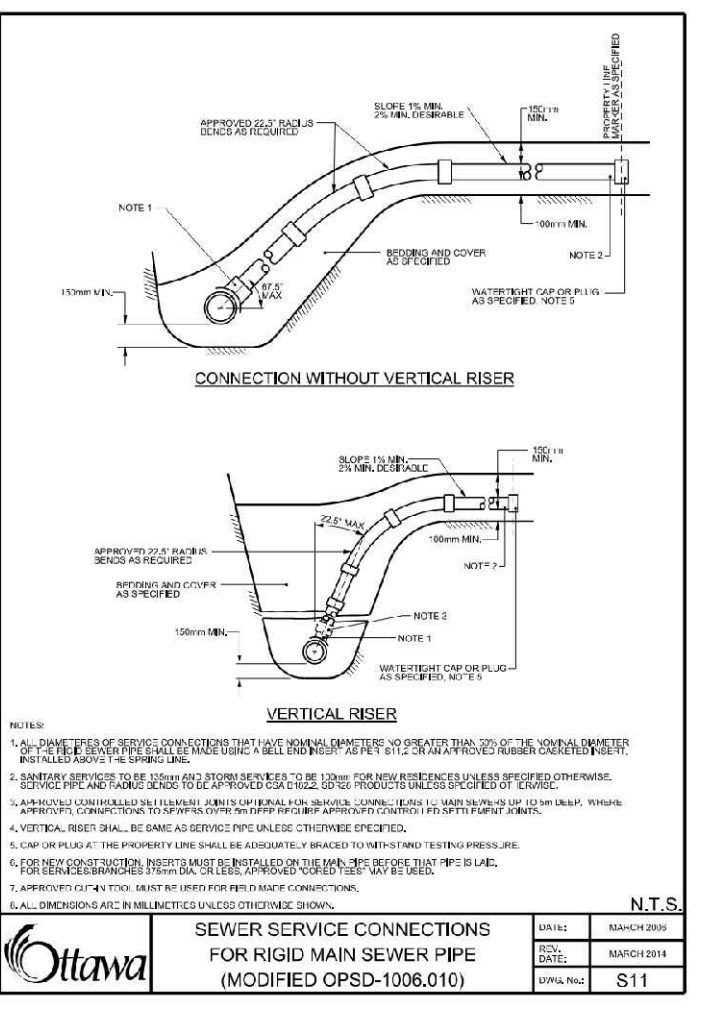
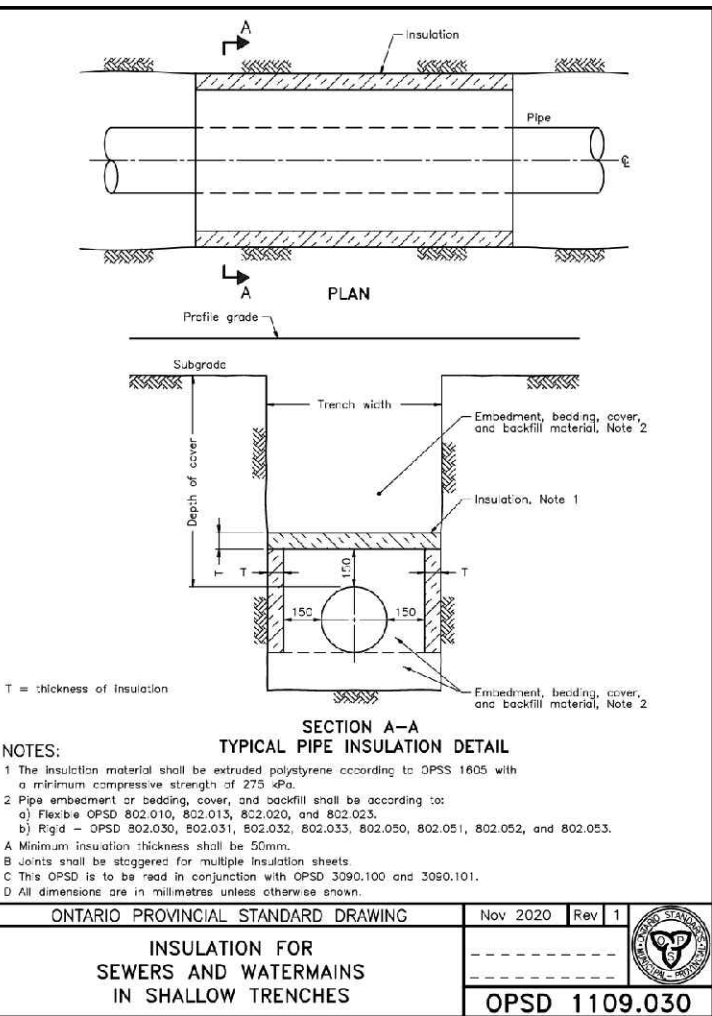
STM INV @ BLDG=60.76
C/W BACKWATER VALVE
COMBINED FOUNDATION DRAIN PUMP OUTLET AND ROOF DRAIN OUTLET.
ROOF DRAIN TO CONNECT TO STM LATERAL DOWNSTREAM OF BACKWATER VALVE.

T/W WTR @ BLDG=59.74

SAN INV @ BLDG=59.61
C/W BACKWATER VALVE

PROP WTR 150mm \varnothing PVC DR-18
TOP OF WATER SERVICES TO BE INSTALLED MIN
2.4m BELOW FINISHED GROUND ELEVATION.
IF MINIMUM 2.4m COVER CANNOT BE ACHIEVED,
PLACE INSULATION AS PER CITY STD W22

NOTE:
PROPOSED SERVICE CONNECTIONS TO CONNECT
TO NEW MUNICIPAL INFRASTRUCTURE WITHIN
GROVE AVE. UPON COMPLETION OF GROVE AVE.
RECONSTRUCTION PROJECT BY CITY.



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DAMAGE TO THEM.

JOB BENCH MARK JBM \blacktriangle
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF
SITE ALONG GROVE AVENUE.
ELEVATION=62.58

TOPOGRAPHIC INFORMATION
LOT 81, PART OF LOTS 80 & 82, REGISTERED
PLAN 109930, CITY OF OTTAWA.
TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK
LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

REV	REVISION DESCRIPTION	DATE	BY	APPD
2	ISSUED FOR SITE PLAN CONTROL	23/08/01	AAS	AA
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH

SCALE
1:100

DESIGNED BY

REVIEWED BY

CLIENT
AMBASSADOR REALTY INC.
185 SOMERSET ST. W,
OTTAWA, ON, K2P 0J2

PROJECT
BASE PLAN
DESIGN
CHECKED
CAD
PROJECT MANAGER
APPROVED

PROJECT
1166 BANK STREET
OTTAWA, ONTARIO.

TITLE
SITE SERVICING PLAN

PROJECT No.
OTT-22018175-AD

SURVEY
ADV

DATE
JANUARY 2023

DRAWING No.
C100

exp. SERVICES INC.

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INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

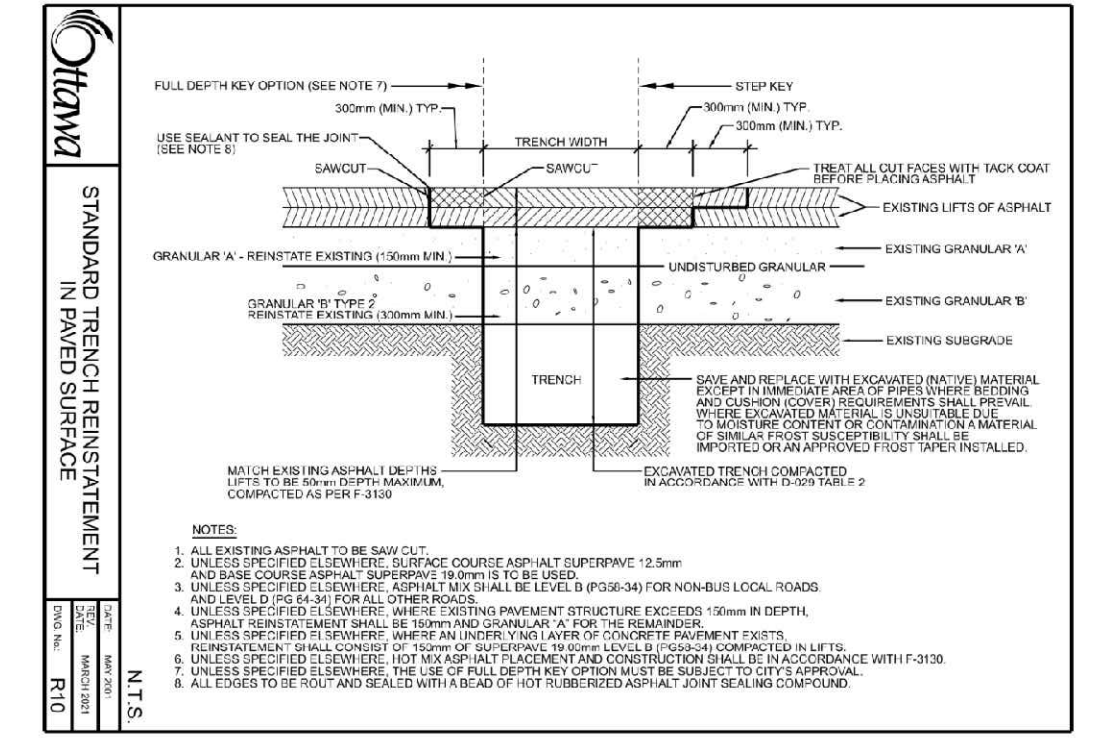
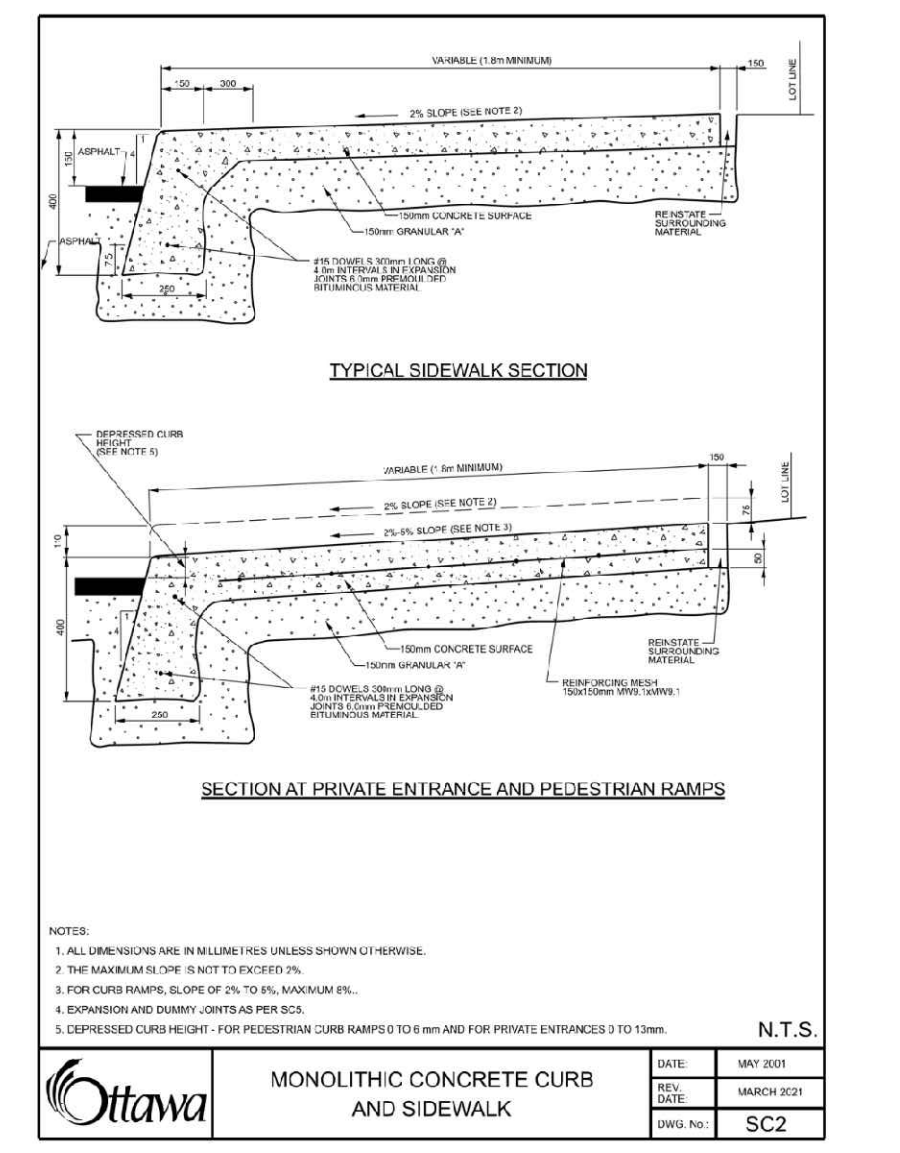
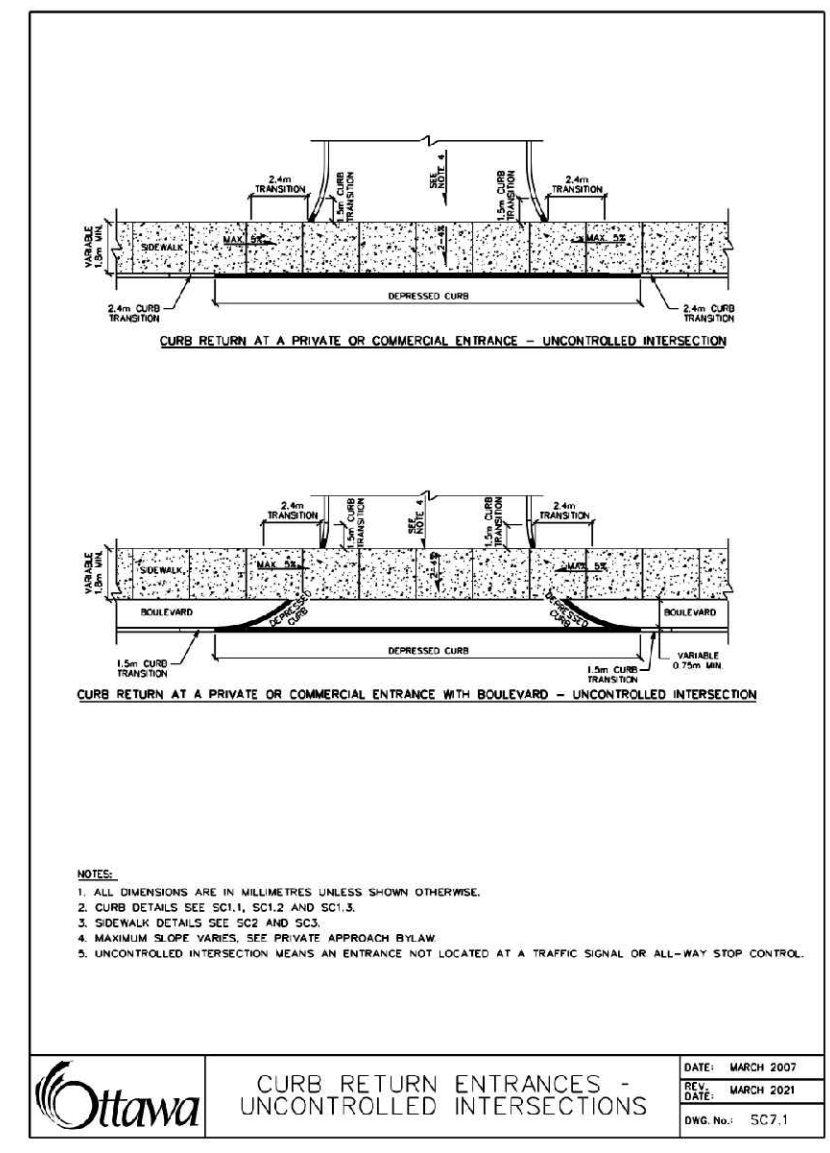
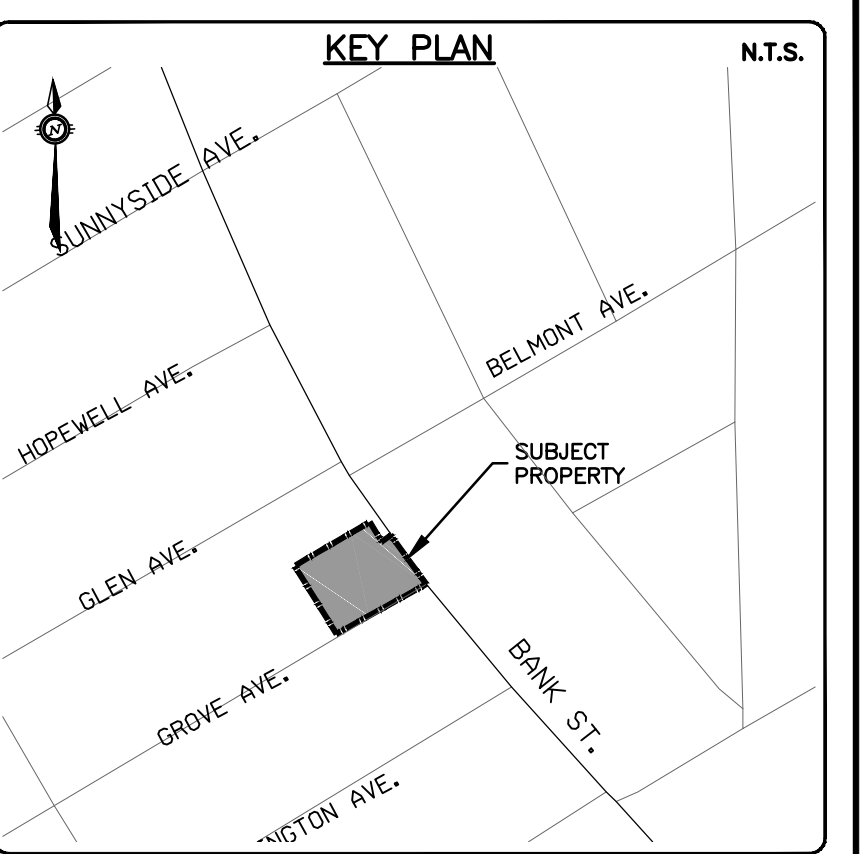
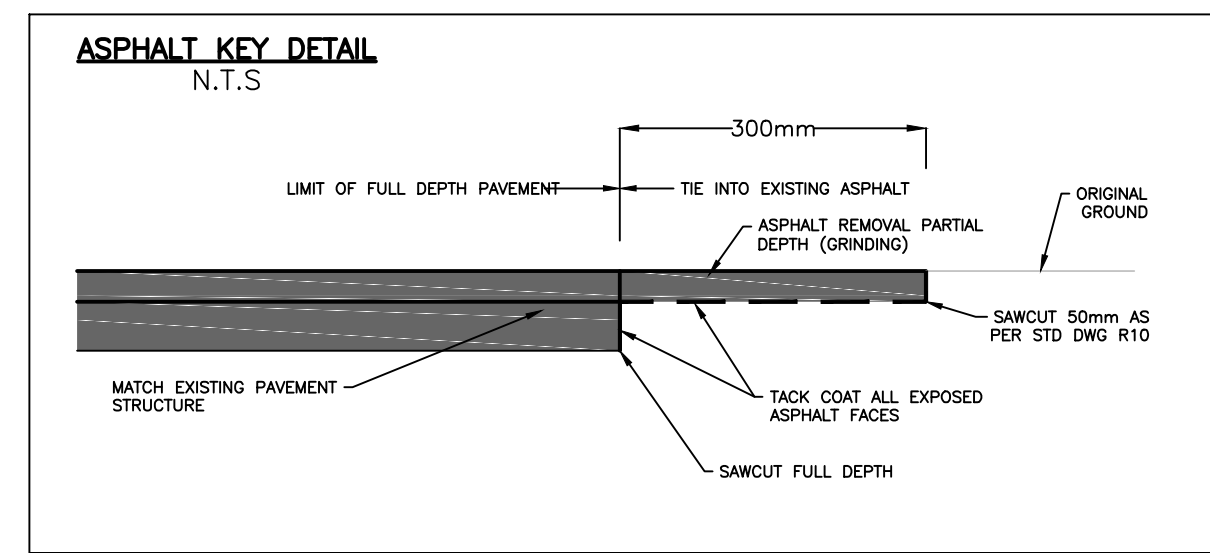
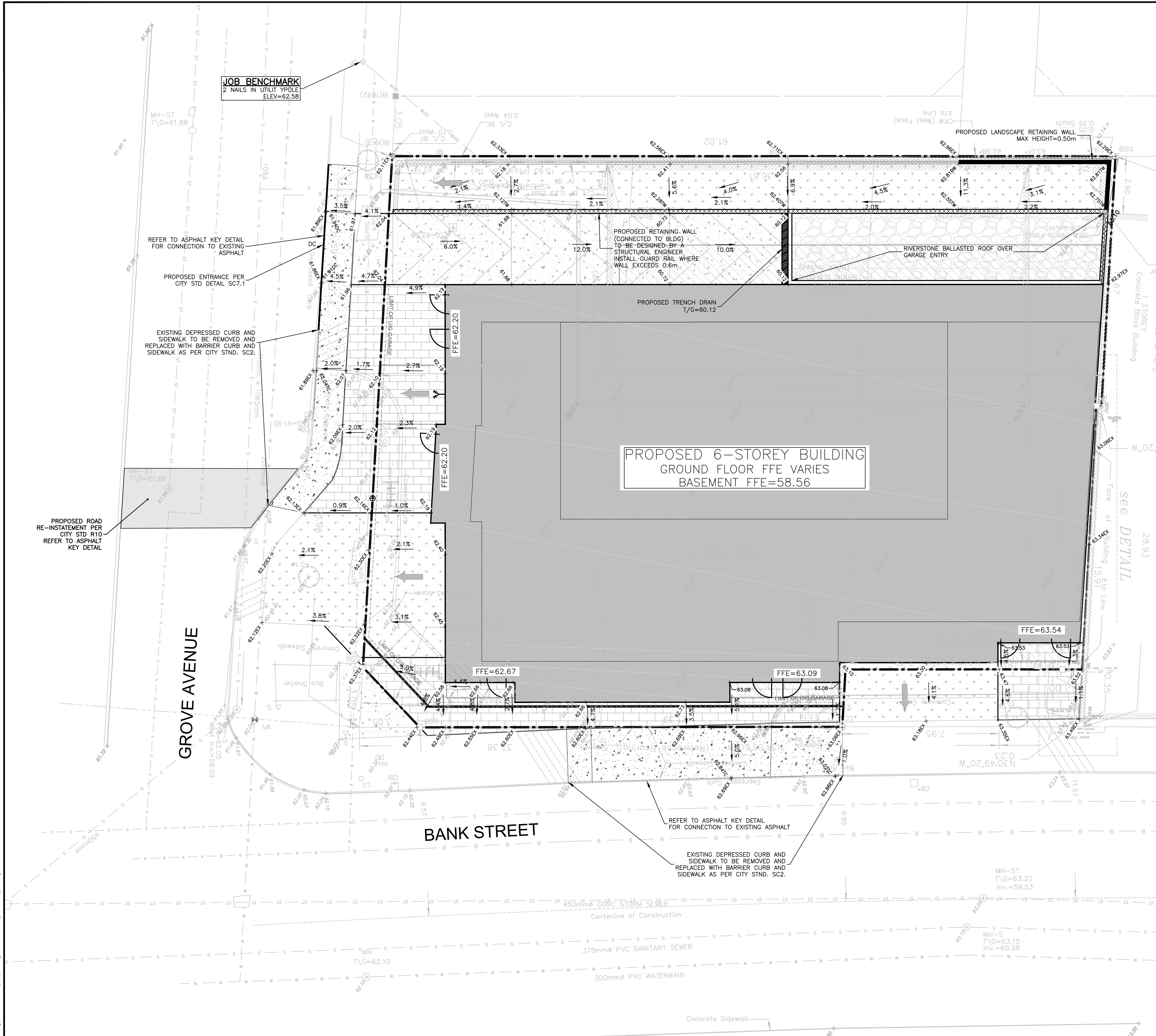
M.A. ANSARI
2023-08-01
PROVINCE OF ONTARIO

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ADV

DATE
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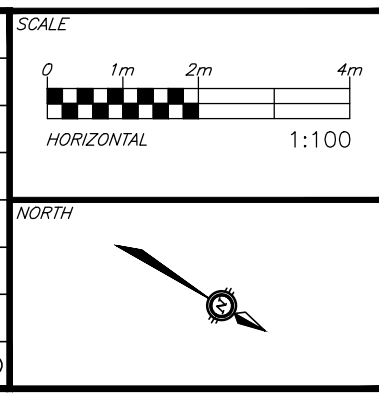


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JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE.
ELEVATION=62.58

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TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

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2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA					
1	ISSUED FOR SITE PLAN CONTROL	23/02/07	AAS	KH					



DESIGNED BY: M.A. ANSARI
REVIEWED BY: M.A. ANSARI
DATE: 2023-08-01
PROVINCE OF ONTARIO



CLIENT: **AMBASSADOR REALTY INC.**
185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

exp. Services Inc.
2550 Desparre Ave. Unit 100
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www.exp.ca
416-598-8800

BASE PLAN AS
DESIGN AS
CHECKED KH
CAD AS
PROJECT MANAGER KH
APPROVED AA

PROJECT: **1166 BANK STREET**
OTTAWA, ONTARIO.

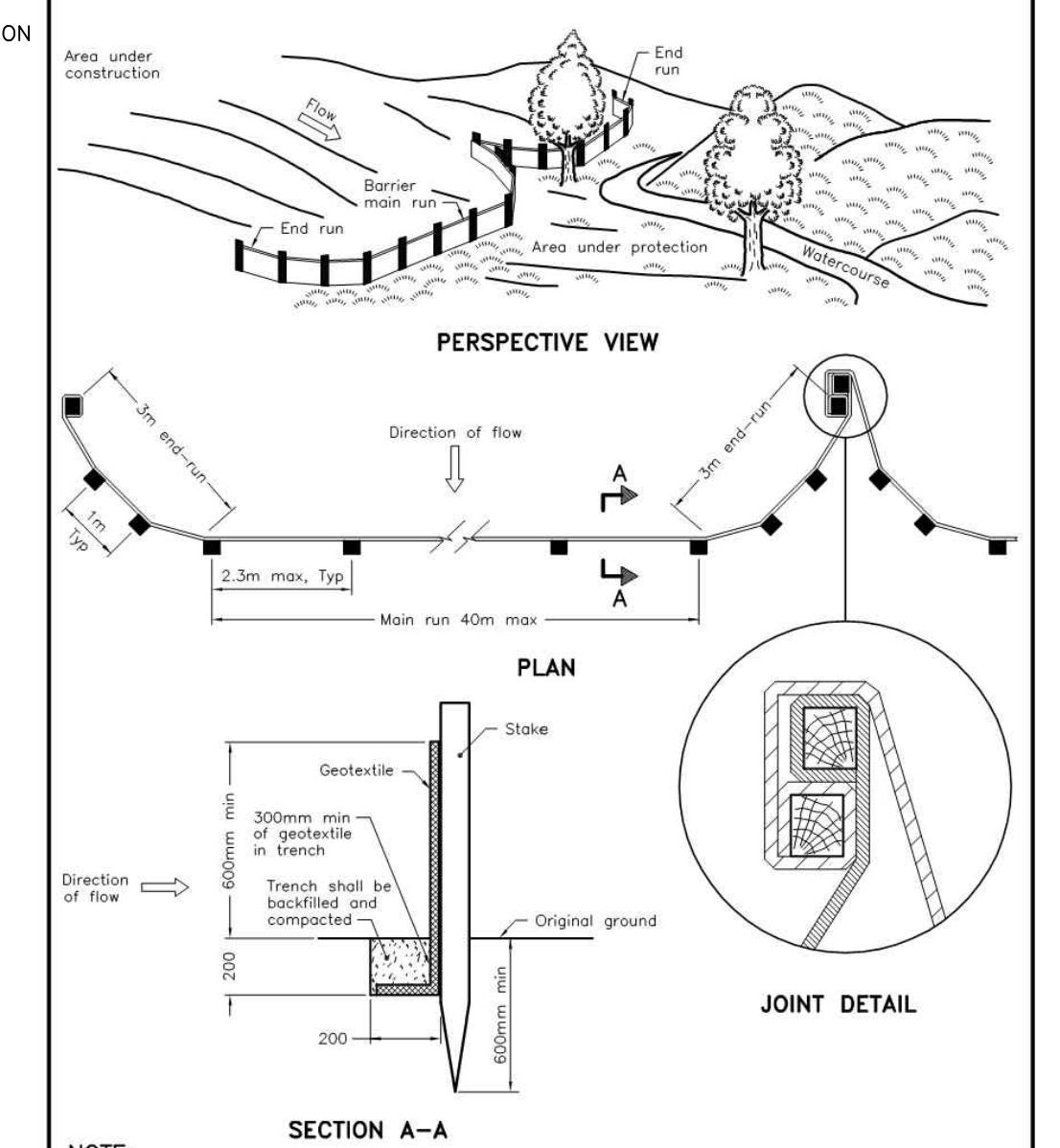
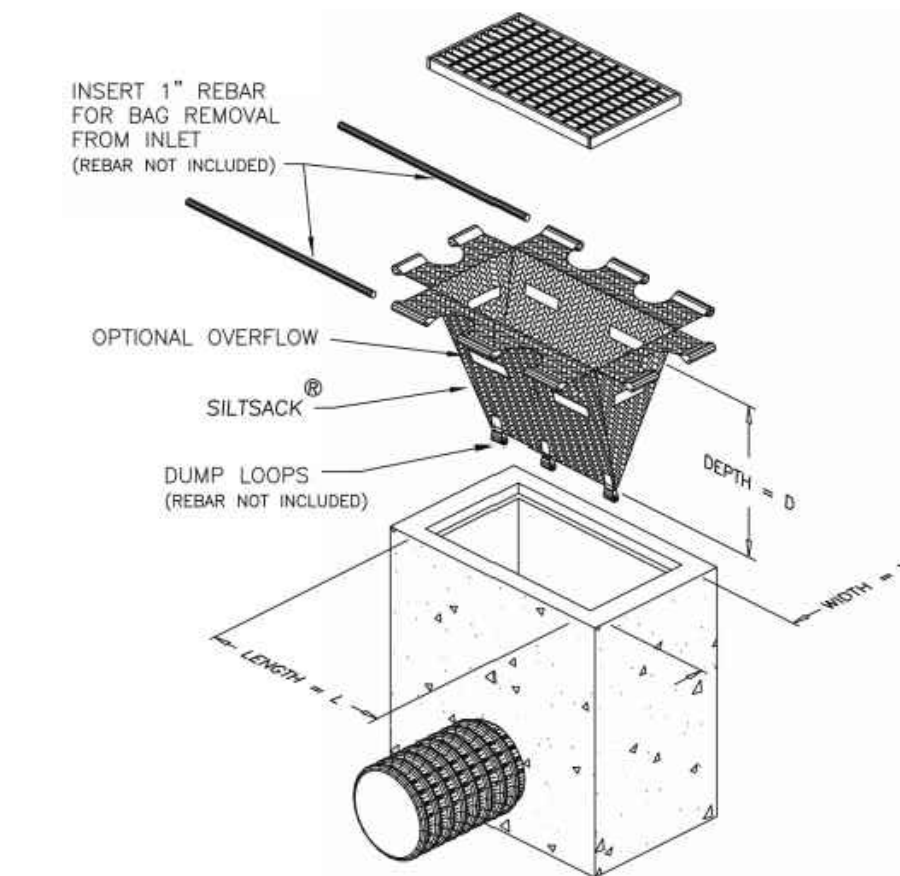
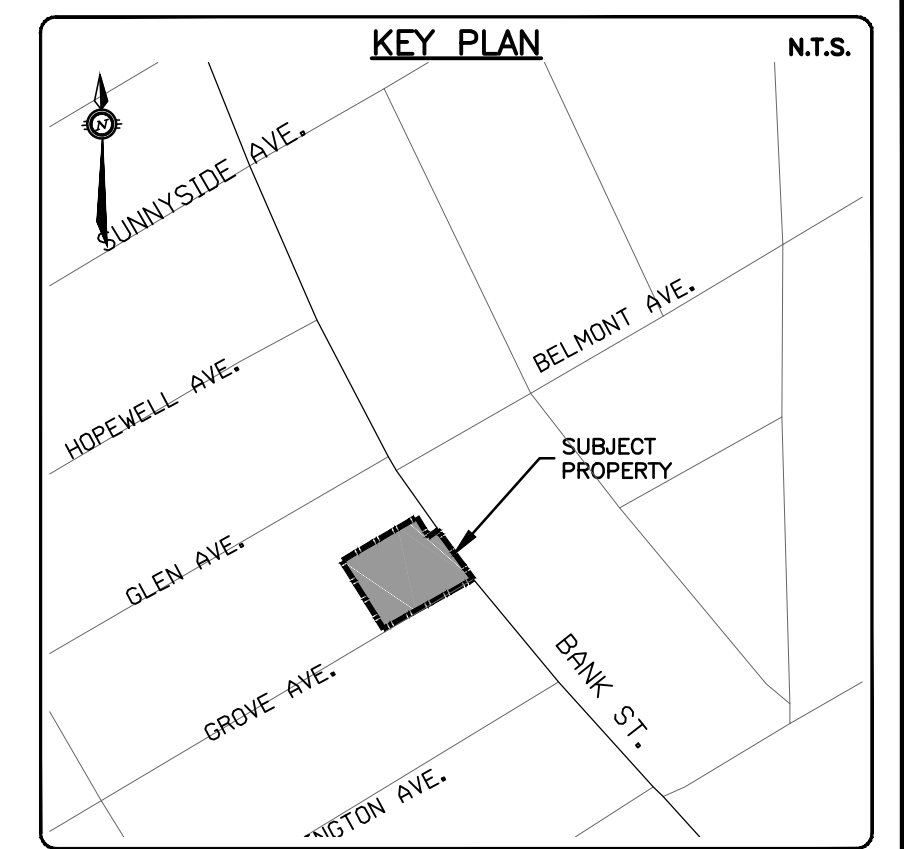
TITLE: **SITE GRADING PLAN**

PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE: JANUARY 2023
DRAWING No. C200

EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

DURING ALL CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION SHALL BE CONTROLLED BY THE FOLLOWING TECHNIQUES:

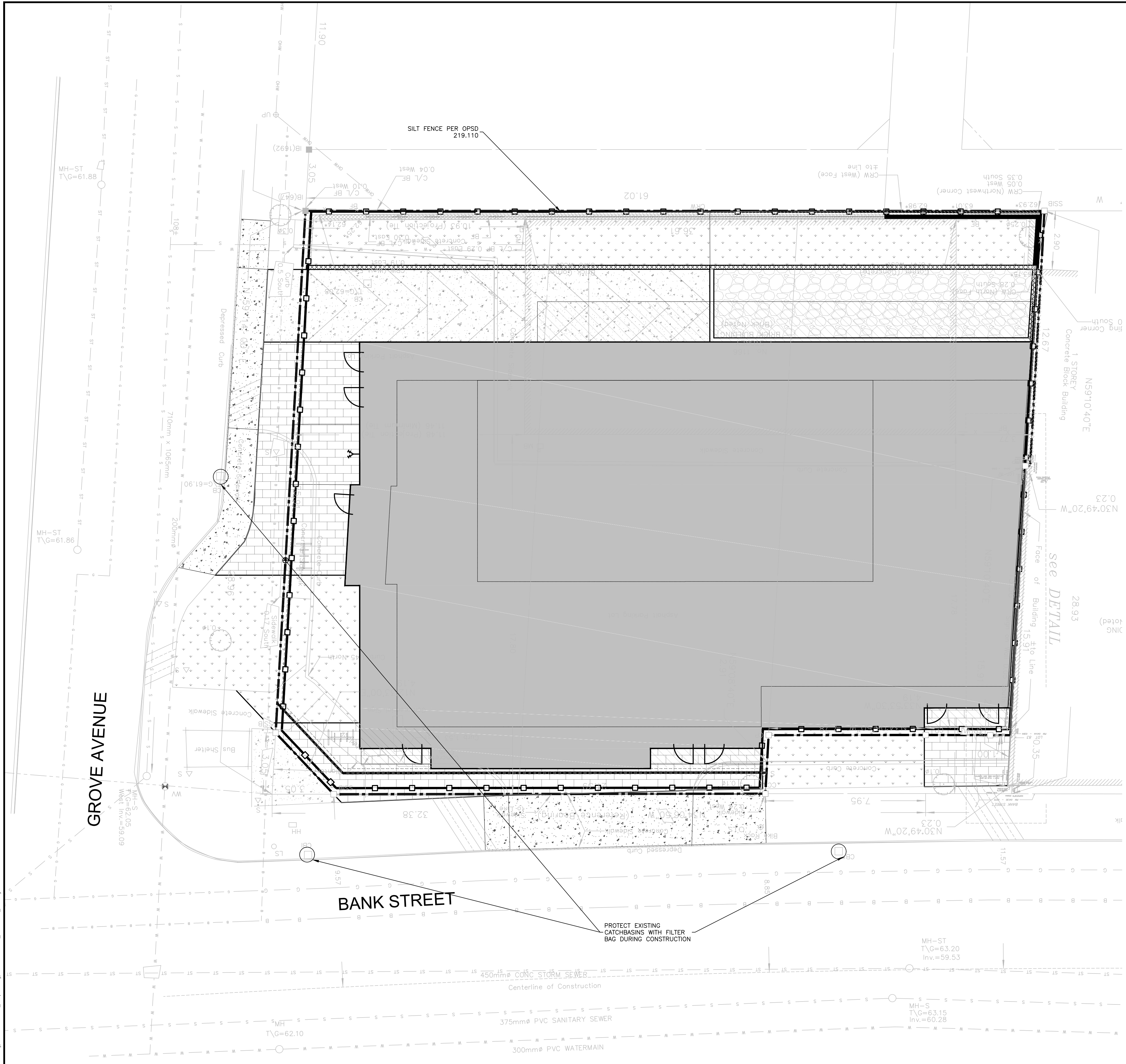
1. LIMITING THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
2. REVEGETATION OF EXPOSED AREAS AS SOON AS POSSIBLE.
3. MINIMIZATION OF AREA TO BE CLEARED AND DISRUPTION TO ADJACENT AREAS.
4. INSTALLATION OF FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES.
5. A SILT FENCE TO BE INSTALLED 0.3m INSIDE THE SITE PROPERTY LINE TO LOCATIONS SHOWN ON THIS DRAWING.
6. A VISUAL INSPECTION SHALL BE COMPLETED DAILY ON SEDIMENT CONTROL BARRIERS AND ANY DAMAGE REPAIRED IMMEDIATELY. CARE WILL BE TAKEN TO PREVENT DAMAGE DURING CONSTRUCTION OPERATIONS.
7. IN SOME CASES SOME BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMMODATE THE CONSTRUCTION OPERATIONS, THE AFFECTED BARRIERS WILL BE REINSTATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED.
8. THE SEDIMENT CONTROL DEVICES WILL BE CLEANED OF ACCUMULATED SILT AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OF AS PER THE REQUIREMENTS OF THE CONTRACT.
9. DURING THE COURSE OF CONSTRUCTION IF THE ENGINEER BELIEVES THAT ADDITIONAL PREVENTION METHODS ARE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR WILL INSTALL ADDITIONAL SILT FENCES OR OTHER METHODS AS REQUIRED TO THE SATISFACTION OF THE ENGINEER.
10. CONSTRUCTION AND MAINTENANCE REQUIREMENTS FOR EROSION AND SEDIMENT CONTROLS TO COMPLY WITH ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) OPSS 805, AND CITY OF OTTAWA SPECIFICATIONS.
11. SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION OF THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY.



NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING		Nov 2015	Rev 2
LIGHT-DUTY SILT FENCE BARRIER		OPSD 219.110	

- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE TIES OR STAPLES.
 2. POSTS TO BE SPACED AT 2.3 METRES CENTRE TO CENTRE.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY A MINIMUM OF 500mm.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
 5. WOOD POSTS TO BE HARDWOOD TYPE (50mm x 50mm).
 6. GEOTEXTILE TO BE EMBEDDED 200mm INTO GROUND.
 7. GEOTEXTILE TO CONFORM TO OPSS 805 STANDARDS.
 8. SILT FENCE MUST BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AND IN ACCORDANCE WITH DETAIL. SILT FENCE CAN BE REMOVED AFTER LANDSCAPING IS COMPLETE.
 9. SEDIMENTS MUST BE CLEARED AWAY WHEN THEY REACH HALF THE HEIGHT OF THE FENCE.

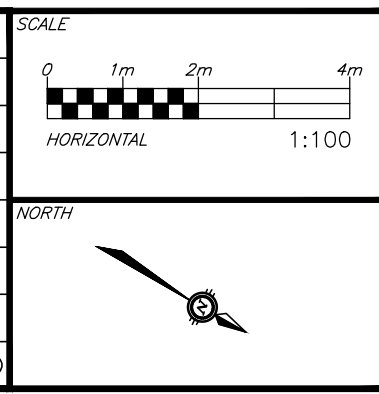


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JOB BENCH MARK JBM ▲
TWO (2) NAILS IN UTILITY POLE LOCATED AT SOUTH-WEST CORNER OF SITE ALONG GROVE AVENUE. ELEVATION=62.58

TOPOGRAPHIC INFORMATION
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TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK LTD, SURVEY DATED FEBRUARY 10, 2022.
SITE GRID SYSTEM MTM NAD 83, ZONE 9.

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2	REVISED PER CITY COMMENTS	23/08/01	AAS	AA
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REVIEWED BY: M.A. ANSARI
DATE: 2023-08-07
PROVINCE OF ONTARIO



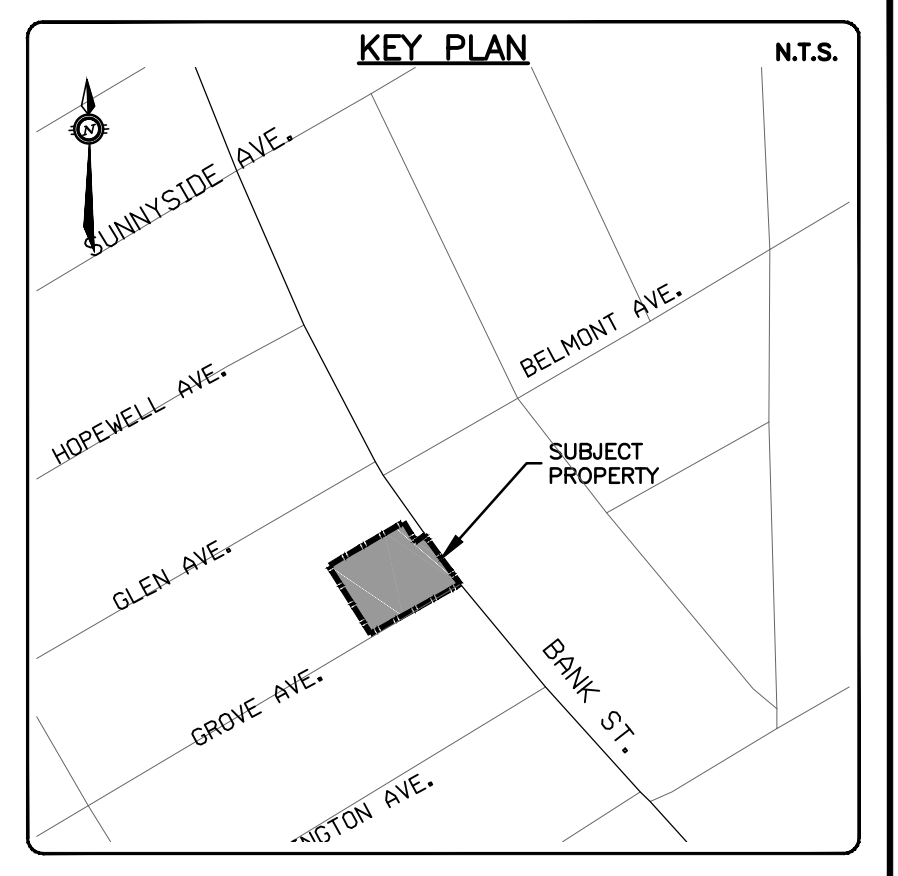
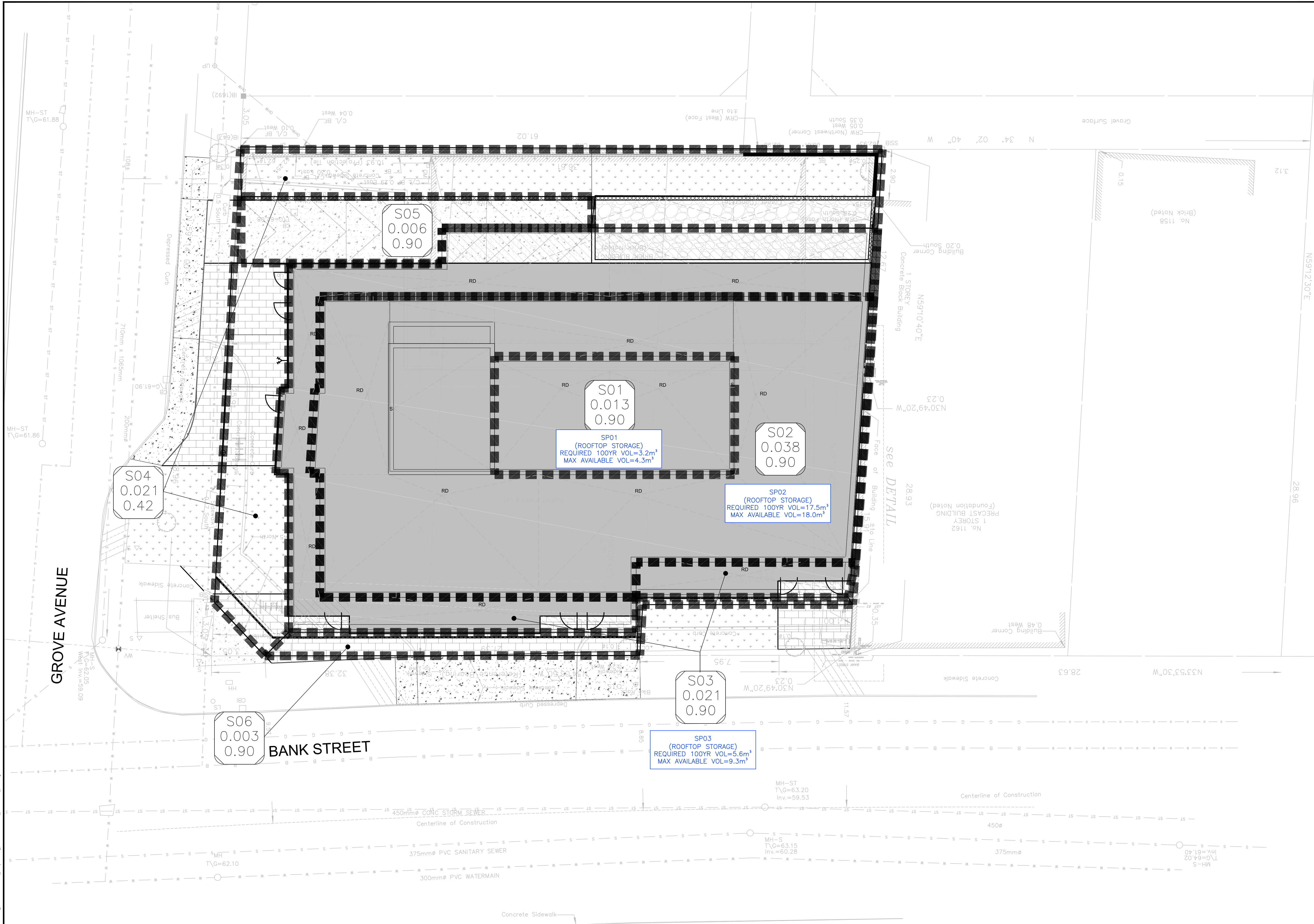
CLIENT: **AMBASSADOR REALTY INC.**
185 SOMERSET ST. W., OTTAWA, ON, K2P 0J2

BASE PLAN	AS
DESIGN	AS
CHECKED	KH
CAD	AS
PROJECT MANAGER	KH
APPROVED	AA

PROJECT: **1166 BANK STREET**
OTTAWA, ONTARIO.

TITLE: **EROSION AND SEDIMENT CONTROL PLAN**

PROJECT No.	OTT-22018175-AD
SURVEY	ADV
DATE	JANUARY 2023
DRAWING No.	C300

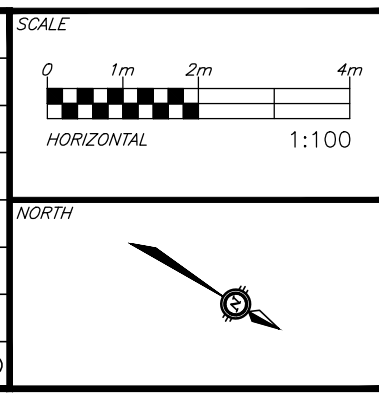


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DESIGNED BY: [Signature]
REVIEWED BY: [Signature]



CLIENT
AMBASSADOR REALTY INC.
185 SOMERSET ST. W.
OTTAWA, ON, K2P 0J2

exp.
exp Services Inc.
2050 Dufferin St. Unit 100
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• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •
• INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

DESIGN	PROJECT
AS	AS
AS	AS
KH	KH
AS	AS
KH	KH
AA	AA

1166 BANK STREET
OTTAWA, ONTARIO.

POST-DEVELOPMENT CATCHMENTS

PROJECT No. OTT-22018175-AD
SURVEY ADV
DATE: JANUARY 2023
DRAWING No. C400