DESCRIPTION **PROPOSED** EXISTING PROPERTY LINE STORM SEWER SANITARY SEWER WATER MAIN STORM MANHOLE ○ MH−ST CATCHBASIN CATCHBASIN C/W ICD CATCHBASIN MANHOLE SANITARY MANHOLE \bigcirc MH-S WATER VALVE/CURB STOP FIRE HYDRANTS FH-Q-400x200mm TEE WATER MAIN TEE PROPOSED SILT FENCE PER OPSD 219.110 133.00 PROPOSED SURFACE GRADE 133.00TC PROPOSED TOP OF CURB GRADE PROPOSED SLOPE & DIRECTION 2.0% OVERLAND FLOW ROUTE PROPOSED CONCRETE BARRIER CURB PER OPSD 600.110 PROPOSED TWSI PER OPSD 310.039 PROPOSED HEAVY DUTY ASPHALT: - 40mm HL3 or SP12.5 LEVEL B - 50mm HL8 or SP19 LEVEL B 150mm GRANULAR 'A' - 450mm GRANULAR 'B' TYPE II SURVEY MONUMENT PLANTED SURVEY MONUMENT FOUND STANDARD IRON BAR SHORT STANDARD IRON BAR IRON BAR CONCRETE PIN ROUND IRON BAR OVERHEAD WIRES UNDERGROUND GAS — GAS — GAS — GAS — GAS — UNDERGROUND BELL GAS METER HANDHOLE LIGHT STANDARD BOARD FENCE DIAMETER CENTRELINE CONCRETE RETAINING WALL TOP OF GRATE DECIDUOUS TREE BOLLARD MAIL BOX SURFACE PONDING VOLUME NO. APPROXIMATE STORAGE VOLUME PERIMETER OF STORM DRAINAGE SUBCATCHMENT AREA AREA NO AREA IN HECTARES RUNOFF COEFFICIENT

11. STORM MANHOLE FRAME AND COVERS SHALL BE AS PER CITY OF OTTAWA STD. S24, S24.1 AND S25. **GENERAL NOTES:**

THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS (OPSS), WHERE

CONSULTING THE MUNICIPAL AUTHORITIES AND UTILITY COMPANIES CONCERNED. THE CONTRACTOR IS RESPONSIBLE

TO PROVIDE THE LOCATION AND STATUS OF UTILITIES AND SHALL BE RESPONSIBLE FOR ADEQUATE PROTECTION OF PLANT AND EQUIPMENT FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF

ANY SERVICES OR UTILITIES DISTURBED DURING CONSTRUCTION, TO THE SATISFACTION OF THE AUTHORITY HAVING

STRUCTURES TO BE CONNECTED TO AND EXISTING SERVICES THAT MAY BE DAMAGED OR CAUSE CONFLICTS PRIOR TO CONSTRUCTION OF ANY NEW SEWER, WATER AND/OR STORM WATER WORKS. ALL DIMENSIONS SHALL BE CHECKED

ENGINEER, WHEN NOTED AND BEFORE PROCEEDING WITH CONSTRUCTION WORKS, DO NOT CONTINUE CONSTRUCTION

CONSTRUCTION. THE CONTRACTOR SHALL CONFIRM LOCATIONS AND ELEVATIONS OF EXISTING SERVICES AND

AND VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION, ANY DISCREPANCIES.

INTERPRETATIONS, CHANGES AND ADDITIONS TO THESE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE

4. ALL ELEVATIONS ARE GEODETIC AND UTILIZE METRIC UNITS. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE

SPECIFIED. ALL DRAWINGS SHOULD NOT BE SCALED BY THE CONTRACTOR. ANY MISSING OR QUESTIONABLE

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED AND BEAR COST OF THE SAME.

6 ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE "OCCUPATIONAL HEALTH AND SAFETY ACT AND

7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND REINSTATEMENT OF ALL AREAS

DISTURBED DURING CONSTRUCTION TO THE SATISFACTION OF THE ENGINEER, THE CITY OF OTTAWA AND THE

8. ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL

10. THE SUPPORT OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING

13. THE SITE LAYOUT IS THE RESPONSIBILITY OF THE CONTRACTOR. AS-BUILT SITE SERVICING & GRADING DRAWINGS

CONDITION OR BETTER TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION AT THE CONTRACTOR'S

9. THE CONTRACTOR SHALL COMPLY WITH THE CITY OF OTTAWA REQUIREMENTS FOR TRAFFIC CONTROL WHEN WORKING ON CITY STREETS. ALL CONSTRUCTION SIGNAGE MUST CONFORM TO THE M.T.O. BOOK 7 AND T.A.C MANUAL OF

11. THERE WILL BE NO SUBSTITUTION OF MATERIALS UNLESS WRITTEN APPROVAL BY THE ENGINEER HAS BEEN OBTAINED.

14. THE CONTRACTOR WILL BE RESPONSIBLE FOR ADDITIONAL BEDDING OR ADDITIONAL STRENGTH PIPE IF THE MAXIMUM

15. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED AY THE CONTRACTOR. REVIEW WITH ENGINEER AND

16. ALL EDGES OF DISTURBED PAVEMENT SHALL BE SAW CUT TO FORM A NEAT AND STRAIGHT LINE PRIOR TO PLACING NEW

17. FOR GEOTECHNICAL INFORMATION REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY PATERSON

ENCOUNTERED AND SHALL CARRY OUT THEIR OWN TEST PITS AS REQUIRED TO MAKE THEIR OWN INDEPENDENT ASSESSMENT OF GROUND CONDITIONS. THE CONTRACTOR SHALL NOT MAKE ANY CLAIM FOR ANY EXTRA COST DUE TO

21. ALL NECESSARY CLEARING AND GRUBBING SHALL BE COMPLETED BY THE CONTRACTOR. REVIEW WITH CONTRACT

1. ALL SANITARY SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS

2. ALL SANITARY SEWERS SHALL BE PVC SDR 35, IPEX "RING-TITE" (OR EQUIVALENT), AS PER CSA STANDARD 8182.2 OR

3. SANITARY SEWER TRENCH AND BEDDING SHALL BE AS PER CITY OF OTTAWA STD. S6 AND S7, CLASS 'B BEDDING UNLESS

MARKED WITH A 50MM X 100MM WOODEN MARKER, EXTENDING FROM THE INVERT TO 1.0 M ABOVE GRADE PAINTED RED.

4. ALL SANITARY LATERALS ARE TO BE PVC SDR 28, IPEX "RING-TITE" (OR EQUIVALENT), ANY COLOR EXCEPT WHITE AND

5. SEWER BEDDING AS PER CITY STANDARD S6 & S7. GRANULAR 'A' BEDDING TO BE INCREASED TO 300MM WHERE

6. SANITARY SEWER MANHOLES SHALL BE BENCHED AS PER OPSD 701.021. SANITARY MANHOLE FRAME AND COVERS

7. THE CONTRACTOR SHALL CONDUCT INFILTRATION/EXFILTRATION (AS PER CURRENT OPSS) TESTING ON ALL NEWLY

8. THE CONTRACTOR SHALL CONDUCT CCTV INSPECTION OF ALL NEWLY INSTALLED SANITARY SEWERS AND EXISTING SEWERS CONNECTED TO. THE TEST SHALL BE PERFORMED IMMEDIATELY AFTER SEWERS INSTALLED.

10. THE CONTRACTOR SHALL CONSTRUCT FLEXIBLE SANITARY SEWERS IN ACCORDANCE WITH OPSD 802.010 AND 802.013.

11. ALL SANITARY BUILDING DRAINS TO BE EQUIPPED WITH SANITARY BACKWATER VALVES INSTALLED PER CITY OF

DURING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT THE PIPES FROM HEAVY CONSTRUCTION EQUIPMENT.

12. WITHIN THE FROST ZONE, THE BACKFILL IN THE SERVICE TRENCHES SHOULD MATCH THE SOIL ON SIDES TO MINIMIZE

13. MINIMUM SOIL COVER TO BE 2.1m TO PROTECT SEWERS FROM FROST DAMAGE. IN AREAS WHERE ADEQUATE FROST COVER CANNOT BE ACHIEVED, EQUIVALENT THERMAL INSULATION TO BE INSTALLED AS PER OPSD 514.010

1. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND

2. ALL REINFORCED CONCRETE STORM SEWER PIPE SHALL BE IN ACCORDANCE WITH CSA A257.2 (LATEST AMENDMENT).

3. ALL PVC STORM SEWERS ARE TO BE SDR 35 APPROVED PER C.S.A. B182.2 OR LATEST AMENDMENT, UNLESS OTHERWISE

ALL NON-REINFORCED CONCRETE STORM SEWER PIPE SHALL BE IN ACCORDANCE WITH CSA A257.L (LATEST

AMENDMENT). PIPE SHALL BE JOINTED WITH STD. RUBBER GASKETS AS PER CSA A257.3 (LATEST AMENDMENT).

4. THE CONTRACTOR SHALL CONSTRUCT FLEXIBLE STORM SEWERS IN ACCORDANCE WITH OPSD 802.010 AND 802.013. RIGID STORM PIPE SHALL BE CONSTRUCTED IN ACCORDANCE WITH OPSD 802.030. DURING CONSTRUCTION THE CONTRACTOR SHALL PROTECT THE PIPES FROM HEAVY CONSTRUCTION EQUIPMENT. BEDDING AND BACKFILL SHALL BE

6. ALL STORM LATERALS SHALL BE PVC SDR 28, WHITE IN COLOR AND MARKED WITH A 50mm X IOOmm WOODEN MARKER

8. WITHIN THE FROST ZONE, THE BACKFILL IN THE SERVICE TRENCHES SHOULD MATCH THE SOIL ON SIDES TO MINIMIZE

9. MINIMUM SOIL COVER TO BE 2.1M TO PROTECT SEWERS FROM FROST DAMAGE. IN AREAS WHERE ADEQUATE FROST COVER CANNOT BE ACHIEVED, EQUIVALENT THERMAL INSULATION TO BE INSTALLED AS PER OPSD 514.010

INSTALLED SANITARY SEWERS. THE TEST SHALL BE PERFORMED IMMEDIATELY AFTER SEWER INSTALLATION AND

STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA SPECIFICATIONS AND OPSD 1003.01.

9. ALL SERVICE CONNECTIONS TO BE CONSTRUCTED AS PER CITY STANDARD S11 & S11.1.

BEDDING AND BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 95% SPMDD.

SHALL BE AS PER CITY OF OTTAWA STD. S24 AND S25. SAFETY PLATFORMS SHALL BE AS PER OPSD 404.02. DROP

AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND

18. THE CONTRACTOR SHALL APPRAISE HIS/HER SELF OF ALL SURFACE AND SUBSURFACE CONDITIONS TO BE

20. CIVIL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL, LANDSCAPE AND LEGAL DRAWINGS.

ANY SUCH GROUND CONDITIONS VARYING FROM THOSE ANTICIPATED BY THE CONTRACTOR.

19. DO NOT CONSTRUCT USING DRAWINGS THAT ARE NOT MARKED "ISSUED FOR CONSTRUCTION".

ADMINISTRATOR AND THE CITY OF OTTAWA PRIOR TO ANY TREE CUTTING.

REGULATIONS FOR CONSTRUCTION PROJECTS", THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE

2. THE LOCATION OF UTILITIES IS APPROXIMATE ONLY, AND THE EXACT LOCATION SHOULD BE DETERMINED BY

THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING SERVICES PRIOR TO ANY

IN AREAS WHERE DISCREPANCIES APPEAR UNTIL SUCH DISCREPANCIES HAVE BEEN RESOLVED.

DIMENSIONS ARE TO BE CONFIRMED WITH THE ENGINEER IN WRITING.

UNIFORM TRAFFIC CONTROL DEVICES (LATEST AMENDMENT).

12. EXCESS EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.

TRENCH WIDTH, AS SPECIFIED BY OPSD, IS EXCEEDED.

THE CITY OF OTTAWA PRIOR TO ANY TREE CUTTING.

GROUP, DATED MAY 18, 2022

SANITARY SEWER NOTES

OTHERWISE NOTED.

LATEST AMENDMENT, UNLESS OTHERWISE NOTED

SEWERS ARE BELOW THE GROUNDWATER TABLE.

OTTAWA STANDARD DRAWING S14.1.

STORM SEWER NOTES

SPECIFICATIONS (OPSS).

DIFFERENTIAL FROST HEAVING IN THE SUBGRADE.

COMPACTED TO A MINIMUM OF 95% SPMDD. 5. SEWER BEDDING AS PER CITY STANDARD S6 & S7.

DIFFERENTIAL FROST HEAVING IN THE SUBGRADE

EXTENDING FROM THE INVERT TO 1.0M ABOVE GRADE PAINTED GREEN.

10. ALL STORM SERVICES TO BE EQUIPPED WITH APPROVED BACKWATER VALVES.

7. ALL SERVICE CONNECTIONS TO BE CONSTRUCTED AS PER CITY STANDARD S11 & S11.1.

CONSTRUCTOR AS DEFINED IN THE ACT.

AUTHORITY HAVING JURISDICTION.

- 12. SAFETY PLATFORMS SHALL BE IN ACCORDANCE WITH OPSD 404.02.
- 1. ALL WORKS AND MATERIALS SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF
 - 13. DROP STRUCTURES SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA SPECIFICATIONS AND OPSD 1003.01.
 - 14. STORM SEWER MANHOLES SERVING LOCAL SEWERS LESS THAN 900MM SHALL BE CONSTRUCTED WITH A 300MM SUMP. FOR STORM SEWERS 900MM AND OVER USE BENCHING IN ACCORDANCE WITH OPSD 701 .021.
 - 15. SINGLE AND DOUBLE CATCHBASINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. S1. AND OPSD 705.020, RESPECTIVELY. FRAMES AND GRATE SHALL BE AS PER CITY OF OTTAWA STD. S19 FOR REAR LOT CATCHBASINS, AND STREET CATCHBASINS.
 - 16. CURB INLET TYPE CATCH BASIN (CICB) SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. S3. AND GRATE SHALL BE AS PER CITY OF OTTAWA STD. S22 AND S23, UNLESS OTHERWISE NOTED.
 - 17. SINGLE AND DOUBLE CATCHBASIN LEADS SHALL BE 200MM AND 250MM DIA (MIN) RESPECTIVELY, 1.0% SLOPE (MIN.)
 - UNLESS OTHERWISE NOTED.
 - 18. ALL CATCHBASINS AND CATCHBASIN MANHOLES SHALL HAVE SUMPS WITH 300MM DEPTH, UNLESS OTHERWISE NOTED.
 - 19. CONTRACTOR SHALL ENSURE THAT CATCHBASINS ARE INSTALLED AT THE LOW POINT OF SAG CURB WORKS. 20. THE STORM SEWER CLASSES HAVE BEEN DESIGNED BASED ON BEDDING CONDITIONS SPECIFIED. WHERE THE
 - SPECIFIED TRENCH WIDTH IS EXCEEDED, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ADDITIONAL BEDDING, A DIFFERENT TYPE OF BEDDING OR A HIGHER PIPE STRENGTH AT HIS OWN EXPENSE AND SHALL ALSO BE RESPONSIBLE FOR EXTRA TEMPORARY AND/OR PERMANENT REPAIRS MADE NECESSARY BY THE WIDENED TRENCH.
 - 21. THE CONTRACTOR SHALL CONDUCT CCTV INSPECTION OF ALL NEWLY INSTALLED STORM SEWERS AND EXISTING SEWERS CONNECTED TO. THE TEST SHALL BE PERFORMED IMMEDIATELY AFTER SEWERS INSTALLED.

WATERMAIN NOTES

- 1. ALL WATERMAIN MATERIALS AND INSTALLATION SHALL CONFORM TO THE LATEST REVISIONS OF THE STANDARDS AND SPECIFICATIONS OF THE CITY OF OTTAWA, ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND SPECIFICATIONS
- 2. NO WORK SHALL COMMENCE UNLESS A CITY WATER WORKS INSPECTOR IS ON SITE. WATERMAIN CONNECTIONS BY CITY OF OTTAWA FORCES WITH ALL EXCAVATION BACKFILL AND ROAD REINSTATEMENT BY CONTRACTOR.
- 3. ALL PVC WATERMAINS SHALL BE EQUAL TO AWWA C-900 CLASS 150, SDR 18, OR APPROVED EQUAL.
- 4. WATERMAINS TRENCH AND BEDDING SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARD W17, UNLESS OTHERWISE SPECIFIED. BEDDING AND COVER MATERIAL SHALL BE SPECIFIED BY PROJECT GEOTECHNICAL ENGINEER.
- 5. ALL PVC WATERMAINS SHALL BE INSTALLED WITH A 10 GAUGE STRANDED COPPER TWU OR RWU TRACER WIRE IN ACCORDANCE WITH CITY OF OTTAWA STD. W36.
- 6. WATER SERVICES ARE TO BE TYPE K SOFT COPPER AS PER CITY OF OTTAWA STD. W26 UNLESS OTHERWISE SPECIFIED. ALL WATER SERVICES CROSSING SEWERS ARE TO BE INSTALLED AS PER CITY OF OTTAWA STD. W38. WATER SERVICES SHALL BE MARKED WITH A "50mm X IOOmm", EXTENDING FROM THE INVERT TO 1.0M ABOVE GRADE PAINTED BLUE. STAND POSTS/SHUT-OFFS SHALL BE INSTALLED AT THE PROPERTY LINE.
- 7. CATHODIC PROTECTION IS REQUIRED ON ALL METALLIC FITTINGS AS PER CITY OF OTTAWA STD. W40 AND W42.
- 8. VALVE BOXES SHALL BE INSTALLED AS PER CITY OF OTTAWA DETAIL W24.
- 9. ALL FIRE HYDRANTS TO BE INSTALLED AS PER CITY STANDARD W19 AND LOCATED AS PER CITY STANDARD W18 AND/OR CITY STANDARD CROSS SECTIONS
- 10. ALL WATERMAINS TO BE INSTALLED AT MINIMUM COVER OF 2.4m.
- 11. THRUST BLOCKS AND RESTRAINT AS PER CITY OF OTTAWA DWGS: W25.3 AND W25.4, W25.5 AND W25.6.
- 12. IF WATERMAIN MUST BE DEFLECTED TO MEET ALIGNMENT, ENSURE THAT THE AMOUNT OF DEFLECTION USED IS LESS
- 13. DISINFECTION AND TESTING OF WATERMAIN TO BE IN ACCORDANCE WITH CITY OF OTTAWA STANDARDS.
- 14. WATER METERS TO BE INSTALLED AS PER W30 FOR WATER SERVICES.

THAN HALF THAT RECOMMENDED BY THE MANUFACTURER.

- 15. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY CAPS, PLUGS AND BLOW-OFFS AND NOZZLES REQUIRED FOR TESTING AND DISINFECTION OF THE WATERMAN.
- 16. INSULATION FOR WATERMAIN CROSSING OVER AND BELOW SEWER SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. W25.2 AND W25, RESPECTIVELY, WHERE WATERMAN COVER IS LESS THAN 2.4m.
- 17. WHERE THE SEPARATION BETWEEN SERVICES AND MANHOLES IS LESS THAN 1.2m, WATER SERVICES ARE TO BE
- INSULATED AS PER CITY OF OTTAWA STD. W23.
- 18. AS PER CITY GUIDELINE, THE MINIMUM VERTICAL CLEARANCE BETWEEN WATERMAIN AND SEWER / UTILITY IS 0.25M FOR CROSSING OVER THE SEWER. AS PER CITY STD W25.2. FOR CROSSING UNDER SEWER. THE MINIMUM VERTICAL CLEARANCE IS 0.50M AS PER CITY STD. W25. FOR CROSSING UNDER SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWERS IS REQUIRED TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING. THE LENGTH OF WATER PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER.

ROADWAY SPECIFICATIONS

- C MATERIAL SHALL BE STRIPPED WITHIN THE ROAD ALLOWANCE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 2. CONCRETE CURB SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. SCI.1.1(BARRIER CURB) AND SC1.3 (MOUNTABLE CURB), AS NOTED, PROVISION SHALL BE MADE FOR CURB DEPRESSIONS AT SIDEWALKS AND DRIVEWAYS
- 3. ROAD SUBDRAINS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R1. SUBDRAINS SHALL BE 6M IN LENGTH AT CATCHBASINS. SUBDRAINS SHALL BE INSTALLED BOTH SIDES AT LOWPOINTS AND ON THE HIGH SIDE AT FLOWBY
- 4. PAVEMENT REINSTATEMENT FOR SERVICE AND UTILITY CUTS SHALL BE IN ACCORDANCE WITH CITY OF OTTAWA STD. R10 AND OPSD 509.010, OPSS 310.
- 5. GRANULAR "A" SHALL BE PLACED TO A MINIMUM THICKNESS OF 300MM AROUND ALL STRUCTURES WITHIN PAVEMENT
- 6. ALL GRANULAR FOR ROADS SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY.
- 7. ASPHALT WEAR COURSE SHALL NOT BE PLACED UNTIL THE VIDEO INSPECTION OF SEWERS & NECESSARY REPAIRS HAVE BEEN CARRIED OUT TO THE SATISFACTION OF THE ENGINEER.
- 8. SUB- EXCAVATE SOFT AREAS AND FILL WITH GRANULAR 'B' COMPACTED IN MAXIMUM 300MM LIFTS.

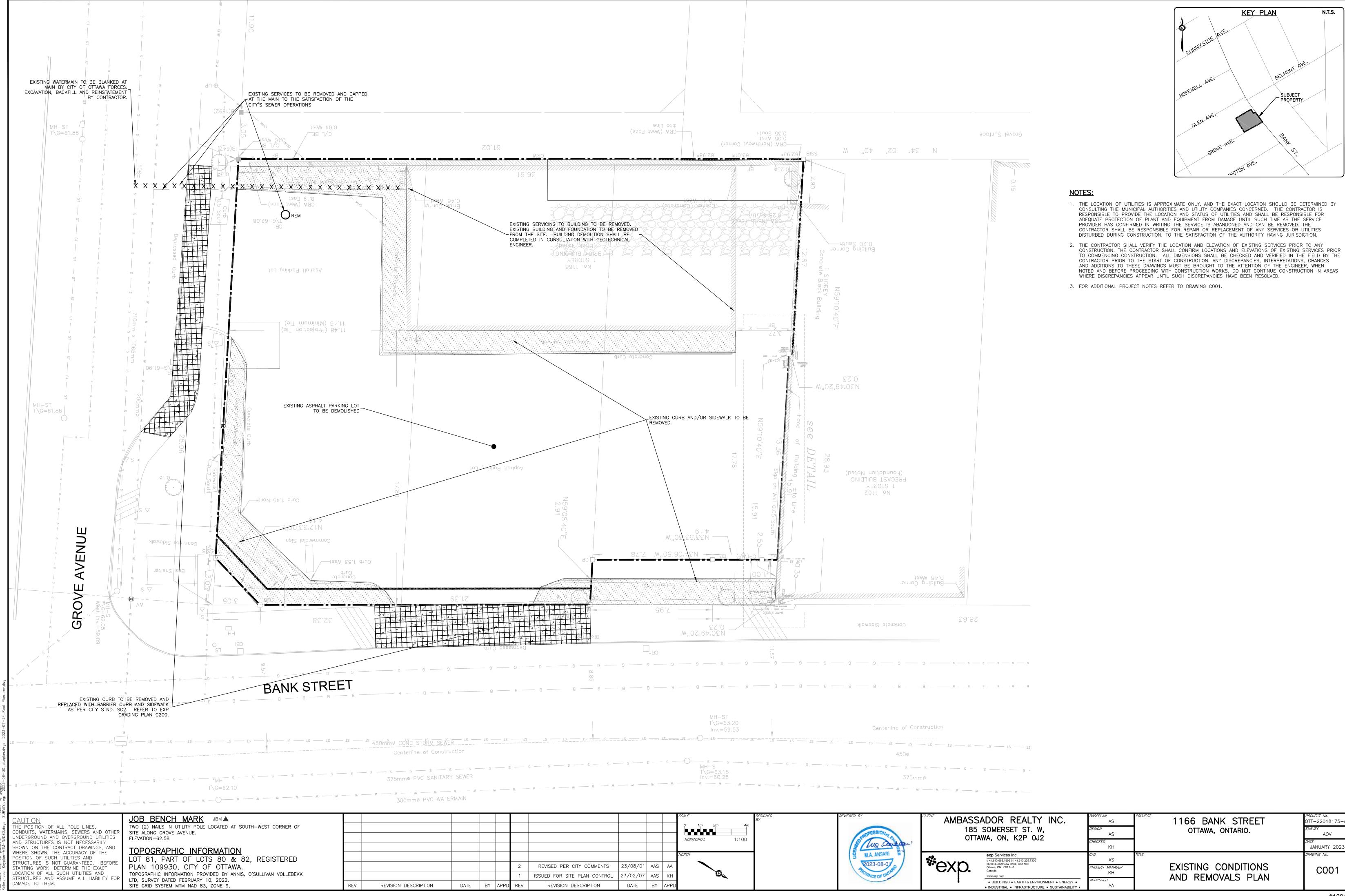
9. PAVEMENT STRUCTURE: REFER TO LEGEND. GENERAL NOTES FOR GRADING

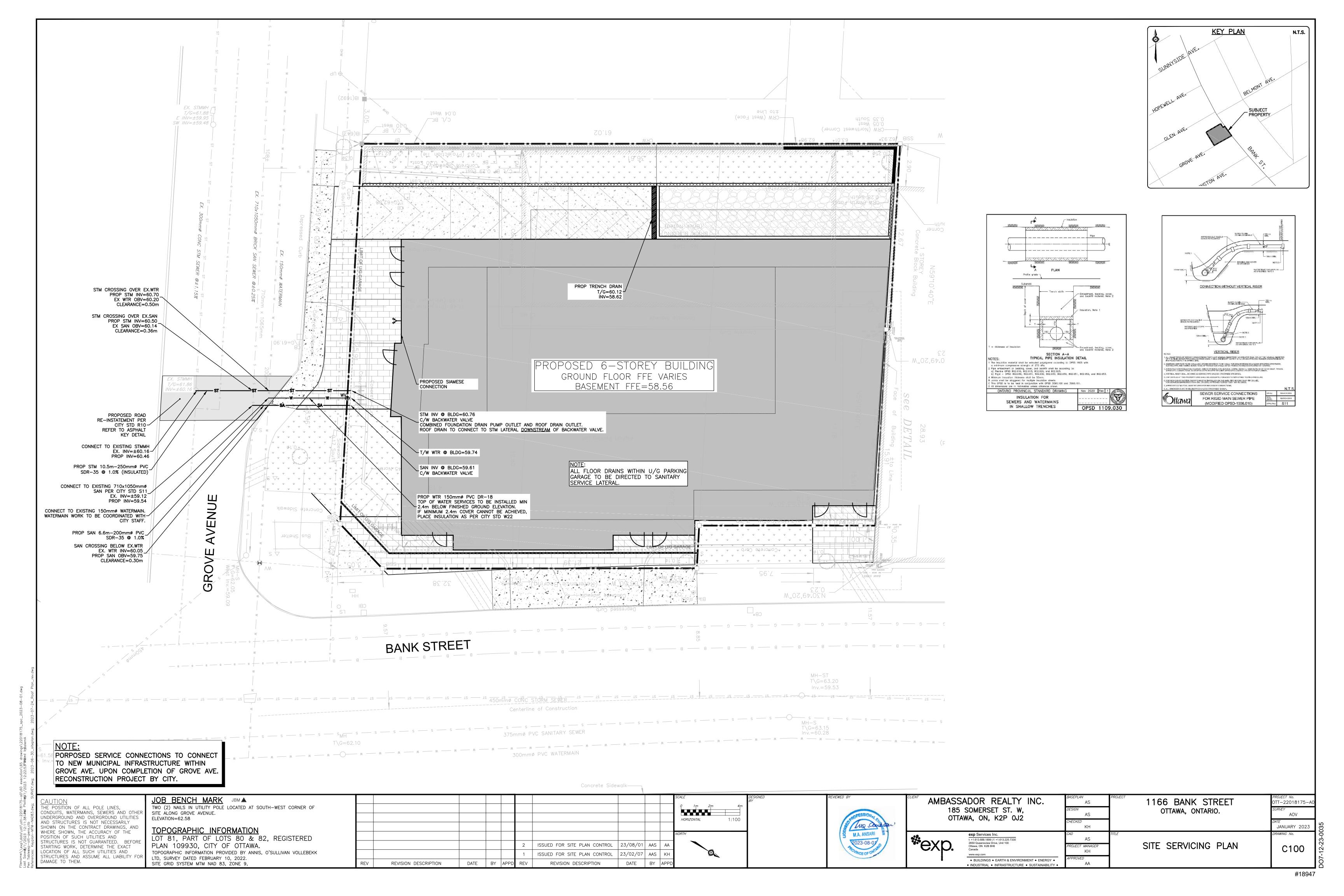
- 1. IT SHALL BE THE BUILDER'S RESPONSIBILITY TO ENSURE THAT GRADING AROUND HYDRANTS, TRANSFORMERS, AND UTILITY PEDESTALS, ETC., MEET CURRENT CITY OF OTTAWA, HYDRO AND UTILITY COMPANY REQUIREMENTS.
- 2. ALL GROUND SURFACES SHALL BE EVENLY GRADED WITHOUT PONDING AREAS AND WITHOUT LOW POINTS EXCEPT WHERE APPROVED SWALE OR CATCH BASIN OUTLETS ARE PROVIDED.
- 3. CONTRACTOR TO ADJUST EXISTING CATCH BASINS, MANHOLES, FIRE HYDRANTS, VALVE CHAMBERS AND VALVE BOXES TO FINAL GRADE AS REQUIRED.
- 4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING FOUNDATIONS OF ADJACENT
- BUILDINGS DURING EXCAVATION AND CONSTRUCTION PERIOD.
- 5. GRADING IN GRASSED AREAS WILL BE BETWEEN 2% TO 7%. GRADES IN EXCESS OF 7% WILL REQUIRE A MAXIMUM 3:1 TERRACING.

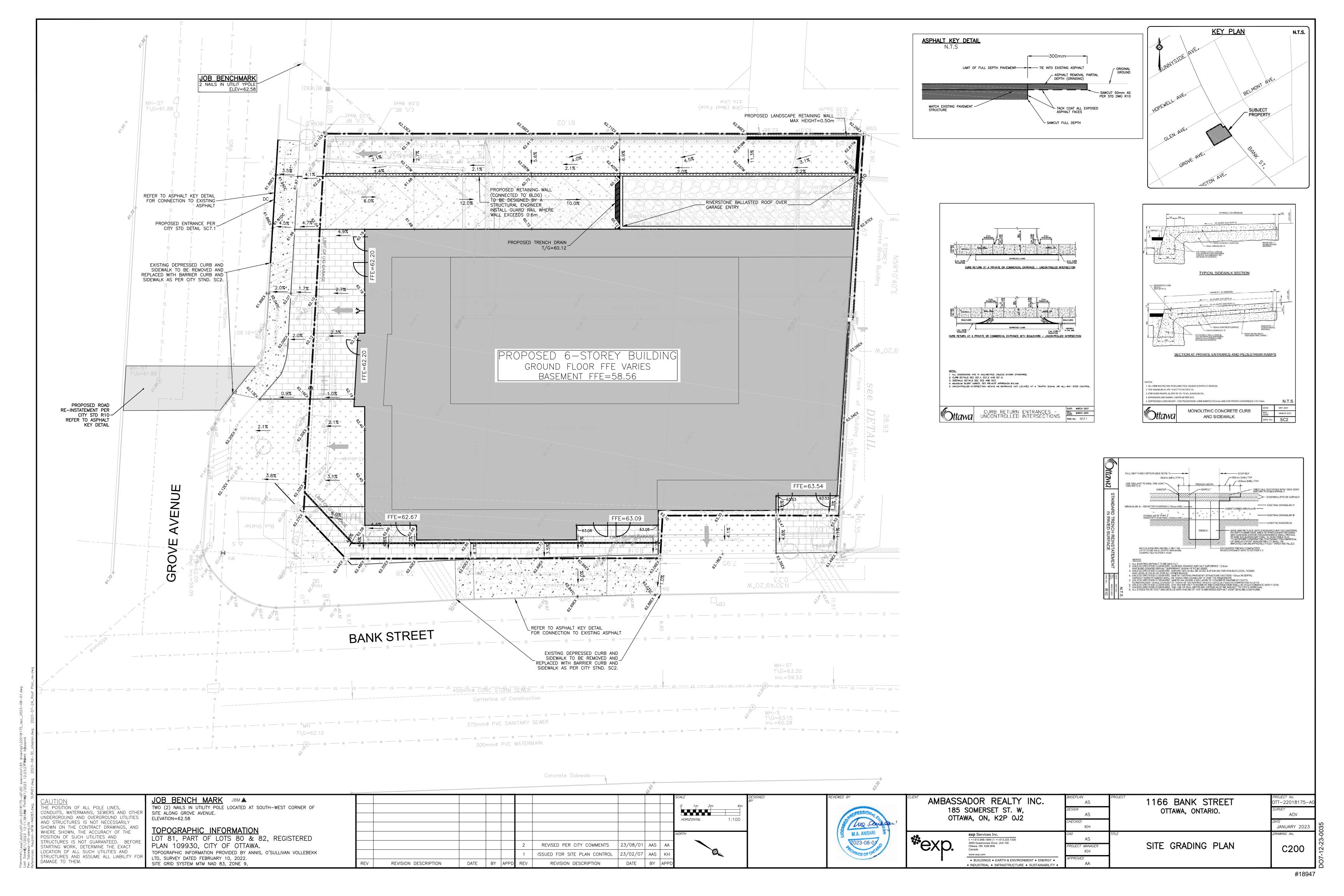
HE POSITION OF ALL POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND WHERE SHOWN, THE ACCURACY OF THE OSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, DETERMINE THE EXACT OCATION OF ALL SUCH UTILITIES AND STRUCTURES AND ASSUME ALL LIABILITY FOR AMAGE TO THEM.

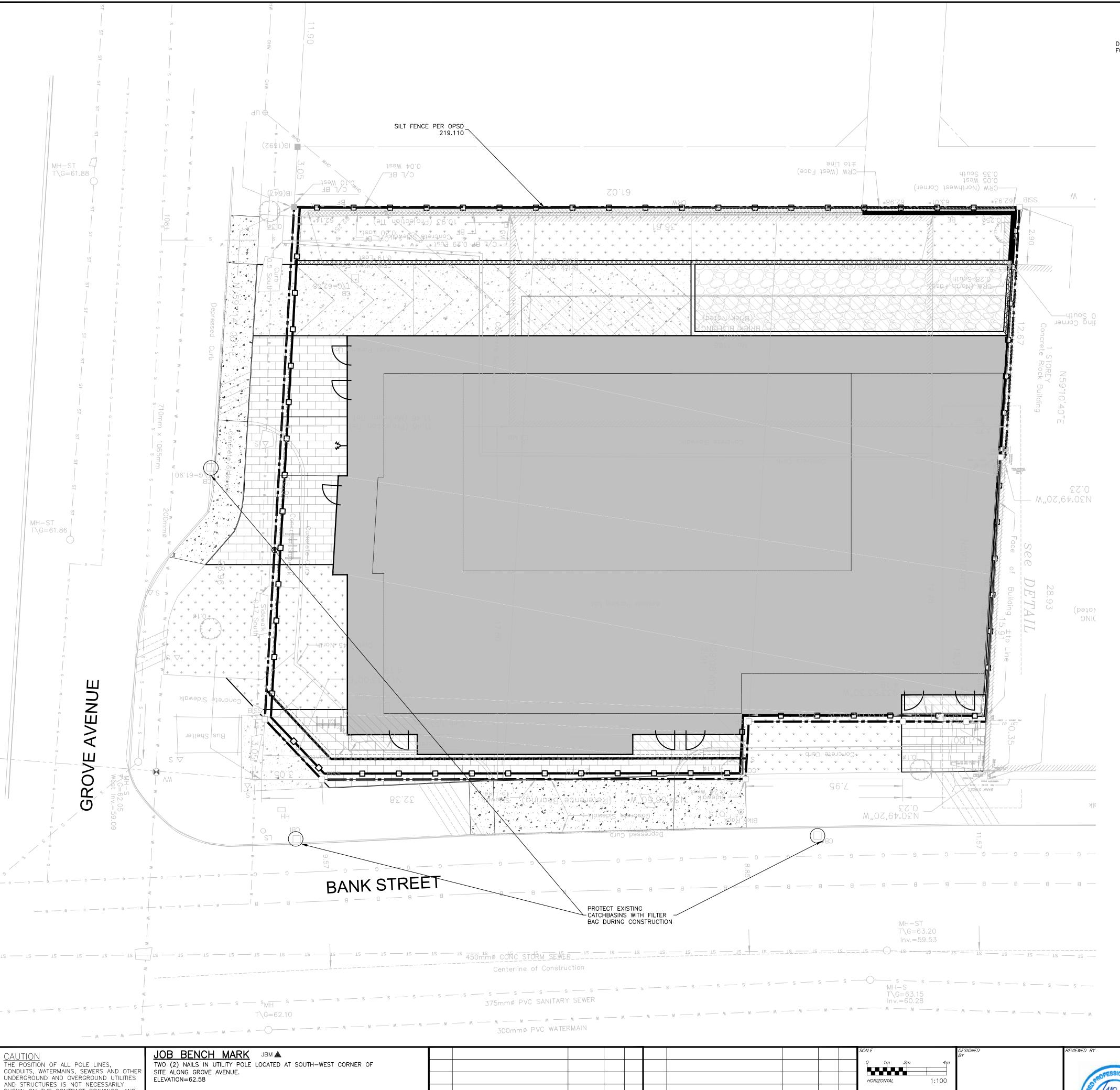


AMBASSADOR REALTY INC. 185 SOMERSET ST. W, OTTAWA, ON, K2P 0J2		BASEPLAN AS DESIGN AS CHECKED KH	1166 BANK STREET OTTAWA, ONTARIO.	PROJECT No. OTT-22018175-A0 SURVEY AOV DATE JANUARY 2023
	1.613.225.7330	AS PROJECT MANAGER KH APPROVED AA	NOTES AND LEGEND SHEET	COOO









REVISED PER CITY COMMENTS

DATE BY APPO

ISSUED FOR SITE PLAN CONTROL 23/02/07 AAS

23/08/01 AAS

DATE BY APP

SHOWN ON THE CONTRACT DRAWINGS, AND

STRUCTURES IS NOT GUARANTEED. BEFORE

STRUCTURES AND ASSUME ALL LIABILITY FOR

STARTING WORK, DETERMINE THE EXACT LOCATION OF ALL SUCH UTILITIES AND

DAMAGE TO THEM.

WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND

TOPOGRAPHIC INFORMATION

PLAN 109930, CITY OF OTTAWA.

LTD, SURVEY DATED FEBRUARY 10, 2022.

SITE GRID SYSTEM MTM NAD 83, ZONE 9,

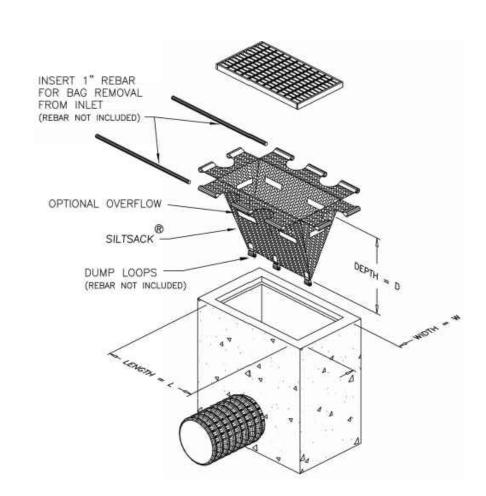
LOT 81, PART OF LOTS 80 & 82, REGISTERED

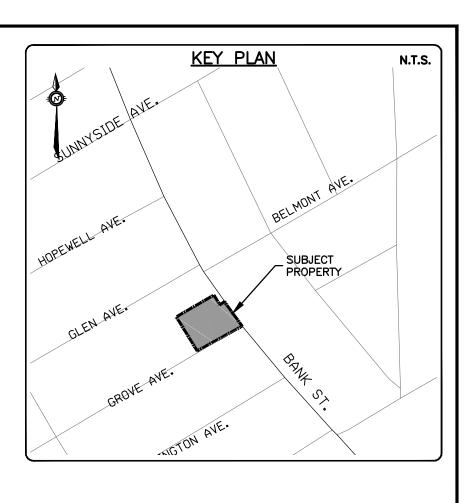
TOPOGRAPHIC INFORMATION PROVIDED BY ANNIS, O'SULLIVAN VOLLEBEKK

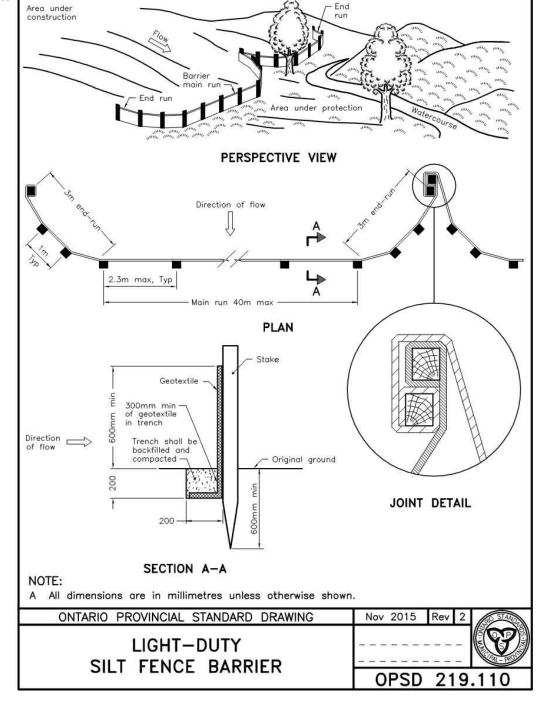
EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION.

DURING ALL CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION SHALL BE CONTROLLED BY THE FOLLOWING TECHNIQUES:

- 1. LIMITING THE EXTENT OF EXPOSED SOILS AT ANY GIVEN TIME.
- 2. REVEGETATION OF EXPOSED AREAS AS SOON AS POSSIBLE.
- 3. MINIMIZATION OF AREA TO BE CLEARED AND DISRUPTION TO ADJACENT AREAS.
- 4. INSTALLATION OF FILTER CLOTH BETWEEN FRAME AND COVER ON ALL PROPOSED CATCH BASINS AND CATCH BASIN MANHOLES.
- 5. A SILT FENCE TO BE INSTALLED 0.3m INSIDE THE SITE PROPERTY LINE TO LOCATIONS SHOWN ON
- 6. A VISUAL INSPECTION SHALL BE COMPLETED DAILY ON SEDIMENT CONTROL BARRIERS AND ANY DAMAGE REPAIRED IMMEDIATELY. CARE WILL BE TAKEN TO PREVENT DAMAGE DURING CONSTRUCTION OPERATIONS.
- 7. IN SOME CASES SOME BARRIERS MAY BE REMOVED TEMPORARILY TO ACCOMODATE THE CONSTRUCTION OPERATIONS. THE AFFECTED BARRIERS WILL BE REINSTATED AT NIGHT WHEN CONSTRUCTION IS COMPLETED.
- 8. THE SEDIMENT CONTROL DEVICES WILL BE CLEANED OF ACCUMULATED SILT AS REQUIRED. THE DEPOSITS WILL BE DISPOSED OF AS PER THE REQUIREMENTS OF THE CONTRACT.
- 9. DURING THE COURSE OF CONSTRUCTION IF THE ENGINEER BELIEVES THAT ADDITIONAL PREVENTION METHODS ARE REQUIRED TO CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR WILL INSTALL ADDITONAL SILT FENCES OR OTHER METHODS AS REQUIRED TO THE SATISFACTION OF THE ENGINEER.
- 10. CONSTRUCTION AND MAINTENANCE REQUIRMENTS FOR EROSION AND SEDIMENT CONTROLS TO COMPLY WITH ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS) OPSS 805, AND CITY OF OTTAWA
- 11. SEDIMENT AND EROSION CONTROL MEASURES MAY BE MODIFIED IN THE FIELD AT THE DISCRETION THE CITY OF OTTAWA SITE INSPECTOR OR CONSERVATION AUTHORITY.







NOTES:

- 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO WOOD POSTS WITH WIRE TIES OR STAPLES.
- POSTS TO BE SPACED AT 2.3 METRES CENTRE TO CENTRE.
 WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY A MINIMUM OF 500mm.
- 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN
- "BULGES" DEVELOP IN THE SILT FENCE. 5. WOOD POSTS TO BE HARDWOOD TYPE (50mm x 50mm).
- 6. GEOTEXTILE TO BE EMBEDDED 200mm INTO GROUND. 7. GEOTEXTILE TO CONFORM TO OPSS 805 STANDARDS.
- 8. SILT FENCE MUST BE INSTALLED BEFORE COMMENCEMENT OF CONSTRUCTION AND IN ACCORDANCE WITH DETAIL. SILT FENCE CAN BE REMOVED AFTER LANDSCAPING IS
- 9. SEDIMENTS MUST BE CLEARED AWAY WHEN THEY REACH HALF THE HEIGHT OF THE FENCE.

AMBASSADOR REALTY INC. 185 SOMERSET ST. W, OTTAWA, ON, K2P 0J2		BASEPLAN AS DESIGN AS CHECKED KH	1166 BANK STREET OTTAWA, ONTARIO.	PROJECT No. OTT—22018175—A SURVEY AOV DATE JANUARY 2023
EXP. 26 or ca	Kp Services Inc. 1.613.688.1899 f: +1.613.225.7330 500 (Queensview Drive, Unit 100 (August 100 (A	CAD AS PROJECT MANAGER KH APPROVED	EROSION AND SEDIMENT CONTROL PLAN	C300

• BUILDINGS • EARTH & ENVIRONMENT • ENERGY •

• INDUSTRIAL • INFRASTRUCTURE • SUSTAINABILITY •

